

AGENDA
Regular Meeting of the
Prosper Planning & Zoning Commission
Prosper Town Hall
Council Chambers
250 W. First Street, Prosper, Texas
Tuesday, August 17, 2021, 6:00 p.m.

Notice Regarding Public Participation

Governor Greg Abbott has granted a temporary suspension of certain rules to allow for telephone or videoconference public meetings in an effort to reduce in-person meetings that assemble large groups of people, due to the COVID-19 (coronavirus) public health emergency.

Individuals will be able to address the Commission either (1) via videoconference, or (2) via telephone conference call.

To access the videoconference online, follow these instructions:

Join the Zoom Meeting by clicking on the following link: <https://us02web.zoom.us/j/86944373392>

Enter Meeting ID: 869 4437 3392

To request to speak, click on "Participants" at the bottom of the screen, and click "Raise Hand." The meeting moderator will acknowledge your request and allow you to speak.

To join the meeting by phone, dial any one of the following numbers: +1 346 248 7799

Enter Meeting ID: 869 4437 3392

To request to speak, enter *9. The meeting moderator will acknowledge your request and allow you to speak.

If you encounter any problems joining or participating in the meeting, please call our help line at 972-569-1191 for assistance.

Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may either address the Commission when the item is considered by the Planning & Zoning Commission.

1. Call to Order / Roll Call
2. Pledge of Allegiance
3. **CONSENT AGENDA**

(Items placed on the Consent Agenda are considered routine in nature and are considered non-controversial. The Consent Agenda can be acted upon in one motion. A Planning & Zoning Commissioner may remove any item for discussion and separate action. Planning & Zoning Commissioners may vote nay on any single item without comment and may submit written comments as part of the official record.)

- 3a. Consider and act upon minutes from the August 3, 2021, Planning & Zoning Commission Regular meeting.

- 3b. Consider and act upon a Preliminary Site Plan for Windsong Ranch Market Place, on 17.0± acres, located on the north side of US 380, east of Gee Road. The property is zoned Planned Development-40 (PD-40). (D21-0046).
- 3c. Consider and act upon a Final Plat/Replat for Windsong Ranch Market Place, Block A, Lots 7R, 9, 15, and 16R, on 17.0± acres, located on the north side of US 380, east of Gee Road. The property is zoned Planned Development-40 (PD-40). (D21-0047).
- 3d. Consider and act upon a Preliminary Plat for Ladera Prosper, Block A, Lot 1, on 63.3± acres, located on the west side of Custer Road, south of First Street. The property is zoned Planned Development-107 (PD-107). (D21-0074).
- 3e. Consider and act upon a Preliminary Site Plan for Brookhollow Ladera, on 63.3± acres, located on the west side of Custer Road, south of First Street. The property is zoned Planned Development-107 (PD-107). (D21-0075).
- 3f. Consider and act upon a Site Plan for a multi-tenant retail building, on 0.8± acres, located on the north side of US 380, east of La Cima Boulevard. The property is zoned Planned Development-2 (PD-2). (D21-0076).
- 3g. Consider and act upon a Site Plan for Gates of Prosper, Phase 3, on 12.9± acres, located on north side of US 380, west of Preston Road. The property is zoned Planned Development-67 (PD-67). (D21-0078).
- 3h. Consider and act upon a Site Plan for a Landscape Maintenance Facility, in Windsong Ranch, on 1.9± acres, located on the west side of Good Hope Road, south of Parvin Road. The property is zoned Planned Development-40 (PD-40). (D21-0079).
- 3i. Consider and act upon a Final Plat for Windsong Ranch Maintenance Facility, Block A, Lot 1, on 1.9± acres, located on the west side of Good Hope Road, south of Parvin Road. The property is zoned Planned Development-40 (PD-40). (D21-0080).

REGULAR AGENDA

If you wish to address the Planning & Zoning Commission, please fill out a "Public Meeting Appearance Card" and present it to the Chair, preferably before the meeting begins. Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Planning & Zoning Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may address the Commission when the item is considered by the Planning & Zoning Commission.

- 4. Conduct a Public Hearing, and consider and act upon a Specific Use Permit (SUP) for a Commercial Equestrian Center (Whispering Farms Equestrian Center), on 26.5± acres, located on the south side of Prosper Trail, east of Coit Road. (S21-0002).
- 5. Conduct a Public Hearing, and consider and act upon a request for a Specific Use Permit (SUP) for a Major Nursery (Calloway's), in Gates of Prosper, on 3.2± acres, located on the north side of Richland Boulevard, west of Preston Road. The property is zoned Planned Development-67 (PD-67). (S21-0001).
- 6. Update on the Dallas North Tollway regarding land uses and design standards.
- 7. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.

8. Adjourn.

Note: The order in which items are heard on the agenda is subject to change.

CERTIFICATION

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted at Prosper Town Hall, located at 250 W. First Street, Prosper, Texas 75078, a place convenient and readily accessible to the general public at all times, and said Notice was posted by 5:00 p.m., on Friday, August 13, 2021, and remained so posted at least 72 hours before said meeting was convened.

Khara Sherrill, Senior Administrative Assistant

Date Notice Removed

Pursuant to Section 551.071 of the Texas Government Code, the Town Council reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

NOTICE

Pursuant to Town of Prosper Ordinance No. 13-63, all speakers other than Town of Prosper staff are limited to three (3) minutes per person, per item, which may be extended for an additional two (2) minutes with approval of a majority vote of the Town Council.

NOTICE OF ASSISTANCE AT PUBLIC MEETINGS: The Prosper Town Hall is wheelchair accessible. For special services or assistance, please contact the Town Secretary's Office at (972) 569-1011 at least 48 hours prior to the meeting time.



MINUTES
Regular Meeting of the
Prosper Planning & Zoning Commission
Prosper Town Hall
Council Chambers
250 W. First Street, Prosper, Texas
Tuesday, August 3, 2021, 6:00 p.m.

Governor Greg Abbott granted a temporary suspension of certain rules to allow for telephone or videoconference public meetings in order to reduce in-person meetings that assemble large groups of people, due to the COVID-19 (coronavirus) public health emergency. This meeting was held via telephone conference call and videoconference.

1. Call to Order/ Roll Call

The meeting was called to order at 6:00 p.m.

Commissioners present: Chair Brandon Daniel, Doug Charles, Sekou Harris, and Michael Pettis.

Commissioners absent: Vice-Chair Sarah Peterson, Secretary Chris Long, and Chris Kern.

Staff present: Alex Glushko, Planning Manager; David Soto, Senior Planner (via teleconference); and Evelyn Mendez, Planning Technician.

2. Recitation of the Pledge of Allegiance.

3. CONSENT AGENDA

- 3a. Consider and act upon minutes from the July 20, 2021, Planning & Zoning Commission Regular meeting.**
- 3b. Consider and act upon a Site Plan for an office/warehouse building (Prosper Business Park), on 4.8± acres, located south of Industry Way, east of Cook Lane. The property is zoned Planned Development-26 (PD-26). (D21-0066).**
- 3c. Consider and act upon a Final Plat/Conveyance Plat for Prosper Business Park, Block B, Lots 5 & 9, on 12.7± acres, located south of Industry Way, east of Cook Lane. The property is zoned Planned Development-26 (PD-26). (D21-0067).**
- 3d. Consider and act upon a Preliminary Plat for Starview, in the Gates of Prosper, for 181 single family residential lots and four (4) HOA/open space lots, on 64.6± acres, located on the northeast corner of Lovers Lane and Coleman Street. The property is zoned Planned Development-67 (PD-67). (D21-0068).**
- 3e. Consider and act upon a Site Plan for a multifamily development in the Gates of Prosper, on 16.9± acres, located on the northwest corner of Coleman Street and Richland Boulevard. The property is zoned Planned Development-67 (PD-67). (D21-0070).**

Motion by Pettis, second by Harris, to approve the Consent Agenda, subject to staff recommendations. Motion approved 4-0.

REGULAR AGENDA

- 4. Consider and act upon a Site Plan for Temporary Buildings at Rhea's Mill Baptist Church, on 9.3± acres, located on the west side of Custer Road, south of Frontier Parkway. The property is zoned Agricultural (A). (D21-0077)**

Mendez: Summarized the request, presented exhibits, and recommended approval.

Commissioner Pettis requested additional information regarding the proposed request and timing of existing and proposed church construction.

Jared Meir (Applicant): Provided information related to the construction delays, current timelines, and future campus construction.

Motion by Charles, second by Pettis, to approve Item 4, subject to staff recommendations. Motion approved 4-0.

- 5. Conduct a Public Hearing, and consider and act upon a request to rezone 119.4± acres from Planned Development-90 (PD-90), to Planned Development (PD), located on the north side of US 380, east of Coit Road, generally to amend the single-family detached residential and single-family attached (townhome) residential development standards. (Z21-0009).**

Glushko: Summarized the request, presented exhibits, recommended approval, and noting concerns presented by Commissioner Kern prior to the meeting.

Chair Daniel opened the Public Hearing.

Koteswar Kollu (931 Moorland Pass): Inquired about fencing and easements related to the development.

There being no additional speakers, the Public Hearing was closed.

Commissioner Charles expressed general support for the overall development concept; however, indicated concern regarding the proposed lot widths.

Motion by Pettis, second by Harris, to approve the Item 5, subject to staff recommendations. Motion approved 3-1. Commissioner Charles voted in opposition to the request.

- 6. Update on the Dallas North Tollway regarding land uses and design standards.**

Presentation postponed to the August 17, 2021 Planning & Zoning Commission meeting.

- 7. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.**

Glushko: Provided a summary of recent action taken by Town Council.

8. Adjourn.

Motion by Harris, second by Pettis, to adjourn. Motion approved 4-0 at 7:14 p.m.

Evelyn Mendez, Planning Technician

Chris Long, Secretary



PLANNING

To: Planning & Zoning Commission

Item No. 3b

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – August 17, 2021

Agenda Item:

A Preliminary Site Plan for Windsong Ranch Market Place, on 17.0± acres, located on the north side of US 380, east of Gee Road. The property is zoned Planned Development-40 (PD-40). (D21-0046).

Description of Agenda Item:

The Preliminary Site Plan is for four (4) lots, including (2) drive-through restaurants (Swig and Salad and Go), totaling 1,508 square feet, a 25,769 square-foot retail building, and an existing grocery store (Kroger Marketplace). Kroger is included in the Preliminary Site Plan because Salad and Go is proposing to utilize existing parking area from the Kroger parking lot. Access is provided from US 380. The Preliminary Site Plan conforms to the PD-40 development standards.

As a companion item, the Final Plat/Replat for Windsong Ranch Market Place, D21-0047, is on August 17, 2021 agenda.

Attached Documents:

1. Location Map
2. Preliminary Site Plan

Staff Recommendation:

Staff recommends approval of the Preliminary Site Plan subject to:

1. Town staff approval of preliminary water, sewer, and drainage plans.
2. Town staff approval of all emergency access, fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

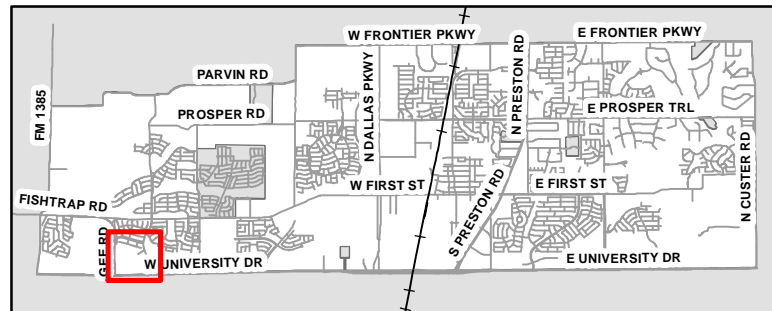
D21-0046 - Windsong Ranch Marketplace

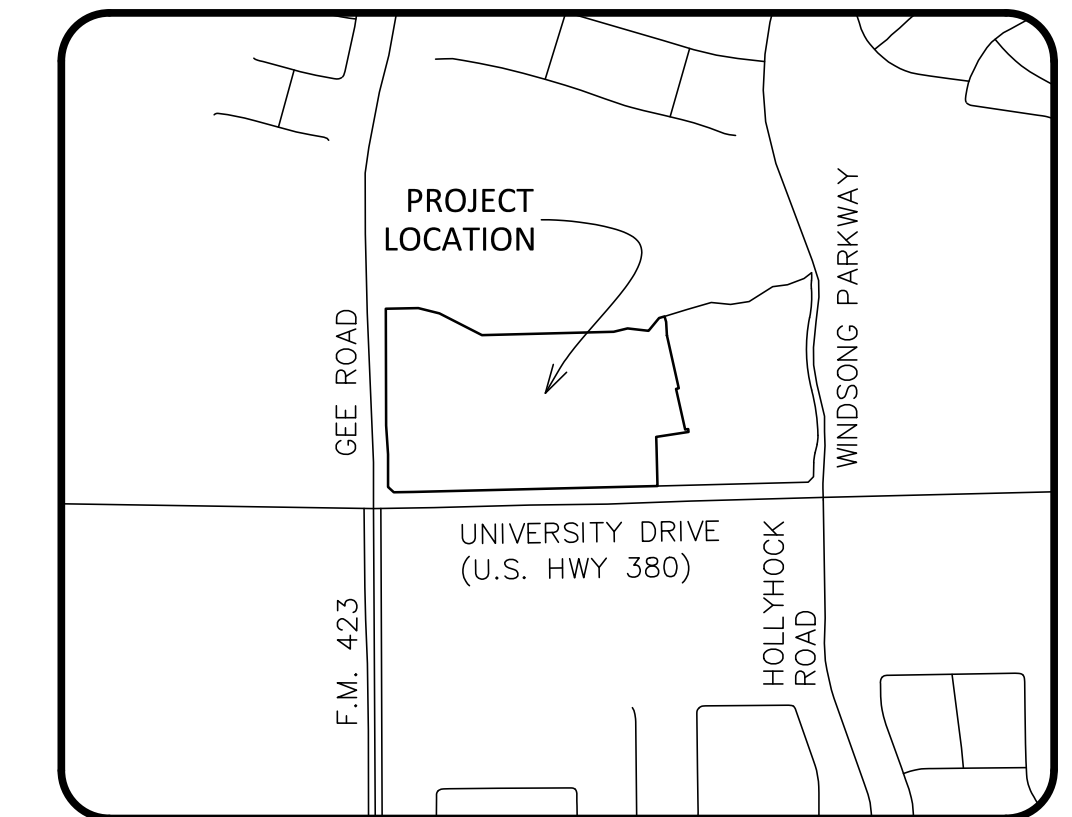


This map is for illustration purposes only.

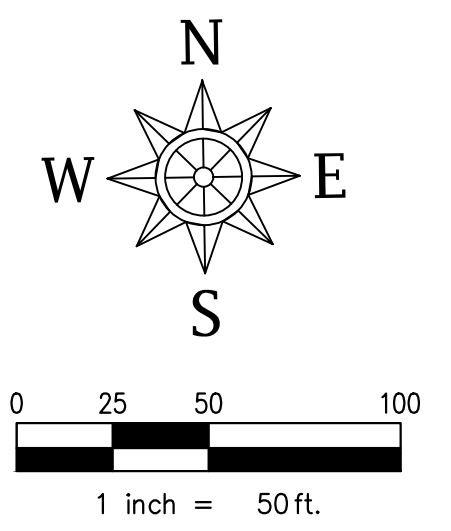


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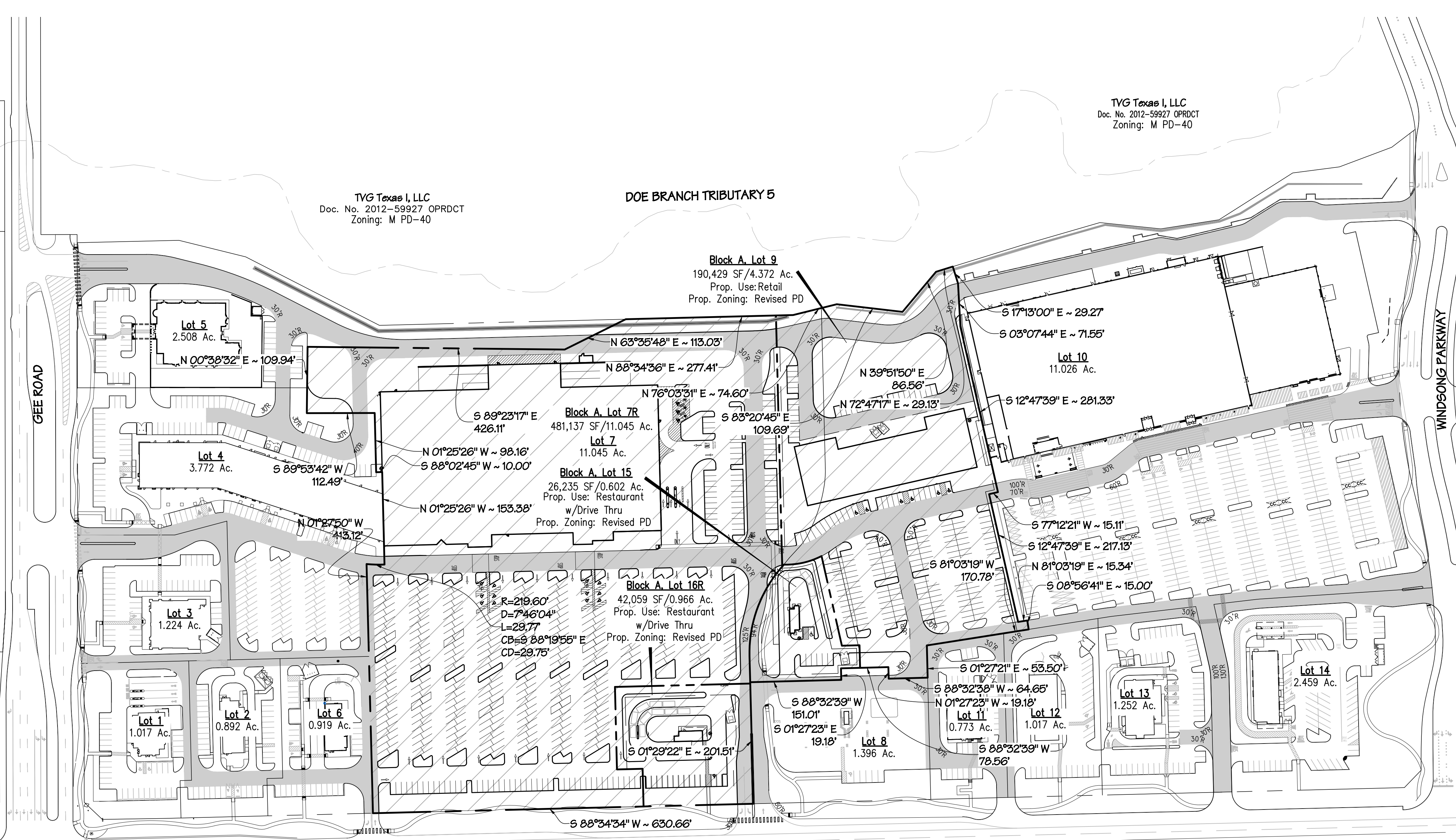
Michael F. Olson, S.T.D., Bishop
of the Catholic Diocese of Fort Worth
Doc. No. 2015-20538 OPRDCT
Zoning: R PD-91
Ex. Use: Childrens
Hospital



TYG Texas I, LLC
Doc. No. 2012-59927 OPRDCT
Zoning: M PD-40

DOE BRANCH TRIBUTARY 5

TYG Texas I, LLC
Doc. No. 2012-59927 OPRDCT
Zoning: M PD-40



Cook Childrens Health Care System
Zoning: R PD-91
Ex. Use: Childrens
Hospital

Lot 7, Block A
Westfork Crossing Addition
Doc. No. 2018-71 PRDCT
Zoning: C
Ex. Use: Retail

Lot 1, Block A
Westfork Crossing Addition
Doc. No. 2018-71 PRDCT
Zoning: C
Ex. Use: Retail

Lot 4, Block A
Four Corners
Shopping Center Addition
Doc. No. 2016-2225 PRDCT
Ex. Use: Retail
Zoning: R PD-254
(City of Frisco)

Block A, Lot 4
Frisco Crossing Addition
Doc. No. 2015-235 PRDCT
Zoning: Retail
(City of Frisco)

Block A, Lot 5
Frisco Crossing Addition
Doc. No. 2020-127 PRDCT
Zoning: Retail
(City of Frisco)

Block A, Lot 6
Frisco Crossing Addition
Doc. No. 2018-157 PRDCT
Zoning: Retail
(City of Frisco)

Block A, Lot 7
Frisco Crossing Addition
Doc. No. 2018-157 PRDCT
Zoning: Retail
(City of Frisco)

Block A, Lot 8
Frisco Crossing Addition
Doc. No. 2018-157 PRDCT
Zoning: Retail
(City of Frisco)

Block A, Lot 9
Frisco Crossing Addition
Doc. No. 2020-127 PRDCT
Zoning: Retail
(City of Frisco)

Block A, Lot 2
Frisco Crossing III Addition
Doc. No. 2020-219 PRDCT
Zoning: Retail
(City of Frisco)

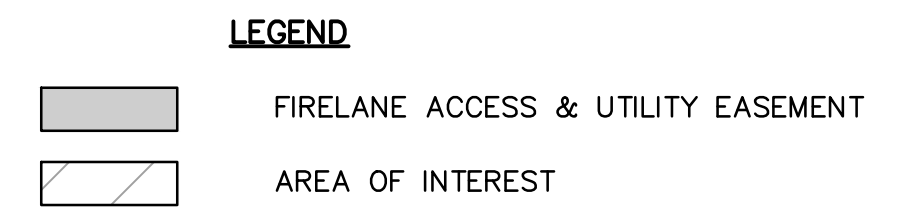
Block A, Lot 3
Frisco Crossing III Addition
Doc. No. 2019-36 PRDCT
Zoning: Retail
(City of Frisco)

Block A, Lot 4
Frisco Crossing III Addition
Doc. No. 2019-36 PRDCT
Zoning: Retail
(City of Frisco)

Block A, Lot 5
Frisco Crossing III Addition
Doc. No. 2020-217 PRDCT
Zoning: Retail
(City of Frisco)

Block A, Lot 6
Frisco Crossing III Addition
Doc. No. 2019-36 PRDCT
Zoning: Retail
(City of Frisco)

Block A, Lot 7
Frisco Crossing Addition
Doc. No. 2018-71 PRDCT
Zoning: Retail
(City of Frisco)



Drawing: C:\3201_000\321-034_Windsong_Marketplace - Lot 1, Block A Westfork Crossing Addition - Set By: Bmurdal, Sun Time: 7/14/2021, 8:49:09 AM

Town of Prosper Site Plan Notes:

- Dumpsters and trash compactors shall be screened in accordance of the Zoning Ordinance.
- Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
- Outdoor lighting shall comply with the lighting and glare standards contained within the Zoning Ordinance and Subdivision Regulation Ordinance.
- Landscaping shall conform to landscape plans approved by the town.
- All elevations shall comply with the standards contained within the Zoning Ordinance.
- Buildings of 5,000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
- Fire lanes shall be designed and constructed per town standards or as directed by the Fire Department.
- Two points of access shall be maintained for the property at all times.
- Speedbumps/humps are not permitted within a fire lane.
- Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted uniform Building Code.
- All signage is subject to Building Official approval.
- All fences and retaining walls shall be shown on the site plan and are subject to Building Official approval.
- All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
- Sidewalks of not less than six (6') feet in width along thoroughfares and five (5') in width along collectors and residential streets, and barrier free ramps at all curb crossings shall be provided per Town standards.
- Approval of the site plan is not final until all engineering plans are approved by the Engineering Department.
- Site plan approval is required prior to grading release.
- All new electrical lines shall be installed and/or relocated underground.
- All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
- Lots shall have frontage on a common access drive or a public street. The common access drive shall be dedicated public access, utility and fire lane easement.
- All Retaining walls along creek to be stone.
- All landscape easements must be exclusive of any other type of easement.
- Impact fees will be assessed in accordance with the land use classification(s) identified on the site data summary table; however, changes to the proposed land use at the time of CO and/or finish out permit may result in additional impact fees and/or parking requirements.

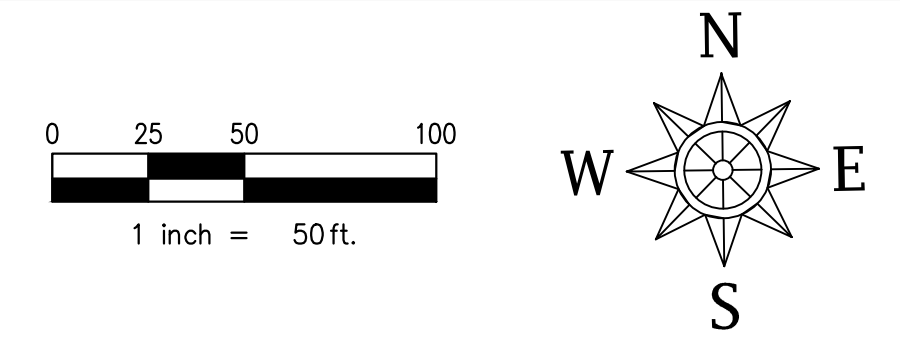
Case No. D21-0046
PRELIMINARY SITE PLAN
WINDSONG RANCH
MARKETPLACE
BLOCK A, LOTS 7R, 9, 15 & 16R
16,986 Acres
J. SALING SURVEY, ABST. 1675
IN THE TOWN OF PROSPER, DENTON COUNTY, TEXAS

Owner
Kroger Texas, L.P.
1014 Vine Street
Cincinnati, OH 45202

Owner/Developer
Northeast 423/380, L.P.
7001 Preston Road, Suite 410
Dallas, Texas 75205
Contact: Robert Dorazil

Engineer/Surveyor
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: Kevin Wier

SEI# 21-034 Scale 1"=100' June, 2021 Sheet 1 of 2



SITE DATA					
Land Use	Lot 7R	Lot 9	Lot 15	Lot 16R	Total
Site Area	11.05 Acres	4.37 Acres	0.60 Acres	0.79 Acres	16.75 Acres
Building Area	481,204 SF	190,429 SF	26,235 SF	31,596 SF	729,464 SF
Building Height	119,556 SF	25,769 SF	650 SF	858 SF	146,833 SF
Lot Coverage	24.80%	13.50%	2.48%	2.71%	
Floor Area Ratio	0.2480:1	0.1350:1	0.0248:1	0.0271:1	
PARKING DATA					
Standard Parking Spaces Required	479	104	7	8	599
Standard HC Parking Spaces Required	9	6	1	1	17
Standard Parking Spaces Provided	519	199	7	12	737
Standard HC Parking Spaces Provided	12	6	1	1	20
LANDSCAPE DATA					
Interior Landscaping Required	7,785 SF	2,985 SF	105 SF	225 SF	11,100 SF
Interior Landscaping Provided	25,431 SF	10,098 SF	5,498 SF	7,075 SF	48,102 SF
Impervious Area Required	302,347 SF	106,078 SF	14,141 SF	21,413 SF	443,979 SF
Open Space Required	33,684 SF	13,303 SF	1,836 SF	2,212 SF	51,032 SF
Open Space Provided	33,870 SF	48,484 SF	5,946 SF	2,250 SF	90,550 SF

Lot Line Boundary Curve Table				
Curve #	Length	Radius	Delta	Chord Direction
C1	64.79	130.00	028°33'12"	N77°14'14"E

Lot Line Boundary Table		
Line #	Length	Direction
L4	4.14	S39°21'02"W
L5	416.24	N01°25'26"W
L6	224.30	N88°34'34"E
L12	62.50	N01°25'26"W
L13	42.48	S88°34'34"W
L14	136.75	N01°25'26"W

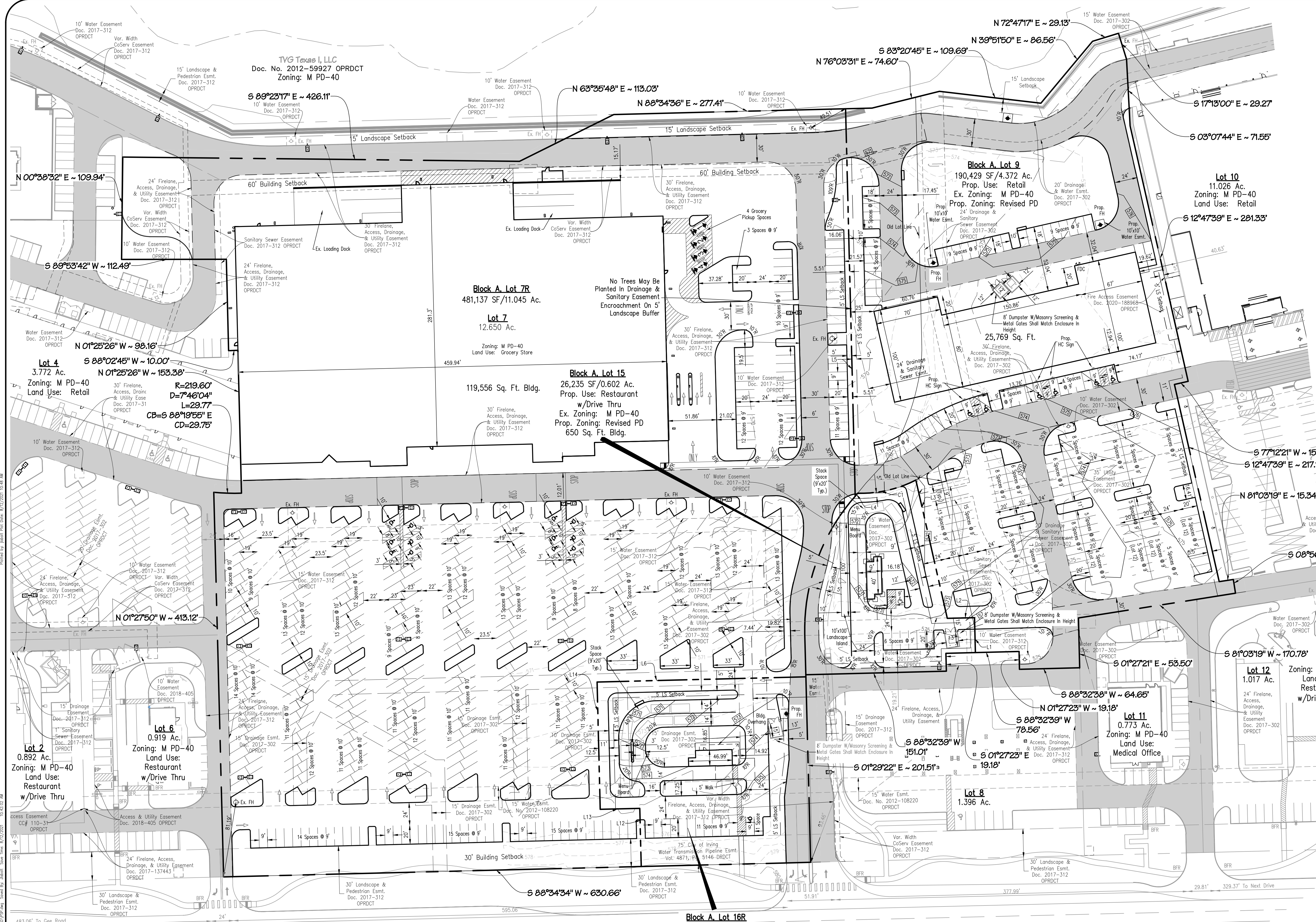
- LEGEND**
- FIRELANE ACCESS & UTILITY EASEMENT
 - PROPOSED FIRE HYDRANT
 - BARRIER FREE RAMP

Case No. D21-0046
PRELIMINARY SITE PLAN
WINDSONG RANCH
MARKETPLACE
 BLOCK A, LOTS 7R, 9, 15 & 16R
 16.986 Acres
 J. SALING SURVEY, ABST. 1675
 IN THE TOWN OF PROSPER, DENTON COUNTY, TEXAS

Owner
 Kroger Texas, L.P.
 1014 Vine Street
 Cincinnati, OH 45202

Owner/Developer
 Northeast 423/380, L.P.
 7001 Preston Road, Suite 410
 Dallas, Texas 75205
 (214) 224-4600
 Contact: Robert Dorazil

Engineer/Surveyor
 Spiars Engineering, Inc.
 765 Custer Road, Suite 100
 Plano, TX 75075
 Telephone: (972) 422-0077
 TBPE No. F-2121
 Contact: Kevin Wier



Block A, Lot 16R
 42,059 SF/0.966 Ac.
 Prop. Use: Restaurant
 w/Drive Thru
 Ex. Zoning: M PD-40
 Prop. Zoning: Revised PD
 737 Sq. Ft. Bldg.

Block A, Lot 5
 Frisco Crossing
 Addition
 Doc. No. 2020-127 PRDCT
 Zoning: Retail
 (City of Frisco)

Block A, Lot 6
 Frisco Crossing
 Addition
 Doc. No. 2018-157 PRDCT
 Zoning: Retail
 (City of Frisco)

Block A, Lot 7
 Frisco Crossing
 Addition
 Doc. No. 2018-157 PRDCT
 Zoning: Retail
 (City of Frisco)

Block A, Lot 8
 Frisco Crossing
 Addition
 Doc. No. 2018-157 PRDCT
 Zoning: Retail
 (City of Frisco)

Block A, Lot 9
 Frisco Crossing
 Addition
 Doc. No. 2020-127 PRDCT
 Zoning: Retail
 (City of Frisco)

Block A, Lot 2
 Frisco Crossing III
 Addition
 Doc. No. 2020-219 PRDCT
 Zoning: Retail
 (City of Frisco)



PLANNING

To: Planning & Zoning Commission

Item No. 3c

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – August 17, 2021

Agenda Item:

Consider and act upon a Final Plat/Replat for Windsong Ranch Market Place, Block A, Lots 7R, 9, 15, and 16R, on 17.0± acres, located on the north side of US 380, east of Gee Road. The property is zoned Planned Development-40 (PD-40). (D21-0047).

Description of Agenda Item:

The Final Plat/Replat for Block A, Lots 7R, 9, 15, and 16R dedicates easements necessary for development and replat one lot (Lot 7) into two lots (Lots 7R & 16R). The plat conforms to Planned Development-40 development standards.

As a companion item, a Preliminary Site Plan (D21-0046) for Windsong Ranch Marketplace is on the August 17, 2021 agenda.

Attached Documents:

1. Location Map
2. Final Plat/Replat

Staff Recommendation:

Staff recommends approval of Final Plat/Replat, subject to:

1. Town staff approval of all additions and/or alterations to the easements and dedications on the Final Plat/Replat.

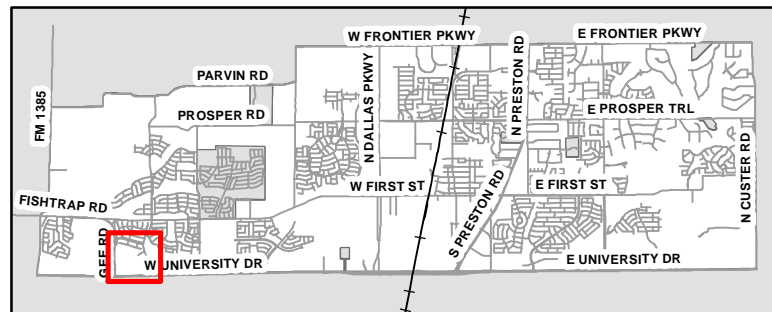
D21-0047 - Windsong Ranch Marketplace

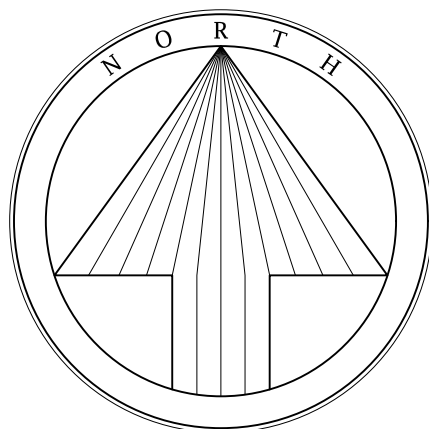


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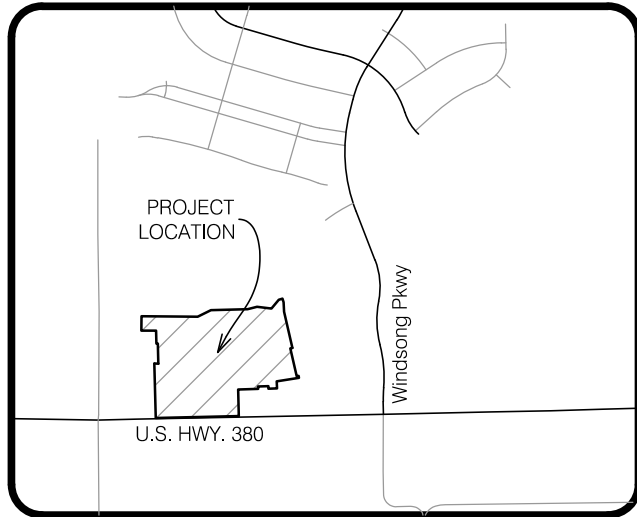


0 375 750 Feet





1 inch = 50 ft.



LEGEND

- 1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPARSING" SET, UNLESS OTHERWISE NOTED
- IRF IRON ROD FOUND
- CRF CAPPED IRON ROD FOUND
- CM CONTROL MONUMENT
- DE DRAINAGE EASEMENT
- DUE DRAINAGE AND UTILITY EASEMENT
- LIE UTILITY EASEMENT
- WE WATER EASEMENT
- SSE SANITARY SEWER EASEMENT
- FADUE FIRELANE, ACCESS, DRAINAGE, & UTILITY EASEMENT (BTP) BY THIS PLAT
- R.O.W. RIGHT-OF-WAY
- BL BUILDING LINE
- DRDCT DEED RECORDS, DENTON COUNTY, TEXAS
- PRDCT PLAT RECORDS, DENTON COUNTY, TEXAS
- OPRDCT OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS
- L&PE LANDSCAPE & PEDESTRIAN EASEMENT

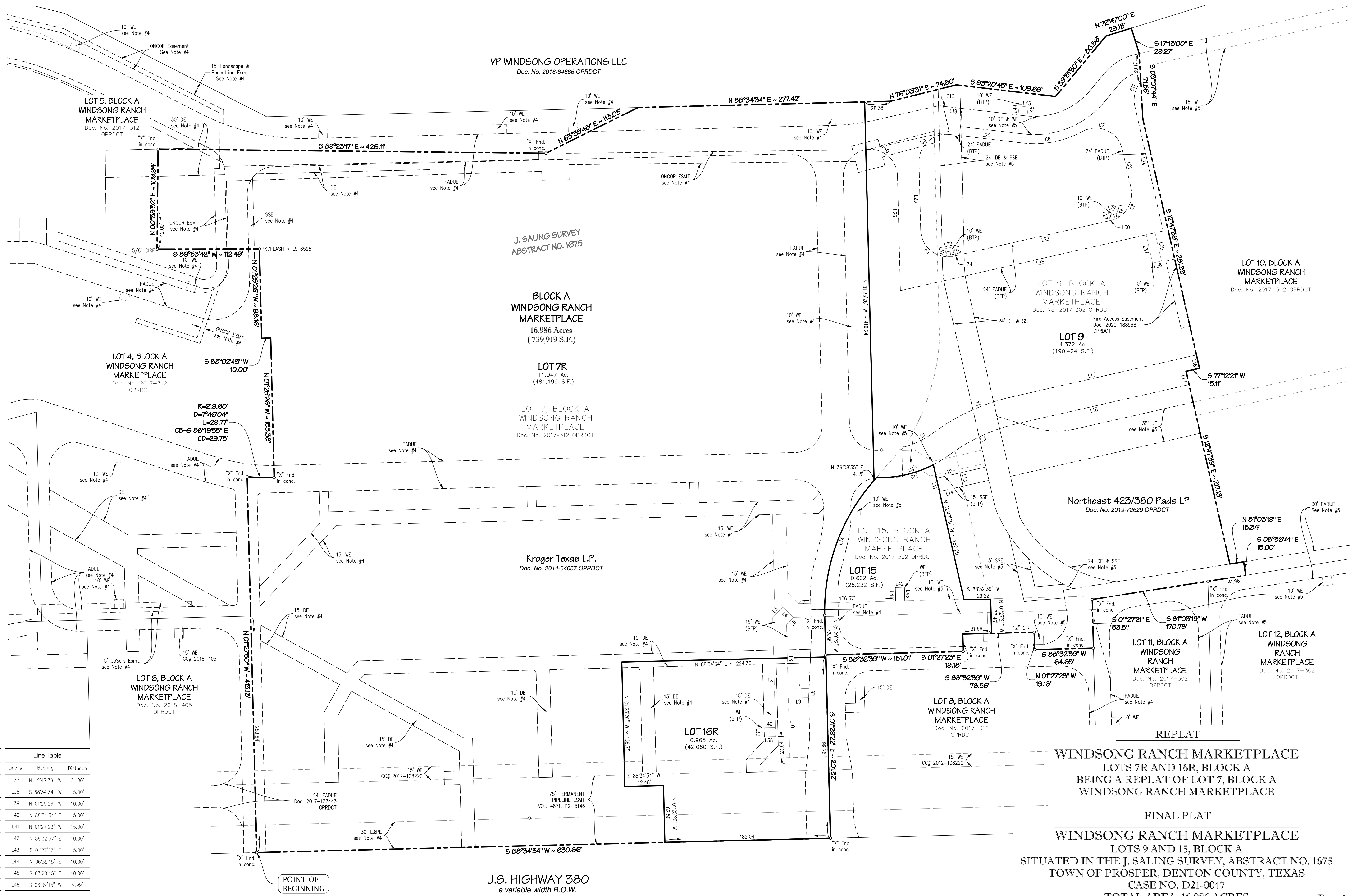
Curve Table

Curve #	Length	Radius	Delta	Chord Bearing	Chord Dist.
C1	37.34	100.00	212°32'29"	N 64°17'42" E	37.12
C2	94.76	230.00	23°36'24"	N 65°24'09" E	94.09
C3	82.40	200.00	23°36'24"	S 65°24'09" W	81.82
C4	79.36	130.00	34°58'37"	S 71°05'16" W	78.13
C5	51.37	30.00	98°06'32"	N 47°36'13" E	45.32
C6	67.85	110.00	35°20'19"	N 78°59'09" E	66.78
C7	55.44	30.00	105°53'21"	S 65°44'20" E	47.88
C8	47.12	30.00	90°00'00"	S 32°12'21" W	42.43
C9	53.08	30.00	101°22'13"	N 52°06'32" W	46.42
C10	51.20	30.00	97°43'41"	N 50°18'11" W	45.22
C11	28.14	30.00	53°44'55"	S 14°04'48" W	27.12
C12	9.35	30.00	175°12'28"	S 68°16'37" W	9.31
C13	8.10	30.00	152°28'27"	S 84°56'35" W	8.08
C14	161.63	216.00	42°52'12"	N 20°04'32" E	157.89
C15	64.80	130.00	28°33'31"	N 77°16'16" E	64.13
C16	4.08	55.00	41°44'44"	N 85°28'06" W	4.07

Line #	Bearing	Distance	Line #	Bearing	Distance	Line #	Bearing	Distance
L1	S 88°35'51" W	15.00'	L19	N 83°20'45" W	14.76'	L37	N 12°47'39" W	31.80'
L2	N 01°25'30" W	154.30'	L20	S 83°20'45" E	81.17'	L38	S 88°34'34" W	15.00'
L3	N 43°34'34" E	16.02'	L21	S 12°47'39" E	43.43'	L39	N 01°25'26" W	10.00'
L4	S 46°25'56" E	16.41'	L22	S 77°12'21" W	176.18'	L40	N 88°34'34" W	15.00'
L5	S 43°34'52" W	11.22'	L23	N 01°25'26" W	74.54'	L41	N 01°27'23" W	15.00'
L6	S 01°25'35" E	70.57'	L24	S 12°47'39" E	140.88'	L42	N 88°32'37" W	10.00'
L7	N 88°34'34" E	23.07'	L25	S 77°12'21" W	296.12'	L43	S 01°27'23" E	15.00'
L8	S 02°41'54" W	10.11'	L26	N 01°25'26" W	126.06'	L44	N 06°39'15" E	10.00'
L9	S 88°47'57" W	22.35'	L27	N 12°47'39" W	10.00'	L45	S 83°20'45" E	10.00'
L10	S 01°25'36" E	65.52'	L28	N 77°12'21" E	10.00'	L46	S 06°39'15" W	9.99'
L11	N 12°47'39" W	15.00'	L29	S 12°47'39" E	8.55'			
L12	N 77°12'21" E	26.50'	L30	S 77°12'21" W	0.80'			
L13	S 12°47'39" E	15.00'	L31	N 12°47'39" W	8.91'			
L14	S 77°12'21" W	26.50'	L32	N 77°12'21" E	10.00'			
L15	N 77°12'21" E	208.46'	L33	S 12°47'39" E	10.00'			
L16	S 12°47'39" E	15.00'	L34	S 77°12'21" W	2.00'			
L17	S 12°47'39" E	15.00'	L35	S 12°47'39" E	31.80'			
L18	S 77°12'21" W	193.35'	L36	S 77°12'21" W	10.00'			

NOTES:

- This replat was prepared without the benefit of a commitment for title insurance. No research was performed for any easements other than that shown on the record plat of this property. Therefore, easements, agreements, and other documents may exist that affect the subject property that are not shown on this replat.
- Basis of bearing: State Plane Coordinate System, North Texas Central Zone 4202, North American Datum of 1983, Adjustment Realization 2011.
- Selling a portion of this addition by metes and bounds is a violation of Town ordinance and state law and is subject to fines and withholding of utilities and building permits.
- Easements shown are recorded per Windsong Ranch Marketplace filing Document No. 2017-312, PRDCT.
- Easements shown are recorded per Windsong Ranch Marketplace filing Document No. 2017-302, PRDCT.
- The purpose of this Replat is to create a new lot, and redefine easements.



REPLAT

WINDSONG RANCH MARKETPLACE

LOTS 7R AND 16R, BLOCK A
BEING A REPLAT OF LOT 7, BLOCK A
WINDSONG RANCH MARKETPLACE

FINAL PLAT

WINDSONG RANCH MARKETPLACE

LOTS 9 AND 15, BLOCK A
SITUATED IN THE J. SALING SURVEY, ABSTRACT NO. 1675
TOWN OF PROSPER, DENTON COUNTY, TEXAS
CASE NO. D21-0047
TOTAL AREA: 16.986 ACRES

OWNER / APPLICANT
Northeast 423/380 Pads, Ltd.
7001 Preston Rd., Ste. 410
Dallas, Texas 75205
Telephone (214) 224-4644
Contact: Robert V. Dorazil

OWNER / APPLICANT
Kroger Texas LP
1014 Vine Street
Cincinnati, OH 45202

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPELS No. F-2121 and No. F-10043100
Contact: Kevin Wier

Drawing: C:\2021\0885321-04-Windsong Marketplace - Lot 9\SURVEY\DWG\21-034_Final_Plat.dwg Saved By: jabbott Date: 7/7/2021 9:58:18 AM Printed By: jabbott Plot Date: 7/9/2021 3:40 PM

OWNER'S CERTIFICATE
STATE OF TEXAS §
COUNTY OF DENTON §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
THAT Northeast 423/380 Pads LP, and Kroger Texas L.P. acting herein by and through their duly authorized officers, do hereby certify and adopt this plat designating the herein above described property as a Replat of WINDSONG RANCH MARKETPLACE, Lot 7R, Block A, and a Final Plot of Lots 9 and 15, Block A of Windsong Ranch Marketplace, an addition to the Town of Prosper, and do hereby dedicate to the public use forever, the streets and alleys shown thereon. The Northeast 423/380 Pads LP, and Kroger Texas L.P. do herein certify the following:

- The streets and alleys are dedicated for street and alley purposes.
- All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
- The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat.
- No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
- The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town of Prosper's use thereof.
- The Town of Prosper and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- All modifications to this document shall be by means of plat and approved by the Town of Prosper. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas

WITNESS, MY HAND AT _____, TEXAS, THIS _____ DAY OF _____, 2021.

NORTHEAST 423/380 PADS LP,
a Texas limited partnership

By: NORTHEAST CORNER, LLC
a Texas limited liability company
General Partner

By: _____
Robert V. Dorazil,
Manager

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Robert V. Dorazil, as Manager of Northeast Corner, LLC, a Texas limited liability company, General Partner of NORTHEAST 423/380 PADS LP, a Texas limited partnership, who is personally known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same as the act and deed of such limited liability company and limited partnership, for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2021.

My Commission Expires: _____
Notary Public in and for
the State of Texas

WITNESS, MY HAND AT _____, TEXAS, THIS _____ DAY OF _____, 2021.

KROGER TEXAS L.P.

BY: _____
Rick J. Landrum,
Vice President

STATE OF _____:
COUNTY OF _____:

Before me, the undersigned authority, a notary public in and for said county and state, on this day personally appeared _____, known to me to be the person or persons whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same in the capacity herein stated and the act and deed of said company.
given under my hand and seal of office, this _____ day of _____, 2021.

NOTARY PUBLIC, STATE OF TEXAS

METES AND BOUNDS DESCRIPTION

BEING a tract of land situated in the J. Saling Survey, Abstract No. 1675, Town of Prosper, Denton County, Texas, being all of Lot 7, Block A of Windsong Ranch Marketplace, an addition to the Town of Prosper, according to the map or plat thereof recorded in Document No. 2017-312 of the Official Public Records of Denton County, Texas, conveyed to Northeast 423/380 Pads LP, by deed recorded in Document No. 2019-72629 of the Official Public Records of Denton County, Texas, and being all of Lots 9 and 15, Block A of Windsong Ranch Marketplace, an addition to the Town of Prosper, according to the map or plat thereof recorded in Document No. 2017-302 of the Official Public Records of Denton County, conveyed to Kroger Texas L.P., by deed recorded in Document No. 2014-64057 of the Official Public Records of Denton County, Texas, and collectively being more particularly described as follows:

BEGINNING at an "X" found in concrete at the southwest corner of said Lot 7, Block A and the southeast corner of Lot 6, Block A of said Windsong Ranch Marketplace, and lying in the north right-of-way line of U.S. Highway 380 (a variable width right-of-way);

THENCE, N 01°27'50" W, passing at a distance of 259.94 feet the northeast corner of said Lot 6, Block A and the southeast corner of Lot 4, Block A of said Windsong Ranch Marketplace, continuing along the east line of said Lot 4, Block A, a total distance of 413.13 feet to an "X" found in concrete;

THENCE around a non-tangent curve to the left having a central angle of 07°46'04", a radius of 219.60 feet, a chord of S 88°19'55" E - 29.75 feet, an arc length of 29.77 feet to an "X" found in concrete;

THENCE, N 01°25'26" W, 153.38 feet to a 1/2 inch iron rod capped "SPIARSEN" set;

THENCE, S 88°02'45" W, 10.00 feet to a 1/2 inch iron rod capped "SPIARSEN" set;

THENCE, N 01°25'26" W, 98.16 feet to a PK Nail found;

THENCE, S 89°53'42" W, 112.49 feet to an "X" found in concrete;

THENCE, N 00°38'32" E, 109.94 feet, passing at a distance of 42.00 feet the northeast corner of said Lot 4, Block A and the southeast corner of Lot 5, Block A of said Windsong Ranch Marketplace, and continuing a total distance of 109.94 feet to an "X" found in concrete;

THENCE, S 89°23'17" E, 426.11 feet to an "X" found in concrete;

THENCE, N 63°35'48" E, 113.03 feet to a 1/2 inch iron rod capped "SPIARSEN" set lying in the south line of a tract of land conveyed to VP Windsong Operations LLC, by deed recorded in Document No. 2018-84666, Official Public Records of Denton County, Texas;

THENCE along said south line of VP Windsong Operations tract, the following courses and distances:

N 88°34'34" E, 277.42 feet to a 1/2 inch iron rod capped "SPIARSEN" set;

N 76°03'31" E, 74.60 feet to a 1/2 inch iron rod capped "SPIARSEN" set;

S 83°20'45" E, 109.69 feet to a 1/2 inch iron rod capped "SPIARSEN" set;

N 39°51'50" E, 86.56 feet to a 1/2 inch iron rod capped "SPIARSEN" set;

N 72°47'00" E, 29.13 feet to a 1/2 inch iron rod capped "SPIARSEN" set at the northwest corner of Lot 10, Block A of said Windsong Ranch Marketplace;

THENCE along the west line of said Lot 10, Block A, the following courses and distances:

S 17°13'00" E, 29.27 feet to a 1/2 inch iron rod capped "SPIARSEN" set;

S 03°07'44" E, 71.55 feet to a 1/2 inch iron rod capped "SPIARSEN" set;

S 12°47'39" E, 281.33 feet to a 1/2 inch iron rod capped "SPIARSEN" set;

S 77°12'21" W, 15.11 feet to a 1/2 inch iron rod capped "SPIARSEN" set;

S 12°47'39" E, 217.13 feet to a 1/2 inch iron rod capped "SPIARSEN" set;

N 81°03'19" E, 15.34 feet to a 1/2 inch iron rod capped "SPIARSEN" set;

S 08°56'41" E, 15.00 feet to a 1/2 inch iron rod capped "SPIARSEN" set at the southwest corner of said Lot 10, Block A and lying in the north line of Lot 12, Block A of said Windsong Ranch Marketplace;

THENCE, S 81°03'19" W, passing at a distance of 41.98 feet an "X" found in concrete at the northwest corner of said Lot 12, Block A and the northeast corner of Lot 11, Block A of said Windsong Ranch Marketplace, and continuing a total distance of 170.78 feet to an "X" found in concrete at the northwest corner of said Lot 11, Block A;

THENCE, S 01°27'21" E, 53.51 feet along the west line of said Lot 11, Block A to a an "X" found in concrete at the northeast corner of Lot 8, Block A of said Windsong Ranch Marketplace;

THENCE along the north line of said Lot 8, Block A, the following courses and distances:

S 88°32'39" W, 64.65 feet to an "X" found in concrete;

N 01°27'23" W, 19.18 feet to a 1/2 inch capped iron rod found;

S 88°32'39" W, 78.56 feet to a 1/2 inch iron rod capped "SPIARSEN" set;

S 01°27'23" E, 19.18 feet to an "X" found in concrete;

S 88°32'39" W, 151.01 feet to an "X" found in concrete at the northwest corner of said Lot 8, Block A;

S 01°29'22" E, 201.52 feet to an "X" found in concrete at the southwest corner of said Lot 8, Block A and lying in said north right-of-way line of U.S. Highway 380;

THENCE, S 88°34'34" W, 630.66 feet along said north right-of-way line of U.S. Highway 380 to the POINT OF BEGINNING with the subject tract containing 739,919 square feet or 16.986 acres of land.

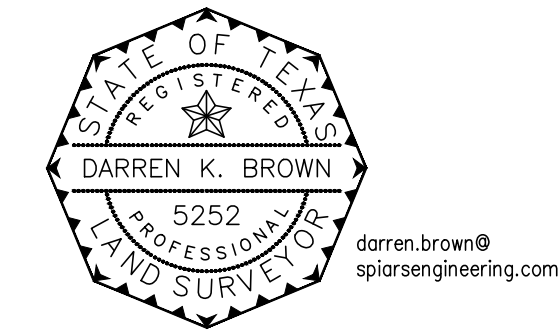
SURVEYOR'S CERTIFICATE

That I, Darren K. Brown, of Spiars Engineering, Inc., do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the City of _____, Texas.

Dated this the _____ day of _____, 2021.

PRELIMINARY, THIS DOCUMENT
SHALL NOT BE RECORDED
FOR ANY PURPOSE

DARREN K. BROWN, R.P.L.S. NO. 5252



STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Darren K. Brown, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2021.

Notary Public, State of Texas

CERTIFICATE OF APPROVAL

Approved this _____ day of _____, 2021 by the Planning & Zoning Commission of the Town of Prosper, Texas.

Town Secretary

Engineering Department

Planning Department

REPLAT

WINDSONG RANCH MARKETPLACE
LOTS 7R AND 16R, BLOCK A
BEING A REPLAT OF LOT 7, BLOCK A
WINDSONG RANCH MARKETPLACE

FINAL PLAT

WINDSONG RANCH MARKETPLACE
LOTS 9 AND 15, BLOCK A
SITUATED IN THE J. SALING SURVEY, ABSTRACT NO. 1675
TOWN OF PROSPER, DENTON COUNTY, TEXAS
CASE NO. D21-0047
TOTAL AREA: 16.986 ACRES

OWNER / APPLICANT
Northeast 423/380 Pads, Ltd.
7001 Preston Rd., Ste. 410
Dallas, Texas 75205
Telephone (214) 224-4644
Contact: Robert V. Dorazil

OWNER / APPLICANT
Kroger Texas LP
1014 Vine Street
Cincinnati, OH 45202

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPELS No. F-2121 and No. F-10043100
Contact: Kevin Wier



PLANNING

To: Planning & Zoning Commission

Item No. 3d

From: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – August 17, 2021

Agenda Item:

Consider and act upon a Preliminary Plat for Ladera Prosper, Block A, Lot 1, on 63.3± acres, located on the west side of Custer Road, south of First Street. The property is zoned Planned Development-107 (PD-107). (D21-0074).

Description of Agenda Item:

The Preliminary Plat shows a single lot and dedicates easements necessary for development of a gated, age-restricted, condominium style, multifamily development, consisting of 243 units, Ladera. Access is provided from Custer Road. The Preliminary Plat conforms to PD-107 development standards. As a companion item, the Preliminary Site Plan for Brookhollow Ladera, D21-0075, is on August 17, 2021 agenda.

Attached Documents:

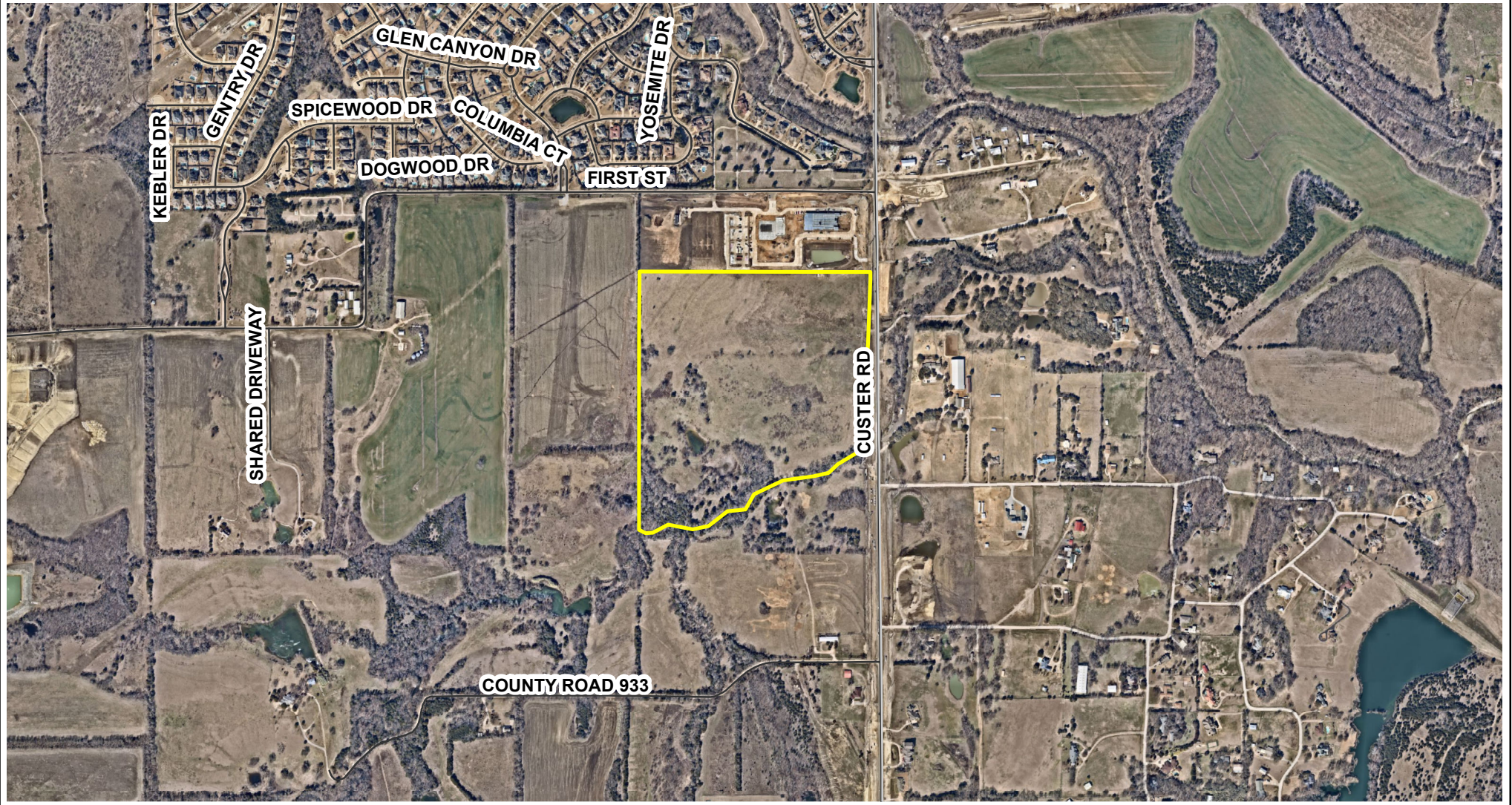
1. Location Map
2. Preliminary Plat

Staff Recommendation:

Staff recommends approval of the Preliminary Plat subject to:

1. Engineering Services Department approval of preliminary water, sewer, and drainage plans, which shall be approved prior to submission of a Site Plan application and corresponding civil plans.
2. Parks Department approval of enhanced landscape plans, as identified in Planned Development-107. Approval of enhanced landscape plans are pending review, subject to requested additional information, and are dependent on factors, including, but not limited to, TxDOT approval and determination of any adverse impacts for drainage on downstream properties.
3. Staff approval of all additions and/or alterations to the easements and dedications on the Preliminary Plat, including hike and bike trail easements on open space lots.

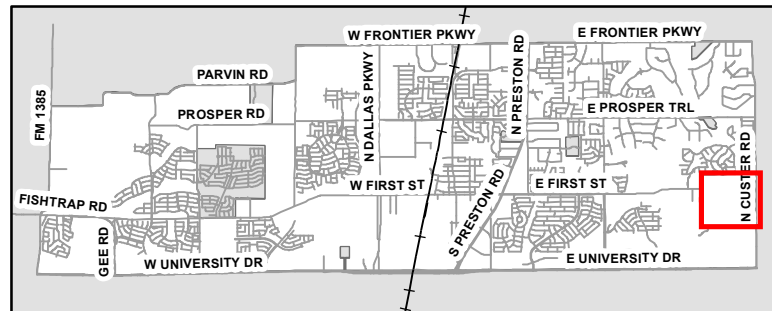
D21-0074 - Ladera

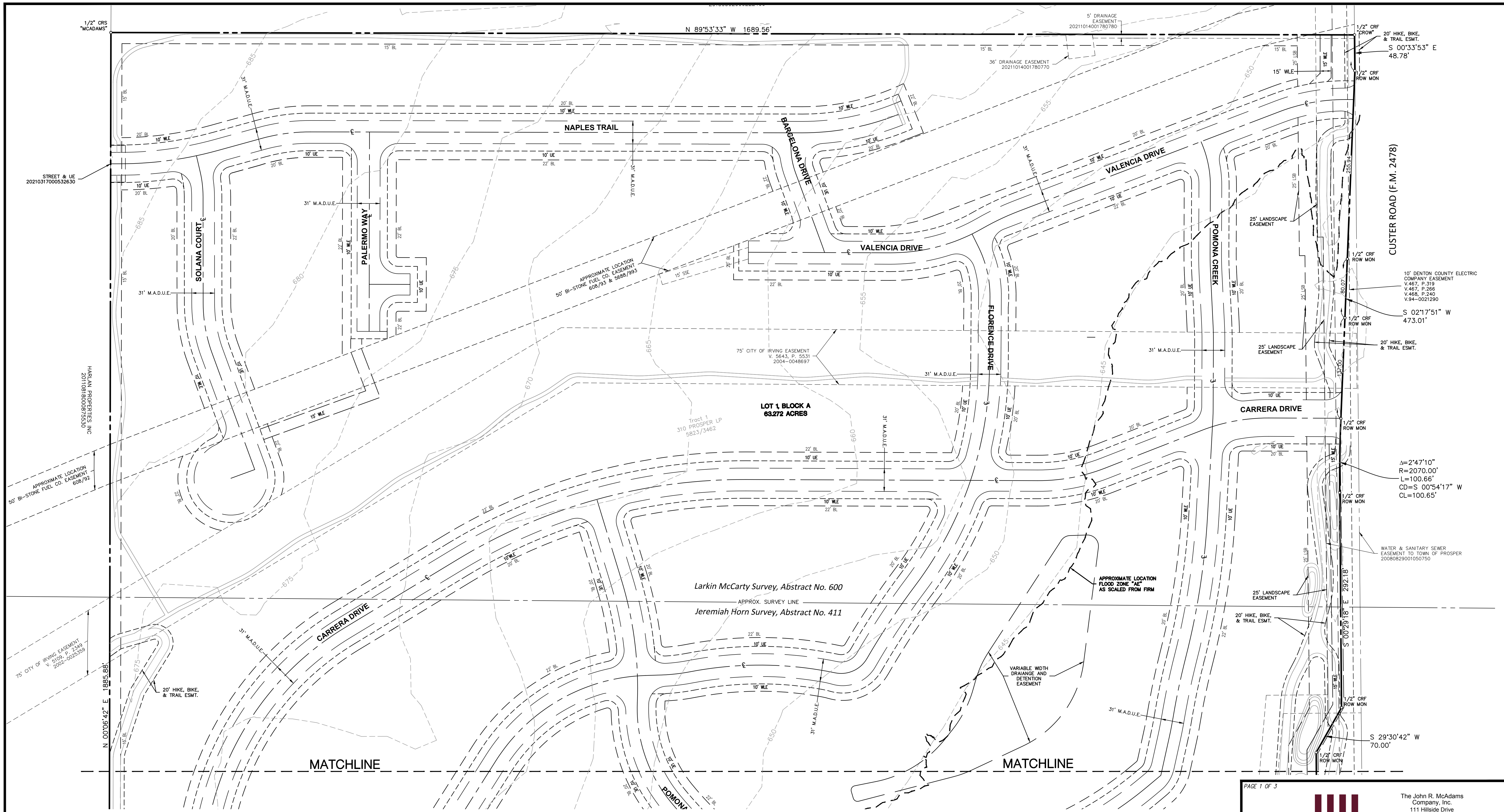


This map is for illustration purposes only.

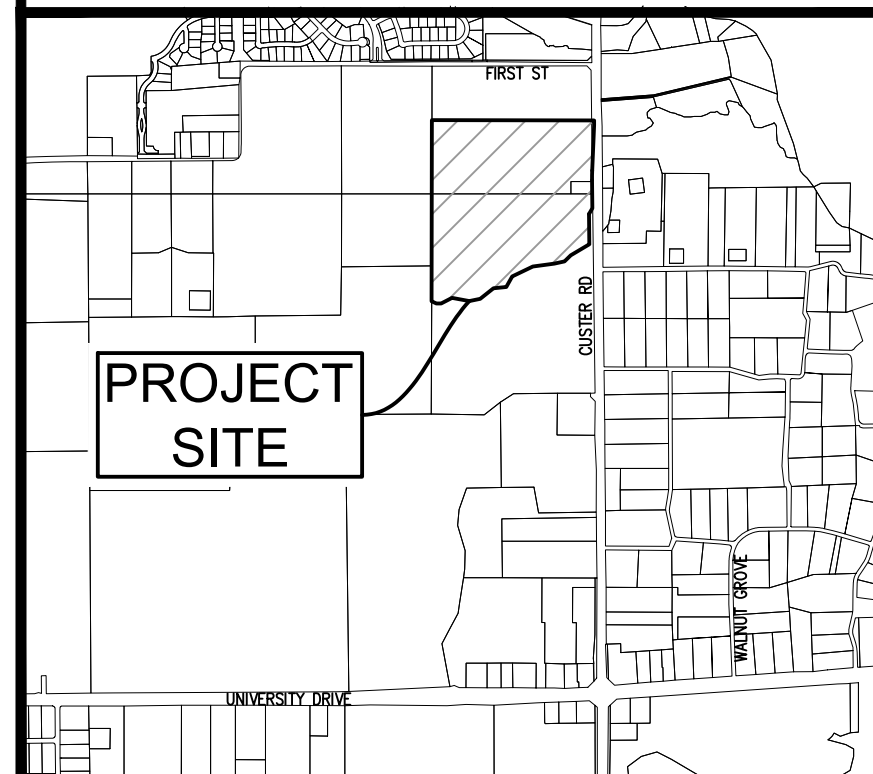


0 750 1,500 Feet

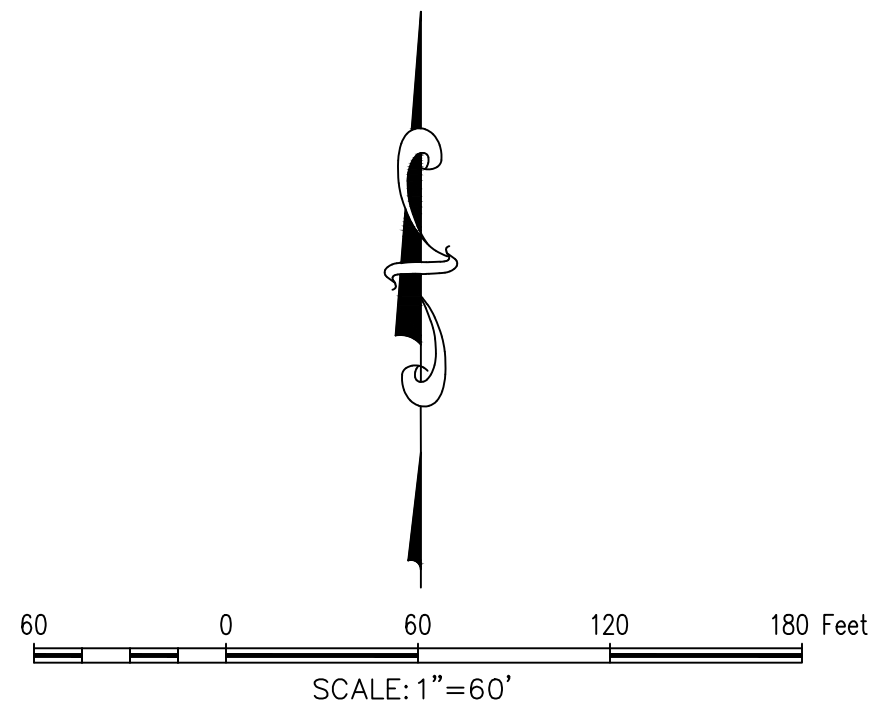




VICINITY MAP SCALE 1"=2000'



- LEGEND**
- RF = REBAR FOUND
 - CRF = CAPPED REBAR FOUND
 - CRS = CAPPED REBAR SET
 - BL = BUILDING LINE
 - UE = UTILITY EASEMENT
 - LSB = LANDSCAPE BUFFER
 - CL = CENTER LINE
 - EHS = EROSION HAZARD SETBACK
 - WLE = WATER LINE EASEMENT
 - MADUE = MUTUAL ACCESS, DRAINAGE AND UTILITY EASEMENT



PRELIMINARY PLAT
LOT 1, BLOCK A
LADERA PROSPER
63.272 Acres
Job# D21-0074
 in the
J. HORN SURVEY, ABSTRACT NO. 411
LARKIN MCCARTY SURVEY, ABSTRACT NO. 600
TOWN OF PROSPER
COLLIN COUNTY, TEXAS

PAGE 1 OF 3

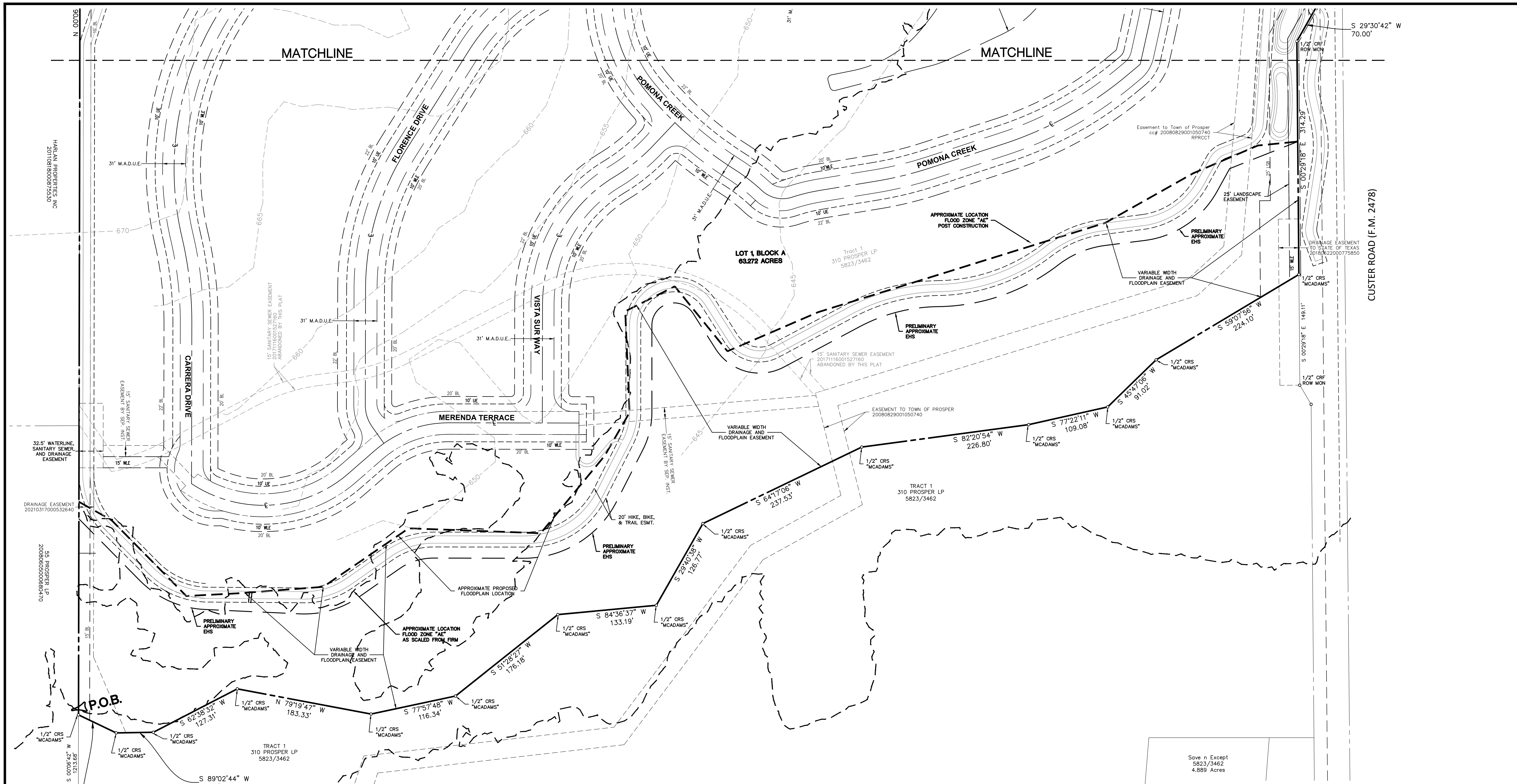


The John R. McAdams Company, Inc.
 111 Hillside Drive
 Lewisville, Texas 75057
 972.436.9712
 201 Country View Drive
 Roanoke, Texas 76262
 940.240.1012
 TBPE: 19762 TBPLS: 10194440
 www.gacon.com
 www.mcadamsco.com

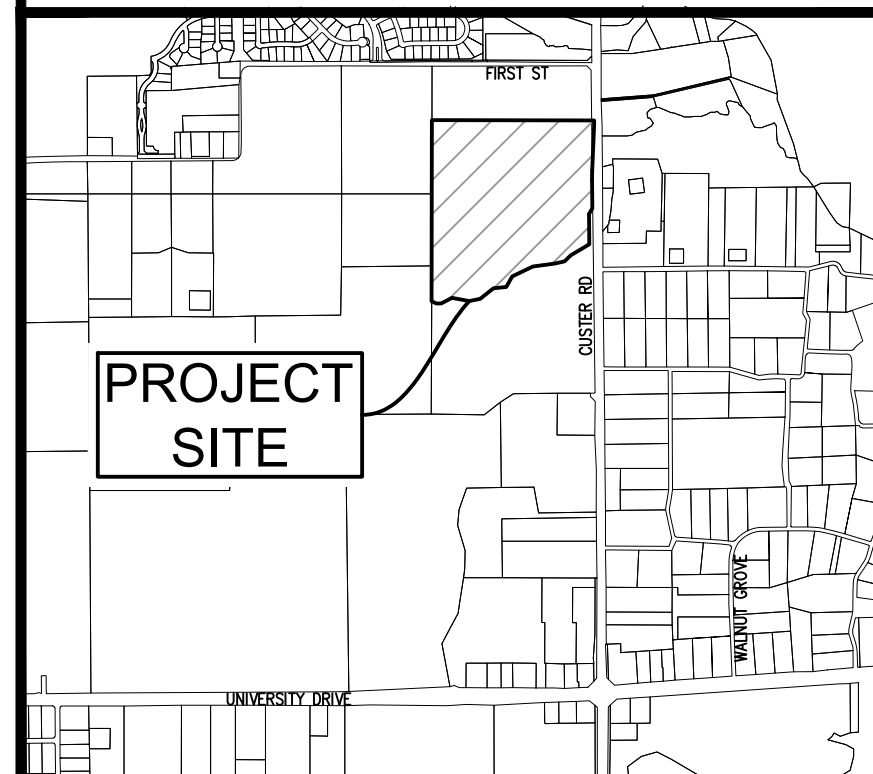
DRAWN BY: BC DATE: 07/01/2021 SCALE: 1" = 60' JOB. No. 18291

OWNER/DEVELOPER
PR LADERA, LLC
381 W BYRON NELSON BLVD
STE. 104
ROANOKE, TX 76262
Ph. 817-430-3318
Contact: JOHN DELIN

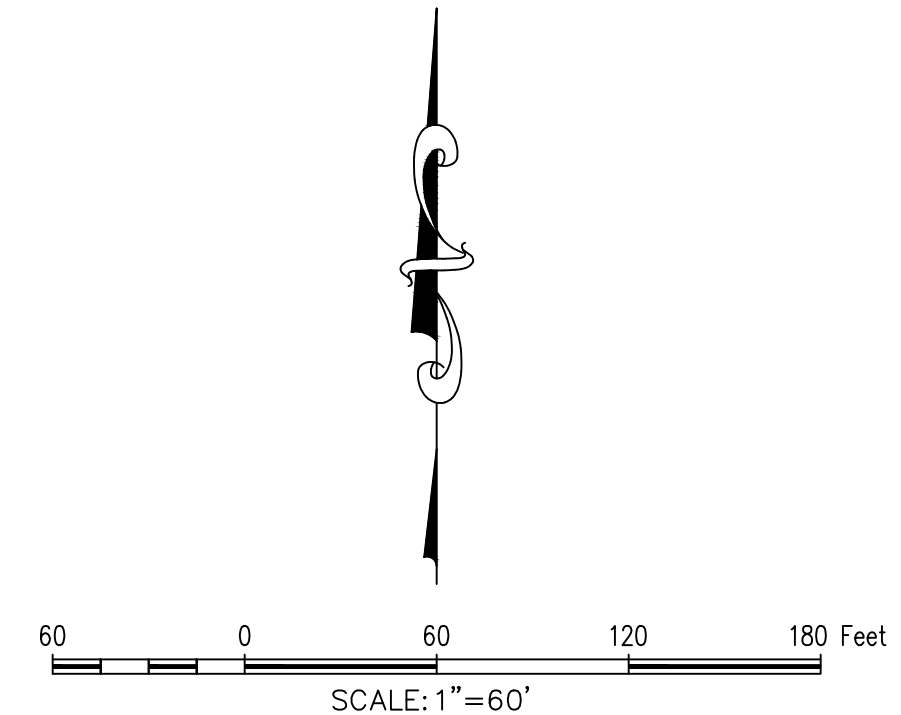
File: 2_2020\18291\Drawings\Plan_Plot\18291_PP
 Plotted: 8/7/2021 11:32 AM by BHam, Alec_Somers 8/7/2021 11:38 AM by akham



VICINITY MAP SCALE 1"=2000'




- LEGEND**
- RF = REBAR FOUND
 - CRF = CAPPED REBAR FOUND
 - CRS = CAPPED REBAR SET
 - BL = BUILDING LINE
 - UE = UTILITY EASEMENT
 - LSB = LANDSCAPE BUFFER
 - CL = CENTER LINE
 - EHS = EROSION HAZARD SETBACK
 - WLE = WATER LINE EASEMENT
 - MADUE = MUTUAL ACCESS, DRAINAGE AND UTILITY EASEMENT



Save n Except
5823/3462
4.889 Acres

PAGE 2 OF 3



The John R. McAdams Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972.436.9712

201 Country View Drive
Roanoke, Texas 76262
940.240.1012

TBPE: 19762 TBPLS: 10194440
www.gacon.com
www.mcadamsco.com

PRELIMINARY PLAT
LOT 1, BLOCK A
LADERA PROSPER
63.272 Acres
Job# D21-0074
 in the
J. HORN SURVEY, ABSTRACT NO. 411
LARKIN MCCARTY SURVEY, ABSTRACT NO. 600
TOWN OF PROSPER
COLLIN COUNTY, TEXAS

DRAWN BY: BC DATE: 07/01/2021 SCALE: 1"=60' JOB. No. 18291

OWNER/DEVELOPER
INTEGRITY GROUP
381 W BYRON NELSON BLVD
STE. 104
ROANOKE, TX 76262
Ph. 817-430-3318
Contact: JOHN DELIN

File: 2_2021011309\Drawings\Plan_Plot\18291.dwg
 Plotted: 8/7/2021 11:32 AM by Bkham, Alec
 8/7/2021 11:38 AM by akham

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF §

BEING all that certain lot, tract, or parcel of land, situated in the Larkin McCarty Survey, Abstract Number 600, and the Jeremiah Horn Survey, Abstract Number 411, Collin County, Texas, and being part of that certain called 138.702 acre tract of land, described as Tract 1, in deed to 310 Prosper, L.P., recorded in Volume 5823, Page 3462, Deed Records, Collin County, Texas, and being part of that certain tract of land, described in deed to FF 14th Fairway Limited Partnership, recorded in Volume 4212, Page 2103, Deed Records, Collin County, Texas, and being more particularly described as follows:

COMMENCING at a 5/8" rebar found, at the southwest corner of said Tract 1, and being the southeast corner of that certain called 55.855 acre tract of land, described in deed to 55 Prosper, L.P., recorded in Instrument Number 20080605000680470, Official Public Records, Collin County, Texas, and being on the north line of that certain called 84.983 acre tract of land, described in deed to 104 Prosper, L.P., recorded in Volume 5316, Page 5314, Deed Records, Collin County, Texas, from which a 5/8" rebar found at the northeast corner thereof, and being the southerly southeast corner of said Tract 1, bears S 88°51'51" E, a distance of 722.94 feet;

THENCE N 00°06'42" E, with the west line of said Tract 1, and the east line of said 55 Prosper, L.P., tract, a distance of 1213.68 feet to a 1/2" capped rebar set stamped "MCADAMS" at the POINT OF BEGINNING, and being the southwest corner of the herein described tract of land;

THENCE N 00°06'42" E, with the west line of said Tract 1, and the east line of said 55 Prosper, L.P., tract, passing the northeast corner thereof, and being the southeast corner of that certain tract of land, described in deed to Harlan Properties Inc., recorded in Instrument Number 20110818000875530, Official Public Records, Collin County, Texas, and continuing with the east line thereof, a total distance of 1899.89 feet to a 1/2" capped rebar set stamped "MCADAMS" at the southwest corner of that certain tract of land, described in deed to Grace Academy, recorded in Instrument Number 20150302000222400, Official Public Records, Collin County, Texas, from which the northwest corner of said Tract 1, bears N 00°06'42" E, a distance of 587.66 feet;

THENCE S 89°53'33" E, with the south line of said Grace Academy tract, a distance of 1689.56 feet to a 1/2" capped rebar found at the southeast corner thereof, being on the east line of said Tract 1, and the west line of Custer Road, from which a Wood ROW monument found at the easterly northeast corner of said Tract 1 bears N 00°33'20" W, a distance of 506.01 feet;

THENCE S 00°33'53" E, with the east line of said Tract 1, and the west line of said Custer Road, a distance of 48.78 feet to an Aluminum Texas Department of Transportation (TxDOT) monument found at the north end of certain called 2.662 acre Right-of-Way dedication to the State of Texas, described as Tract 15, recorded in Instrument Number 20180622000775840, Official Public Records, Collin County, Texas;

THENCE with the west line of said 2.662 acre Right-of-Way dedication, and the west line of said Custer Road, the following:
S 02°17'51" W, passing at 255.94 feet a TxDOT monument found, passing at 366.01 feet a TxDOT monument found, and continuing a total distance of 473.01 feet to a TxDOT monument found;

Southwesterly with the arc of a curve to the left, having a radius of 2070.00 feet, a central angle of 02°47'10", an arc length of 100.66 feet, and whose chord bears S 00°54'17" W, a distance of 100.65 feet to a TxDOT monument found;

S 00°29'18" E, a distance of 292.18 feet to a TxDOT monument found;

S 29°30'42" W, a distance of 70.00 feet to a TxDOT monument found;

S 00°29'18" E, a distance of 314.29 feet to a 1/2" capped rebar set stamped "MCADAMS" at the southeast corner of the herein described tract of land, from which a TxDOT monument found bears S 00°29'18" E, a distance of 149.11 feet;

THENCE over, across, and through said Tract 1, generally with the center of a creek, the following:

S 59°07'56" W, a distance of 224.10 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 45°47'06" W, a distance of 91.02 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 77°22'11" W, a distance of 109.08 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 82°20'54" W, a distance of 226.80 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 64°17'06" W, a distance of 237.53 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 29°40'38" W, a distance of 126.77 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 84°36'37" W, a distance of 133.19 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 51°28'27" W, a distance of 176.18 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 77°57'48" W, a distance of 116.34 feet to a 1/2" capped rebar set stamped "MCADAMS";

N 79°19'47" W, a distance of 183.33 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 62°38'32" W, a distance of 127.31 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 89°02'44" W, a distance of 50.09 feet to a 1/2" capped rebar set stamped "MCADAMS";

N 64°23'44" W, a distance of 56.26 feet to the POINT OF BEGINNING and containing approximately 63.272 acres of land.

NOW, THEREFORE, KNOWN ALL MEN BY THESE PRESENTS:

THAT we, INTEGRITY GROUP, acting herein by and through its duly authorized officers, does hereby certify and adopt this plat designated the herein above described property as (Subdivision Name), an addition to the Town of Prosper. The streets and alleys shown on this plat as access easements are for the use and benefit or the owner of the property of this subdivision, their leases, invitees, and licensees. By acceptance of a deed conveying title to any lot in this subdivision, the owner thereof shall be deemed to have agreed and acknowledged and does certify the following:

1. The street and alleys are private streets and alleys and are dedicated to the Town of Prosper as Access, Utility, and Drainage Easements. The Town has no responsibility or liability to make any repairs to such streets and alleys as long as they are private streets and alleys, except repairs made necessary by reason of installation, repair, or replacement of municipal utilities located therein or in the utility easements adjacent thereto.

2. So long as such streets and alleys are private, the sole responsibility for maintenance and replacement thereof shall be borne by the owners of the lots in this subdivision and/or any homeowners' association hereafter established for the owners of lots in this subdivision (the "Association"). Such maintenance and replacement shall be in conformance with the requirements, standards, and specifications of the Town of Prosper, as presently in effect or as same may be hereafter amended. This provision may be enforced by specific performance or by any other remedy allowed by law.

3. Neither the property owners within this subdivision, nor the Association, nor any other association or other organization or entity representing them shall have the right to request dedication (whether by voluntary or involuntary act or omission) of such private streets and alleys to the Town unless and until the Town has inspected such streets and alleys and determined that, at the time in question, they meet the Town's standards. If the Town desires to accept a dedication of said streets and alleys, the Association, its successors or assigns, or the owners of the lots in the subdivision will may, at the owners' or the Association's expense, all repairs required by the Town to the private streets and alleys to the Town. Before dedication, all public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.

4. These easements and public use areas, as shown, are dedicated for the benefit of the owners of the property in this subdivision, their leases, invitees, and licensees use forever, for the purpose indicated on this plat.

5. The provisions hereof shall be binding upon and enforceable against all property owners in this subdivision, their successors and assigns and the Association and its successors and assigns. The provisions hereof may be enforced by the Town, any property owner in the subdivision, and/or the Association.

6. These covenants and restrictions shall run with the land and be binding on the owners of the property in this subdivision, their successor and assigns, the Association, its successors and assigns and all parties claiming by, through and under them. In the event a replat is requested on all or part of this property, the Town may require any similar or additional restrictions and covenants in its sole discretion. These covenants and restrictions shall terminate when all the access easements shown on this plat are included within a replat of all or part of this property and are dedicated to the Town as public streets and alleys. In addition, all modifications to this document shall be by means of plat and approved by the Town of Prosper.

7. If the owner of the property in this subdivision should open the private streets to the public, such use shall be considered a temporary license only. The owners of property in this subdivision through the Association reserve the right to close the street to the public at any time prior to formal dedication of the street to the public, and acceptance of the same by The Town.

8. The owners of property in this subdivision and the Association shall allow access to the subdivision and the streets in the subdivision to all Town employees and contractors acting on behalf of the Town and all governmental service vehicles, including, without limitation, law enforcement, fire, ambulance, sanitation, inspection, and health vehicles. In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Town's use thereof. The Town of Prosper and public utilities shall, at all time, have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding or removing all or parts of their respective systems without the necessity of procuring permission from anyone.

9. The owners of property within this subdivision hereby agree and recognize that the entire subdivision is benefited by the Town allowing the owners to maintain and control access to the private streets shown hereon, and that the Town is benefited by having the value of the property enhanced or of voter tax purposes and not being under any covenants, the benefits shall constitute sufficient and valid consideration.

10. The owners of each lot affected by a drainage easement across the rear portion of such lot may not construct any improvements within such lot except those improvements which (a) do not impede the natural flow of water across the property affected by such drainage easement (such as swimming pools and open fences) and (b) are built in accordance with and pursuant to a building permit issued by the Town. In no event shall (Owner Name), the Town, the Association or any of their successors or assigns have any liability for any improvements built in any drainage or utility easement. Each lot owner shall build in such area at his or her own risk and shall indemnify (Owner Name), the Town, the Association and their successors and assigns against any and all losses, damages and liability arising out of or associated with the construction of improvements on such owner's lot in any drainage or utility easement.

11. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscaping improvements may be placed in Landscape Easements, if approved by the Town. Landscaping may be placed in or near other easements with Town approval. The Town and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The Town of Prosper is not responsible for replacing any improvements in, under, or over any easement caused by maintenance or repair.

12. Invalidation or any word, phrase, sentence, paragraph, covenant, or restriction by court judgement or otherwise, shall not affect the validity of the other covenants or restrictions contained herein.

13. a. 100 Year Floodplain Easement Restriction: Construction within the floodplain may not occur until approved by the Town. (A request for construction within the floodplain easement must be accompanied with detailed engineering plans and studies indicating that no flooding will result, that no obstruction to the natural flow of water will result, and subject to all owners or the property affected by such construction becoming a party to the request.) Where construction is approved, all finished floor elevations shall be a minimum of one (1) foot above the 100-year flood elevation as determined by analyzing the ultimate build-out conditions of the entire drainage basin. Existing creeks, lakes, reservoirs, or drainage channels traversing along or across portions of this addition, will remain as an open channel at all times and will be maintained by the individual owners of the lot or lots that are traversed by the drainage courses along or across said lots. The Town will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion. Each property owner shall keep the natural drainage channels traversing his/her property clean and free of debris, silt, or any substance that would result in unsanitary conditions. The Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions, which may occur. The Town is not obligated to maintain or assistance with maintenance of the area. The natural drainage channel, as in the case of all natural drainage channels, are subject to storm water overflow and natural bank erosion. The Town shall not be liable for damages of any nature resulting from the occurrence of these natural phenomena, nor resulting from a failure of any structure(s) within the natural drainage channels. The natural drainage channel crossing each lot is shown by the Floodway easement line as shown on the plat. If a Subdivision alters the horizontal or vertical floodplain, a FEMA Floodway map revision may be required.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Prosper, Texas.

WITNESS, my hand, this the ____ day of _____, 2021.

BY: INTEGRITY GROUP

JOHN DELIN, AUTHORIZED REPRESENTATIVE
INTEGRITY GROUP

STATE OF TEXAS §
COUNTY OF §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared JOHN DELIN, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2021.

Notary Public, State of Texas

My commission expires the ____ day of _____, ____.

Approved this ____ day of _____, 2021 by the Planning & Zoning Commission of the Town of Prosper, Texas.

Development Services Department

Engineering Department

Town Secretary

SURVEYOR'S STATEMENT

I, James Stowell, a Registered Professional Land Surveyor in the State of Texas, have prepared this plat of the above property from an actual survey on the ground, and this plat represents that survey made by me or under my supervision.

PRELIMINARY DOCUMENT:
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

JAMES STOWELL, RPLS 6613 8/12/21

James Stowell, RPLS
Texas Registration No. 6513

STATE OF TEXAS §
COUNTY OF §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this personally appeared _____, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2021.

Notary Public, State of Texas

My commission expires the ____ day of _____, 2021.

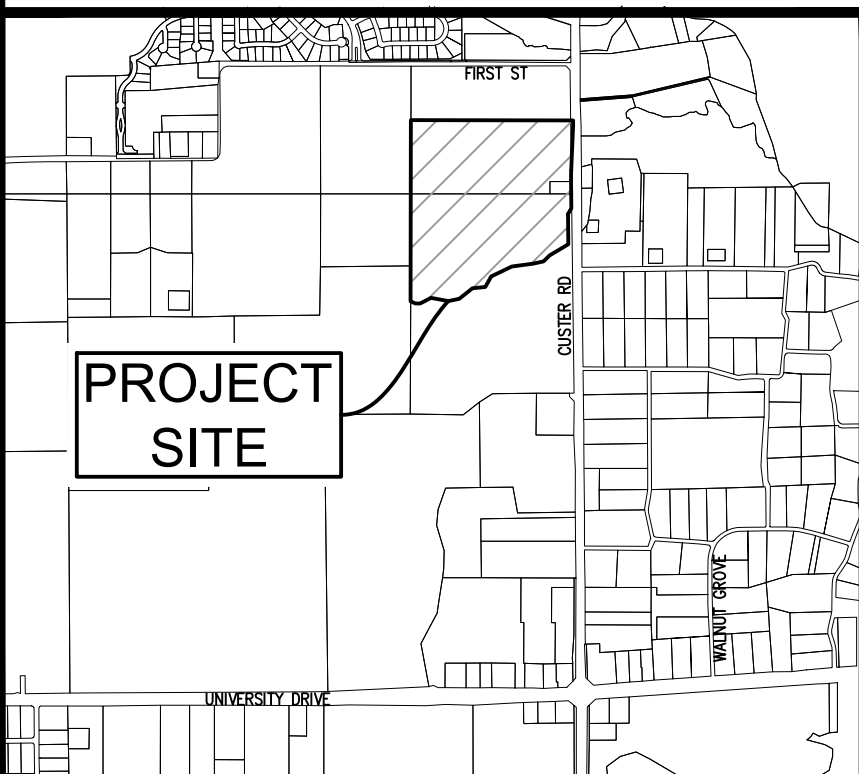
NOTES:

- 1. Bearings based on Texas Coordinate System, North Central Zone (4202), NAD 83.
2. Original copies of survey maps and descriptions prepared by the surveyor and firm whose names appear hereon will contain an embossed surveyor's seal. Any map or description copy without that embossed seal is likely a copy not prepared in the office of the surveyor and may contain alterations or deletions made without the knowledge or oversight of the surveyor.
3. Declaration is made to original purchaser of the survey. It is not transferable to additional institutions or subsequent owners. MCADAMS, and the Surveyor shall not be liable for any unauthorized use hereof.
4. According to Community/Panel No. 48085C0255 J, effective June 2, 2009, of the FLOOD INSURANCE RATE MAP for Collin County, Texas & Incorporated Areas, by graphic plotting only, this property appears to be within Flood Zone "AE" (Areas of 100-year flood where base flood elevations have been determined). This flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes.
This flood statement shall not create liability on the part of the surveyor.
5. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate abstract of title may disclose.
6. Notice: Selling a portion of this addition by metes and bounds is a violation of Town Ordinance and state law and is subject to fines and withholding of utilities and building permits
7. Landscape easement to be owned and maintained by property owner.
8. Landscape easement to be its own exclusive easement.
9. Approval of this Preliminary Plat is contingent on Engineering Services Department approval of the preliminary plans provided. Preliminary engineering plans must be approved by the Town prior to submittal of a site plan and civil plans.
10. Approval of this Preliminary Plat is contingent on approval of the enhanced landscape plans provided for the area identified during zoning approval. Approval of the enhanced landscape plans are pending review with a request of additional information and are dependent on other factors including but not limited to TxDOT approval and determination of any adverse impacts for drainage on downstream properties.

This plat is hereby adopted by the Owners and approved by the Town of Prosper (Called "Town") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors and assigns: The Portion of Block A, as shown on the plat is called "Drainage and Floodway Easement" and is the natural drainage channel across each lot. The existing creek or creeks traversing along the Drainage and Floodway Easement within the limits of this addition, will remain as an open channel at all times and will be maintained by the owners of the lot or lots that are traversed by or adjacent to the drainage courses in the Drainage and Floodway Easement. The Town will not be responsible for the maintenance and operation of said creek or creeks or for any damage to private property or person that results for the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of storm water run-off shall be permitted by construction of any type of building, fence, or any other structure within the Drainage and Floodway Easement or the natural drainage channels, as herein above defined. Provided it is understood that in the event it becomes necessary for the Town to erect or consider erecting any type of drainage structure in order to improve the storm drainage that may be occasioned by streets and alleys in or adjacent to the subdivision, then in such event, the Town shall have the right to enter upon the Drainage and Floodway Easement at any point, or points, to investigate, survey or to erect, construct, and maintain any drainage facility deemed necessary for drainage purposes. Each property owner shall keep the natural drainage channels traversing or adjacent to his property clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage through the Drainage and Floodway Easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent which cannot be definitely defined. The Town shall not be held liable for any damages of any nature resulting from the occurrence of these natural phenomena, or resulting from the failure of any structure or structures, within the natural drainage channels. Building areas outside the Drainage and Floodway Easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor elevation for each lot shall be as shown on the plat.

This plat is hereby adopted by the Owners and approved by the Town of Prosper (Called "Town") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors and assigns: The Portion of Block A, as shown on the plat is called "Drainage and Detention Easement". The Drainage and Detention Easement within the limits of this addition, will remain open at all times and will be maintained in a safe and sanitary condition by the owners of the lot or lots that are traversed by or adjacent to the Drainage and Detention Easement. The Town will not be responsible for the maintenance and operation of said Easement or for any damage to private property or person that results from conditions in the Easement, or for the control of erosion. No obstructions to the natural flow or storm water run-off shall be permitted by construction of any type of building, fence or any other structure within the Drainage and Detention Easement, as herein above defined, unless approved by the Town Engineer. Provided, however, it is understood that in the event it becomes necessary for the Town to erect or consider erecting any type of drainage structure in order to improve the storm drainage that may be occasioned by drainage in or adjacent to the subdivision, then in such event, the Town shall have the right to enter upon the Drainage and Detention Easement at any point, or points, to investigate, survey or to erect, construct and maintain any drainage facility deemed necessary for drainage purposes. Each property owner shall keep the Drainage and Detention Easement clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage through the Drainage and Detention Easement is subject to storm water overflow and natural bank erosion to an extent which cannot be definitely defined. The Town shall not be held liable for any such damages of any nature resulting from the occurrence of these natural phenomena, or resulting from the failure of any structure or structures, within the Easement.

VICINITY MAP SCALE 1"=2000'



McAdams logo and contact information for The John R. McAdams Company, Inc. including address in Lewisville, Texas and phone number 972.436.9712.

PRELIMINARY PLAT
LOT 1, BLOCK A
LADERA PROSPER
63.272 Acres
Job# D21-0074
in the
J. HORN SURVEY, ABSTRACT NO. 411
LARKIN MCCARTY SURVEY, ABSTRACT NO. 600
TOWN OF PROSPER
COLLIN COUNTY, TEXAS

DRAWN BY: BC DATE: 07/01/2021 SCALE: NTS JOB No. 18291

OWNER/DEVELOPER
INTEGRITY GROUP
361 W BYRON NELSON BLVD
STE 104
ROANOKE, TX 76262
Ph. 817-430-3318
Contact: JOHN DELIN

Doc. 2, 2021011809 (Survey) (Plan) (Pct) (380) (P)
Printed: 8/17/2021 11:32 AM, by BIKAW, AEC, Sonnet 8/17/2021 11:38 AM, by akhmed



PLANNING

To: Planning & Zoning Commission

Item No. 3e

From: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – August 17, 2021

Agenda Item:

Consider and act upon a Preliminary Site Plan for Brookhollow Ladera, on 63.3± acres, located on the west side of Custer Road, south of First Street. The property is zoned Planned Development-107 (PD-107). (D21-0075).

Description of Agenda Item:

The Preliminary Site Plan shows the private, gated multifamily development, which consists of 243 single family detached, condominium style units, an amenity center, pool, sport courts, and Town hike & bike trail. Access is provided from Custer Road. The Preliminary Site Plan conforms to the PD-107 development standards. As a companion item, the Preliminary Plat for Brookhollow Ladera, D21-0074, is on August 17, 2021 agenda.

Attached Documents:

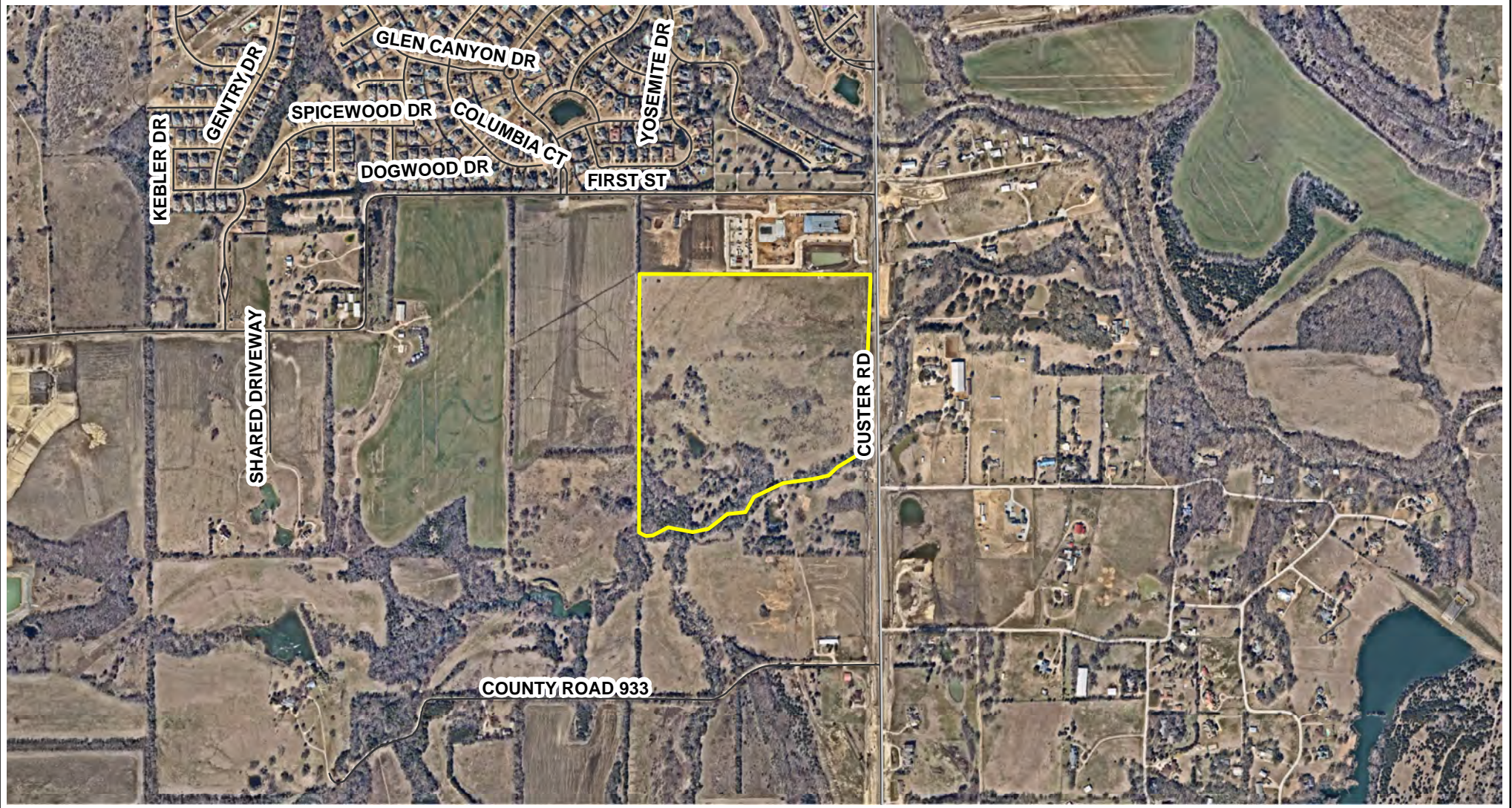
1. Location Map
2. Preliminary Site Plan

Town Staff Recommendation:

Staff recommends approval of the Preliminary Site Plan subject to:

1. Engineering Services Department approval of preliminary water, sewer, and drainage plans, which shall be approved prior to submission of a Site Plan application and corresponding civil plans.
2. Parks Department approval of enhanced landscape plans, as identified in Planned Development-109. Approval of enhanced landscape plans are pending review, subject to requested additional information, and are dependent on factors, including, but not limited to, TxDOT approval and determination of any adverse impacts for drainage on downstream properties.
3. Staff approval of all additions and/or alterations to the easements and dedications on the Preliminary Plat, including hike and bike trail easements on open space lots.
4. Town staff approval of all emergency access, fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

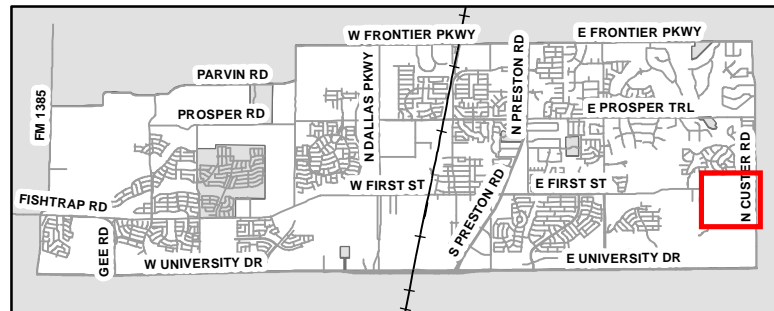
D21-0075 - Ladera

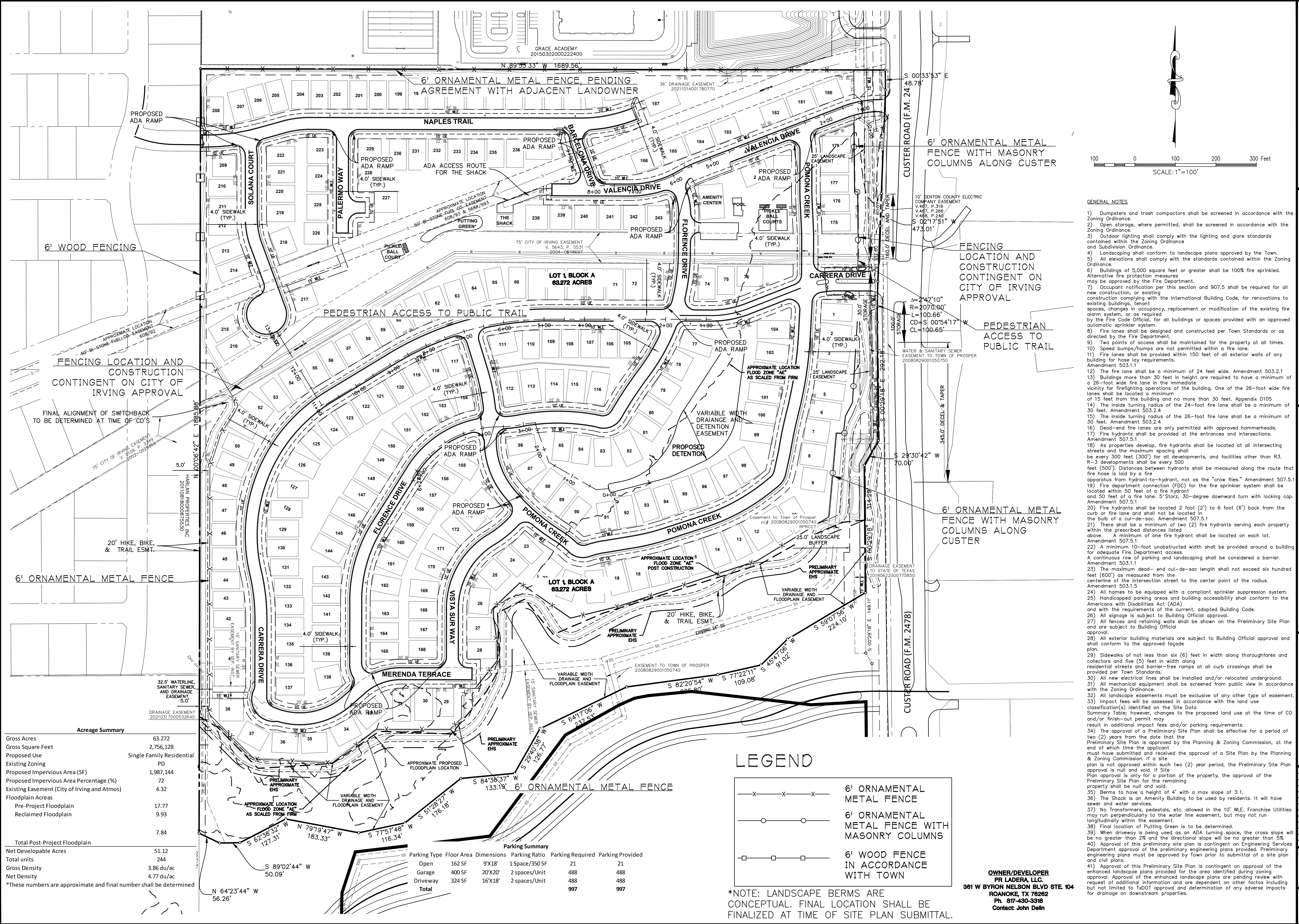


This map is for illustration purposes only.



0 750 1,500 Feet





- GENERAL NOTES**
- 1) Dumpsters and trash compactors shall be screened in accordance with the Zoning Ordinance.
 - 2) Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
 - 3) Outdoor lighting shall comply with the lighting and glare standards contained within the Zoning Ordinance and Subdivision Ordinance.
 - 4) Landscaping shall conform to landscape plans approved by the Town.
 - 5) All elevations shall comply with the standards contained within the Zoning Ordinance.
 - 6) Buildings of 5,000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
 - 7) Occupant notification per this section and 907.5 shall be required for all new construction, or existing construction complying with the International Building Code, for renovations to existing buildings, tenant spaces, changes in occupancy, replacement or modification of the existing fire alarm system, or as required by the Fire Code Official, for all buildings or spaces provided with an approved automatic sprinkler system.
 - 8) Fire lanes shall be designed and constructed per Town Standards or as directed by the Fire Department.
 - 9) Two points of access shall be maintained for the property at all times.
 - 10) Speed bumps/rumps are not permitted within a fire lane.
 - 11) Fire lanes shall be provided within 150 feet of all exterior walls of any building for hose lay requirements.
 - Amendment 503.1.1
 - 12) The fire lane shall be a minimum of 24 feet wide. Amendment 503.2.1
 - 13) Buildings more than 30 feet in height are required to have a minimum of a 26-foot wide fire lane in the immediate vicinity for firefighting operations of the building. One of the 26-foot wide fire lanes shall be located a minimum of 15 feet from the building and no more than 30 feet. Appendix D105
 - 14) The inside turning radius of the 24-foot fire lane shall be a minimum of 30 feet. Amendment 503.2.4
 - 15) The inside turning radius of the 26-foot fire lane shall be a minimum of 30 feet. Amendment 503.2.4
 - 16) Dead-end fire lanes are only permitted with approved hammerheads.
 - 17) Fire hydrants shall be provided at the entrances and intersections. Amendment 507.5.1
 - 18) As properties develop, fire hydrants shall be located at all intersecting streets and the maximum spacing shall be every 300 feet (300') for all developments, and facilities other than R3. R-3 developments shall be every 500 feet (500'). Distances between hydrants shall be measured along the route that fire hose is laid by a fire apparatus from hydrant-to-hydrant, not as the "crow flies." Amendment 507.5.1
 - 19) Fire department connection (FDC) for the fire sprinkler system shall be located within 50 feet of a fire hydrant and 50 feet of a fire lane. 5" Storz, 30-degree downward turn with locking cap. Amendment 507.5.1
 - 20) Fire hydrants shall be located 2 feet (2') to 6 feet (6') back from the curb or fire lane and shall not be located in the bulb of a cul-de-sac. Amendment 507.5.1
 - 21) There shall be a minimum of two (2) fire hydrants serving each property within the prescribed distances listed above. A minimum of one fire hydrant shall be located on each lot. Amendment 507.5.1
 - 22) A minimum 10-foot unobstructed width shall be provided around a building for adequate Fire Department access. A continuous row of parking and landscaping shall be considered a barrier. Amendment 503.1.1
 - 23) The maximum dead- and cul-de-sac length shall not exceed six hundred feet (600') as measured from the centerline of the intersection street to the center point of the radius. Amendment 503.1.5
 - 24) All homes to be equipped with a compliant sprinkler suppression system.
 - 25) Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted Building Code.
 - 26) All signage is subject to Building Official approval.
 - 27) All fences and retaining walls shall be shown on the Preliminary Site Plan and are subject to Building Official approval.
 - 28) All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
 - 29) Sidewalks of not less than six (6) feet in width along thoroughfares and collectors and five (5) feet in width along residential streets and barrier-free ramps at all curb crossings shall be provided per Town Standards.
 - 30) All new electrical lines shall be installed and/or relocated underground.
 - 31) All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
 - 32) All landscape easements must be exclusive of any other type of easement.
 - 33) Impact fees will be assessed in accordance with the land use classification(s) identified on the Site Data Summary Table; however, changes to the proposed land use at the time of CO and/or finish-out permit may result in additional impact fees and/or parking requirements.
 - 34) The approval of a Preliminary Site Plan shall be effective for a period of two (2) years from the date that the Preliminary Site Plan is approved by the Planning & Zoning Commission, at the end of which time the applicant must have submitted and received the approval of a Site Plan by the Planning & Zoning Commission. If a site plan is not approved within such two (2) year period, the Preliminary Site Plan approval is null and void. If Site Plan approval is only for a portion of the property, the approval of the Preliminary Site Plan for the remaining property shall be null and void.
 - 35) Berms to have a height of 4' with a max slope of 3:1.
 - 36) The Shack is an Amenity Building to be used by residents. It will have sewer and water services.
 - 37) No Transformers, pedestals, etc. allowed in the 10' WLE. Franchise Utilities may run perpendicular to the water line easement, but may not run longitudinally within the easement.
 - 38) Final location of Putting Green is to be determined.
 - 39) When driveway is being used as an ADA turning space, the cross slope will be no greater than 2% and the directional slope will be no greater than 5%.
 - 40) Approval of this preliminary site plan is contingent on Engineering Services Department approval of the preliminary engineering plans provided. Preliminary engineering plans must be approved by Town prior to submittal of a site plan and civil plans.
 - 41) Approval of this Preliminary Site Plan is contingent on approval of the enhanced landscape plans provided for the area identified during zoning approval. Approval of the enhanced landscape plans are pending review with request of additional information and are dependent on other factors including but not limited to TxDOT approval and determination of any adverse impacts for drainage on downstream properties.

LEGEND

- 6' ORNAMENTAL METAL FENCE
- 6' ORNAMENTAL METAL FENCE WITH MASONRY COLUMNS
- 6' WOOD FENCE IN ACCORDANCE WITH TOWN

Acreage Summary

Gross Acres	63.272
Gross Square Feet	2,756,128
Proposed Use	Single Family Residential
Existing Zoning	PD
Proposed Impervious Area (SF)	1,987,144
Proposed Impervious Area Percentage (%)	72
Existing Easement (City of Irving and Atmos)	4.32
Floodplain Acres	
Pre-Project Floodplain	17.77
Reclaimed Floodplain	9.93
	7.84
Total Post-Project Floodplain	
Net Developable Acres	51.12
Total units	244
Gross Density	3.86 du/ac
Net Density	4.77 du/ac

*These numbers are approximate and final number shall be determined

Parking Summary

Parking Type	Floor Area	Dimensions	Parking Ratio	Parking Required	Parking Provided
Open	162 SF	9'X18'	1 Space/350 SF	21	21
Garage	400 SF	20'X20'	2 spaces/Unit	488	488
Driveway	324 SF	16'X18'	2 spaces/Unit	488	488
Total				997	997

*NOTE: LANDSCAPE BERMS ARE CONCEPTUAL. FINAL LOCATION SHALL BE FINALIZED AT TIME OF SITE PLAN SUBMITTAL.

OWNER/DEVELOPER
PR LADERA, LLC
 361 W BYRON NELSON BLVD STE 104
 ROANOKE, TX 76262
 Ph. 817-430-3318
 Contact: John Delin

The John R. McAdams Company, Inc.
 111 Hillside Drive
 Lewisville, Texas 75057
 972.435.9712
 201 Country View Drive
 Rockwall, TX 75087
 940.240.1012
 TBP# 19762 TBPUS: 10194440
 www.mcadamsco.com

MCADAMS

LADERA PROSPER

LADERA PROSPER
 Lot 1, Block A
 63.272 Acres
 in the
 J-HORN SURVEY, ABSTRACT NO. 411
 LARKIN MCCARTHY SURVEY, ABSTRACT NO. 600
 TOWN OF PROSPER
 COLLIN COUNTY, TEXAS

PRELIMINARY SITE PLAN

PRELIMINARY PLANS
 THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC. TBP# 19762 JUSTIN L. LANSDOWNE, P.E. #21900 DATE 8/12/2021

Drawn By: AB
 Date: 07/06/2021
 Scale: 1"=100'
 Revisions:
 07/27/2021
 07/29/2021

18291

C4



PLANNING

To: Planning & Zoning Commission

Item No. 3f

From: Evelyn Mendez, Planning Technician

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – August 17, 2021

Agenda Item:

Consider and act upon a Site Plan for a multi-tenant retail building, on 0.8± acres, located on the north side of US 380, east of La Cima Boulevard. The property is zoned Planned Development-2 (PD-2). (D21-0076).

Description of Agenda Item:

The Site Plan shows a single-story, 7,235-square-foot multi-tenant retail building. Access is provided from US 380. The depicted number of off-street parking spaces meets the minimum standards of the Zoning Ordinance. The Site Plan conforms to the Planned Development-2 development standards.

Attached Documents:

1. Location Map
2. Site Plan

Staff Recommendation:

Staff recommends approval of the Site Plan subject to:

1. Town staff approval of civil engineering, irrigation plan, open space plan, façade, and address plan.
2. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

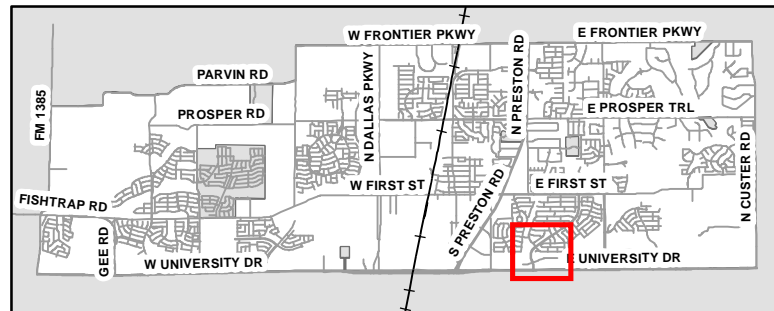
D21-0076 - La Cima Retail



This map is for illustration purposes only.



0 250 500 Feet





PLANNING

To: Planning & Zoning Commission

Item No. 3g

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – August 17, 2021

Agenda Item:

Consider and act upon a Site Plan for Gates of Prosper, Phase 3, on 12.9± acres, located on north side of US 380, west of Preston Road. The property is zoned Planned Development-67 (PD-67). (D21-0078).

Description of Agenda Item:

The Site Plan shows a single-story, big-box retail building, totaling 136,075 square-feet. The depicted number of off-street parking spaces meets the minimum standards of the Zoning Ordinance. Access will be provided from US 380 and Coleman Street. The Site Plan conforms to PD-67 development standards.

Attached Documents:

1. Location Map
2. Site Plan

Staff Recommendation:

Staff recommends approval of the Site Plan subject to:

1. Town staff approval of civil engineering, irrigation plan, open space plan, façade, and address plan.
2. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

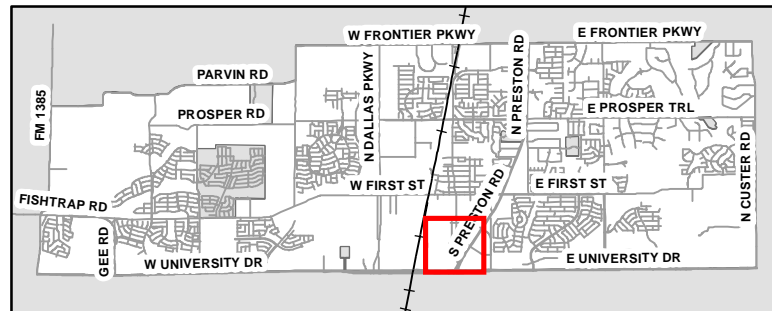
D21-0078 - Gates of Prosper - Target

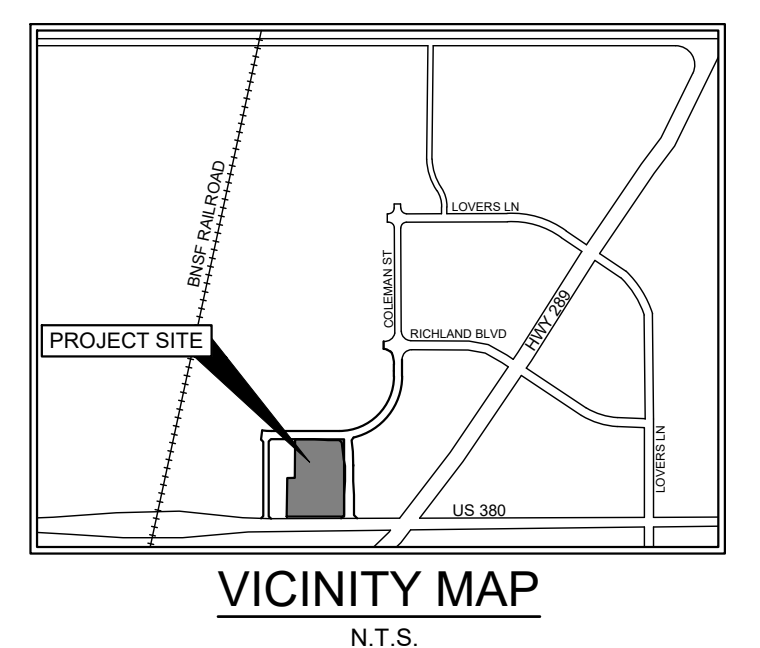
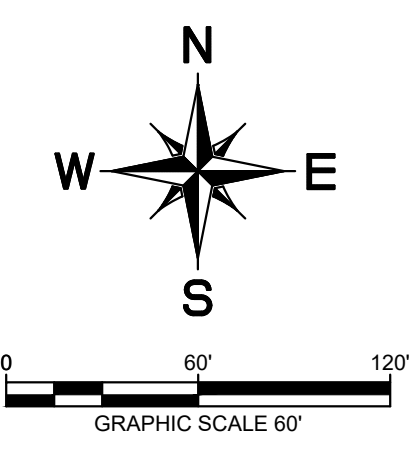
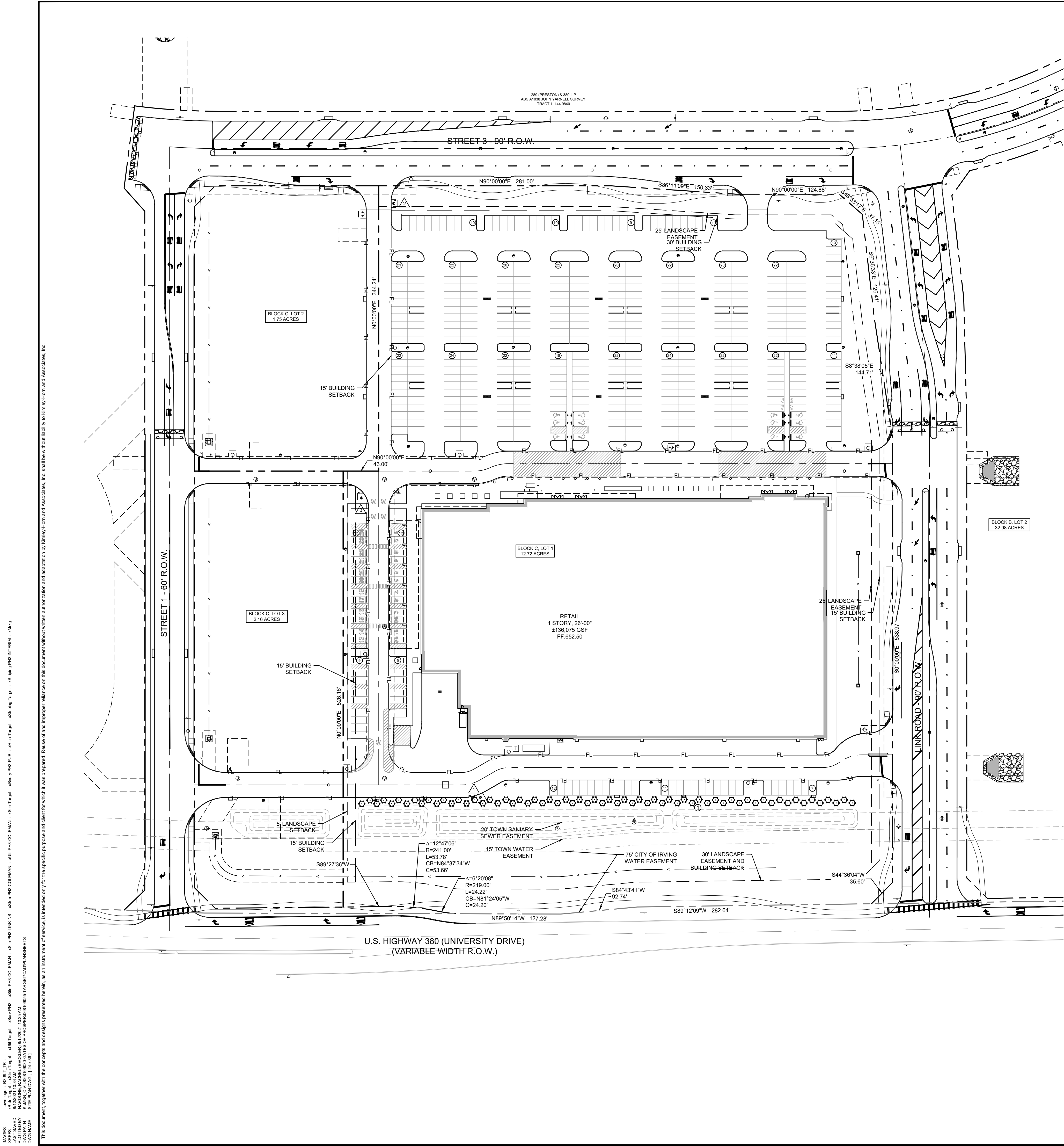


This map is for illustration purposes only.



0 375 750 Feet





TOWN SITE PLAN NOTES

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTRAINED WITHIN THE ZONING ORDINANCE.
 - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
 - ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
 - BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 - OCCUPANT NOTIFICATION PER THIS SECTION AND 907.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION, OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE, FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
 - FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
 - TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
 - SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
 - FIRE LANES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS. AMENDMENT 503.3.1
 - THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE. AMENDMENT 503.2.1
 - BUILDINGS MORE THAN 30 FEET IN HEIGHT ARE REQUIRED TO HAVE A MINIMUM OF A 24-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIRE FIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE FIRE LANES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET. APPENDIX D105
 - THE INSIDE TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
 - THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
 - DEAD-END FIRE LANES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.
 - FIRE HYDRANTS SHALL BE PROVIDED AT THE ENTRANCES AND INTERSECTIONS. AMENDMENT 507.5.1
 - AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET (300') FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R3. R-3 DEVELOPMENTS SHALL BE EVERY 500 FEET (500'). DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM HYDRANT-TO-HYDRANT, NOT AS THE "CROW FLIES." AMENDMENT 507.5.1
 - FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5" STORZ, 30-DEGREE DOWNWARD TURN WITH LOCKING CAP. AMENDMENT 507.5.1
 - FIRE HYDRANTS SHALL BE LOCATED 2 FOOT (2') TO 6 FOOT (6') BACK FROM THE CURB OR FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC. AMENDMENT 507.5.1
 - THERE SHALL BE A MINIMUM OF TWO (2) FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE PRESCRIBED DISTANCES LISTED ABOVE. A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT. AMENDMENT 507.5.1
 - A MINIMUM 10-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER. AMENDMENT 503.1.1
 - THE MAXIMUM DEAD-END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET (600') AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS. AMENDMENT 503.1.5
 - ONE- AND TWO-FAMILY DWELLINGS AUTOMATIC FIRE SYSTEMS. AUTOMATIC FIRE PROTECTION SYSTEMS PER NFPA 13D OR NFPA 13R SHALL BE PROVIDED IN ALL ONE- AND TWO-FAMILY DWELLINGS WITH A CONDITIONED FLOOR AREA OF 5,500 SQUARE FEET (511 M2) OR GREATER, DWELLINGS THREE (3) STORIES OR GREATER, OR DWELLINGS WITH ROOF HEIGHTS EXCEEDING THIRTY-FIVE FEET (35') FROM GRADE. IRC-2015 AMENDMENT R313.2
 - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
 - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE PRELIMINARY SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
 - ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
 - SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
 - APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING SERVICES DEPARTMENT.
 - SITE PLAN APPROVAL IS REQUIRED BEFORE THE GRADING RELEASE.
 - ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
 - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
 - THE APPROVAL OF A SITE PLAN SHALL BE EFFECTIVE FOR EIGHTEEN (18) MONTHS FROM THE DATE OF APPROVAL BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF ENGINEERING PLANS AND BUILDING PERMITS. IF THE ENGINEERING PLANS AND BUILDING PERMITS ARE NOT APPROVED, THE SITE PLAN APPROVAL, TOGETHER WITH ANY PRELIMINARY SITE PLAN FOR THE PROPERTY IS NULL AND VOID.

LEGEND

- FL PROPOSED FIRE LANE
- FL EXISTING FIRE LANE
- EXISTING PAVEMENT
- PROPOSED BUILDING
- FUTURE ROADWAY (BY SEPARATE PROJECT)
- PROPOSED CONTOUR - MAJOR
- PROPOSED CONTOUR - MINOR
- EXISTING CONTOUR - MAJOR
- EXISTING CONTOUR - MINOR
- BARRIER FREE RAMP (BFR)
- ACCESSIBLE PARKING SYMBOL
- NUMBER OF PARKING SPACES
- LIGHT POLE
- WM WATER METER (AND VAULT)
- FH FIRE HYDRANT
- FDC FIRE DEPARTMENT CONNECTION
- SANITARY SEWER MANHOLE
- TRANSFORMER PAD
- CURB INLET
- GRATE INLET
- JUNCTION BOX, WYE INLET OR AREA DRAIN
- HEADWALL
- TYP TYPICAL
- SSE SANITARY SEWER EASEMENT
- WE WATER EASEMENT
- DE DRAINAGE EASEMENT
- BFR BARRIER FREE RAMP
- SW SIDEWALK
- BL BUILDING LINE/SETBACK
- CI CURB INLET
- GI GRATE INLET
- WI WYE INLET
- JB JUNCTION BOX
- MH MANHOLE
- EX EXISTING
- PROP PROPOSED
- AD AREA DRAIN

BLOCK C, LOT 1 SITE DATA TABLE

ZONING	MIXED USE/PD-67
PROPOSED USE	RETAIL
LOT AREA (SF)	553,919
LOT AREA (AC)	12.72
BUILDING AREA (GSF)	136,075
BUILDING HEIGHT	26' (1 STORY)
LOT COVERAGE	24.57%
FLOOR AREA RATIO	1:0.25
TOTAL PARKING REQUIRED SF	
109,567 SF RETAIL @ 1:250 = 439 SPACES	
3,100 SF OFFICE @ 1:350 = 9 SPACES	471
22,900 SF WAREHOUSE @ 1:1000 = 23 SPACES	
TOTAL PARKING PROVIDED	476
HANDICAP PARKING REQUIRED	9
HANDICAP PARKING PROVIDED	12
INTERIOR LANDSCAPING REQUIRED	7140 SF
INTERIOR LANDSCAPING PROVIDED	7140 SF
IMPERVIOUS SURFACE	363279 SF
OPEN SPACE REQUIRED (7%)	38774 SF
OPEN SPACE PROVIDED (7%)	38774 SF

METER SCHEDULE

ID	BLOCK	LOT	TYPE	SIZE	SANITARY SEWER
▲	B	4	DOMESTIC	2"	8"
▲	B	4	IRRIGATION	2"	N/A
▲	B	4	IRRIGATION	2"	N/A

NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL RADII ARE 3' UNLESS NOTED OTHERWISE.
- HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
- ALL 18-FOOT DEEP PARKING STALLS SHALL PROVIDE A 2-FOOT PARKING OVERHANG OFFSET PER THE ORDINANCE.
- HANDICAP MARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS FOR ALL LOTS.
- FIRE LANES SHALL BE PROVIDED IN ACCORDANCE WITH PROSPER REQUIREMENTS.
- FIRE HYDRANTS SHALL BE PROVIDED IN ACCORDANCE WITH PROSPER REQUIREMENTS AND WILL BE LOCATED IN A 10'x10' WATER EASEMENT.
- ALL SCREENING WILL BE PROVIDED IN ACCORDANCE WITH PROSPER REQUIREMENTS.

SITE PLAN
GATES OF PROSPER, PHASE 3
Block C, Lot 1
D21-0078
Being 12.79 Acres Out Of The
BEN RENNISON Survey Abstract No. 755
JOHN YARNELL Survey Abstract No. 1038
COLLIN COUNTY SCHOOL LAND NO. 12 SURVEY
Abstract No. 147
Town of Prosper, Collin County, Texas
Submitted: 07/19/2021

Owner:
380 & 289 LP
1 Cowboys Way
Frisco, Texas 75034
Contact: Nicholas Link
Phone: (972)-497-4854

Owner:
183 Land Corporation Inc.
1 Cowboys Way
Frisco, Texas 75034
Contact: Nicholas Link
Phone: (972)-497-4854

Engineer/Surveyor:
Kimley-Horn and Associates, Inc.
280 East Davis Street, Suite 100
McKinney, Texas 75069
Contact: Rachel Korus, P.E.
Phone: (469)-301-2580

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PHONE: 469-301-2580 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

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Engineer: RACHEL A. KORUS
P.E. No. 132468 Date: 8/13/2021

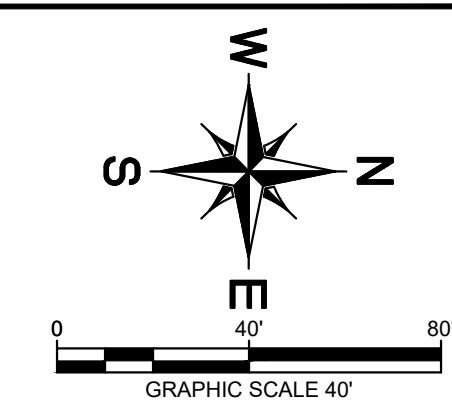
KHA PROJECT 068-090055	DATE AUGUST 2021	SCALE AS SHOWN	DESIGNED BY RAK	DRAWN BY RAN	CHECKED BY JCR
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THE GATES OF PROSPER PH-3

PROSPER, TEXAS

OVERALL SITE PLAN

SHEET NUMBER
C-08



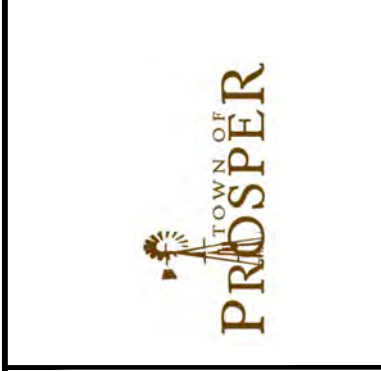
No.	REVISIONS	DATE	BY

Kimley»Horn
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 260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
 PHONE: 469-301-2560 FAX: 972-293-9820
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Kimley»Horn
 Engineer: RACHEL A. KORUS
 P.E. No. 132468 Date: 8/13/2021

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
068109055	AUGUST 2021	AS SHOWN	RAK	RAN	JCR

THE GATES OF PROSPER PH-3
 PROSPER, TEXAS



SITE PLAN
 SHEET NUMBER
C-09

SITE PLAN
GATES OF PROSPER, PHASE 3
BLOCK C, LOT 1
D21-0078
 Being 12.79 Acres Out Of The
JOHN RENNISON SURVEY Abstract No. 755
JOHN YARNELL SURVEY Abstract No. 1038
COLLIN COUNTY SCHOOL LAND NO. 12 SURVEY
Abstract No. 147
 Town of Prosper, Collin County, Texas
 Submitted: 07/19/2021

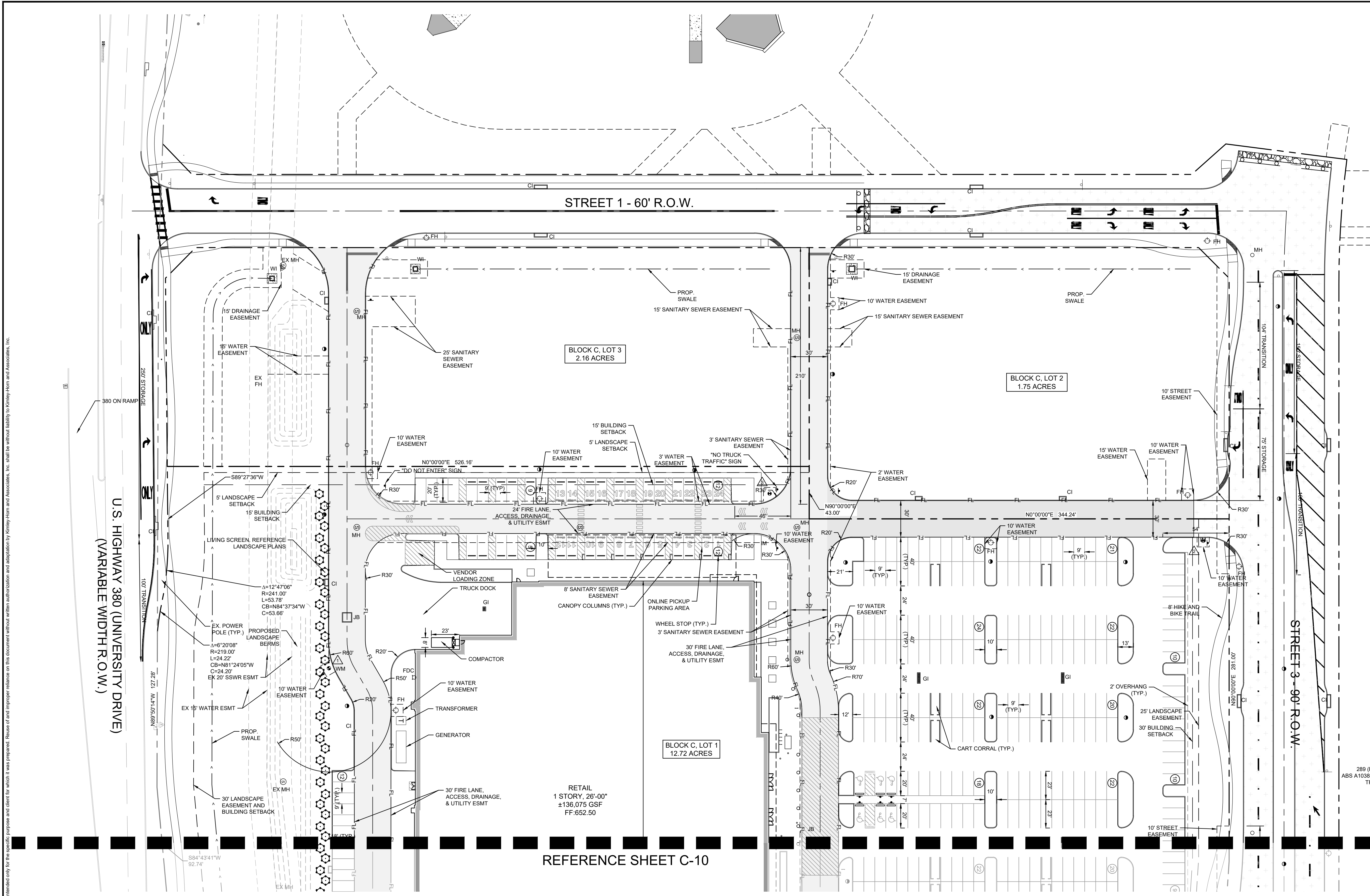
Owner:
 380 & 289 LP
 1 Cowboys Way
 Frisco, Texas 75034
 Contact: Nicholas Link
 Phone: (972)-497-4854

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LEGEND

FL	PROPOSED FIRE LANE
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[Symbol]	PROPOSED BUILDING
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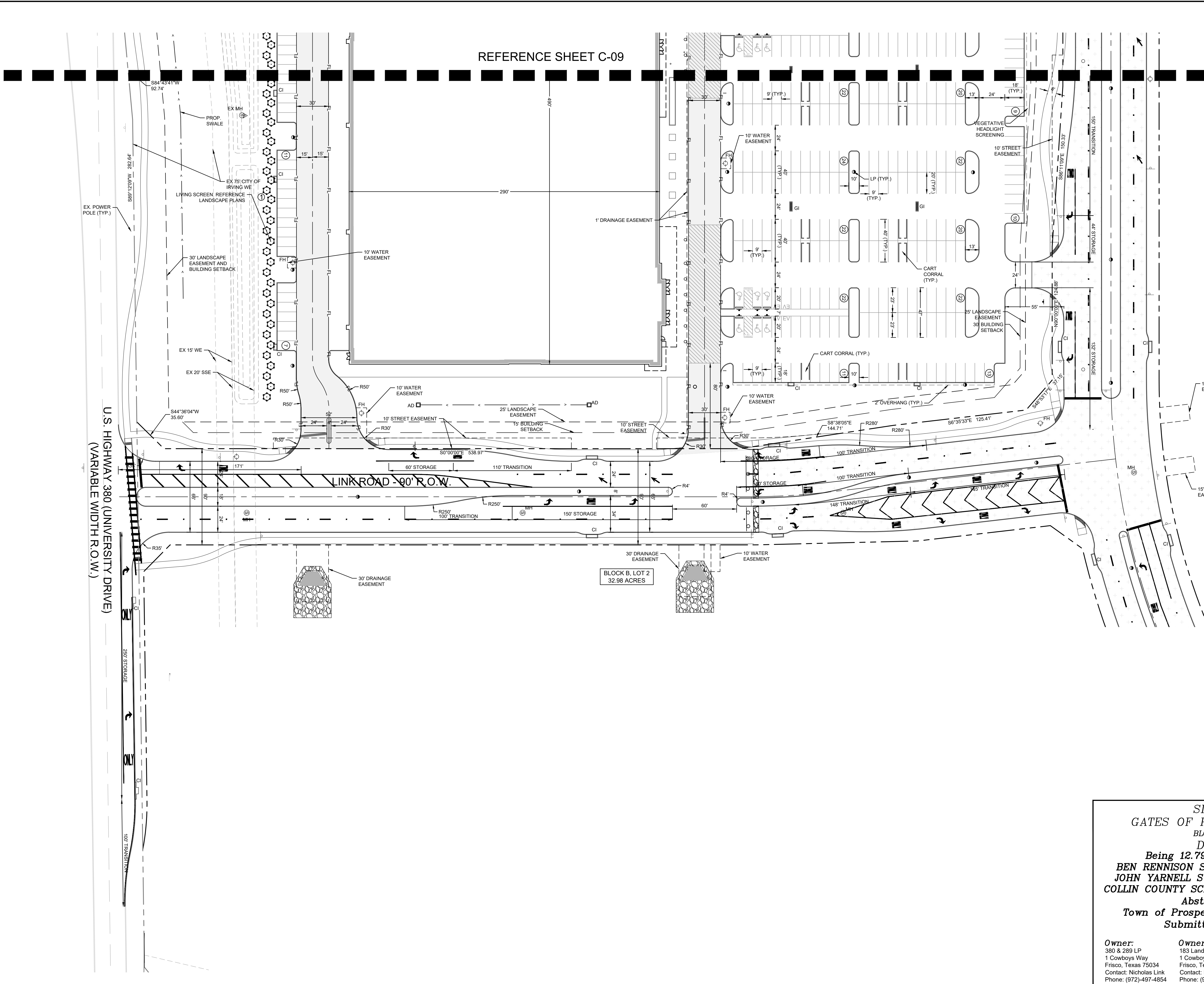


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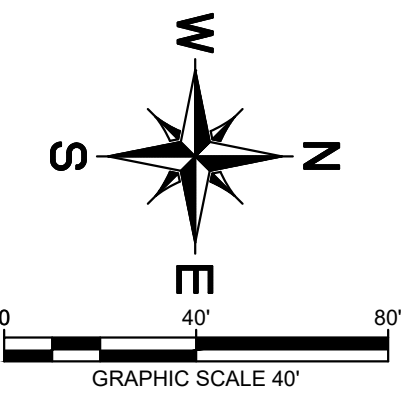
KIMLEY-HORN AND ASSOCIATES, INC. 260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TEXAS 75069
 TEL: 469-301-2560 FAX: 972-293-9820 WWW.KIMLEY-HORN.COM
 PROJECT: THE GATES OF PROSPER PH-3 SHEET: C-09
 DATE: 8/13/2021 1:59 PM
 DRAWN BY: RAN CHECKED BY: JCR
 DESIGNED BY: RAK SCALE: AS SHOWN
 DATE: 8/13/2021

08/19/2021 10:33 AM
 KIMLEY-HORN AND ASSOCIATES, INC.
 280 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
 PHONE: 469-301-2560 FAX: 972-293-8320
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REFERENCE SHEET C-09



LEGEND

- FL PROPOSED FIRE LANE
- EXISTING PAVEMENT
- PROPOSED BUILDING
- FUTURE ROADWAY (BY SEPARATE PROJECT)
- PROPOSED CONTOUR - MAJOR
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NO.	REVISIONS	DATE	BY

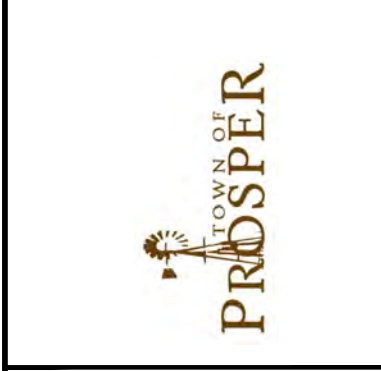
Kimley-Horn

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DATE	AUGUST 2021
SCALE	AS SHOWN
DESIGNED BY	RAK
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THE GATES OF
 PROSPER
 PH-3
 PROSPER, TEXAS



SITE PLAN
GATES OF PROSPER, PHASE 3
BLOCK C, LOT 1
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 McKinney, Texas 75069
 Contact: Rachel Korus, P.E.
 Phone: (469)-301-2580

SHEET NUMBER
C-10



PLANNING

To: Planning & Zoning Commission

Item No. 3h

From: Evelyn Mendez, Planning Technician

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – August 17, 2021

Agenda Item:

Consider and act upon a Site Plan for a Landscape Maintenance Facility, in Windsong Ranch, on 1.9± acres, located on the west side of Good Hope Road, south of Parvin Road. The property is zoned Planned Development-40 (PD-40). (D21-0079).

Description of Agenda Item:

The Site Plan shows two (2) single-story buildings, totaling 8,000 square feet. Access is provided from Turnstone Drive (Good Hope Road). The depicted number of off-street parking spaces meets the minimum standards of the Zoning Ordinance. The Site Plan conforms to the Planned Development-40 development standards.

As a companion item, the Final Plat (D21-0080), for Windsong Ranch Maintenance Facility, Block A, Lot 1 is on the August 17, 2021 agenda.

Attached Documents:

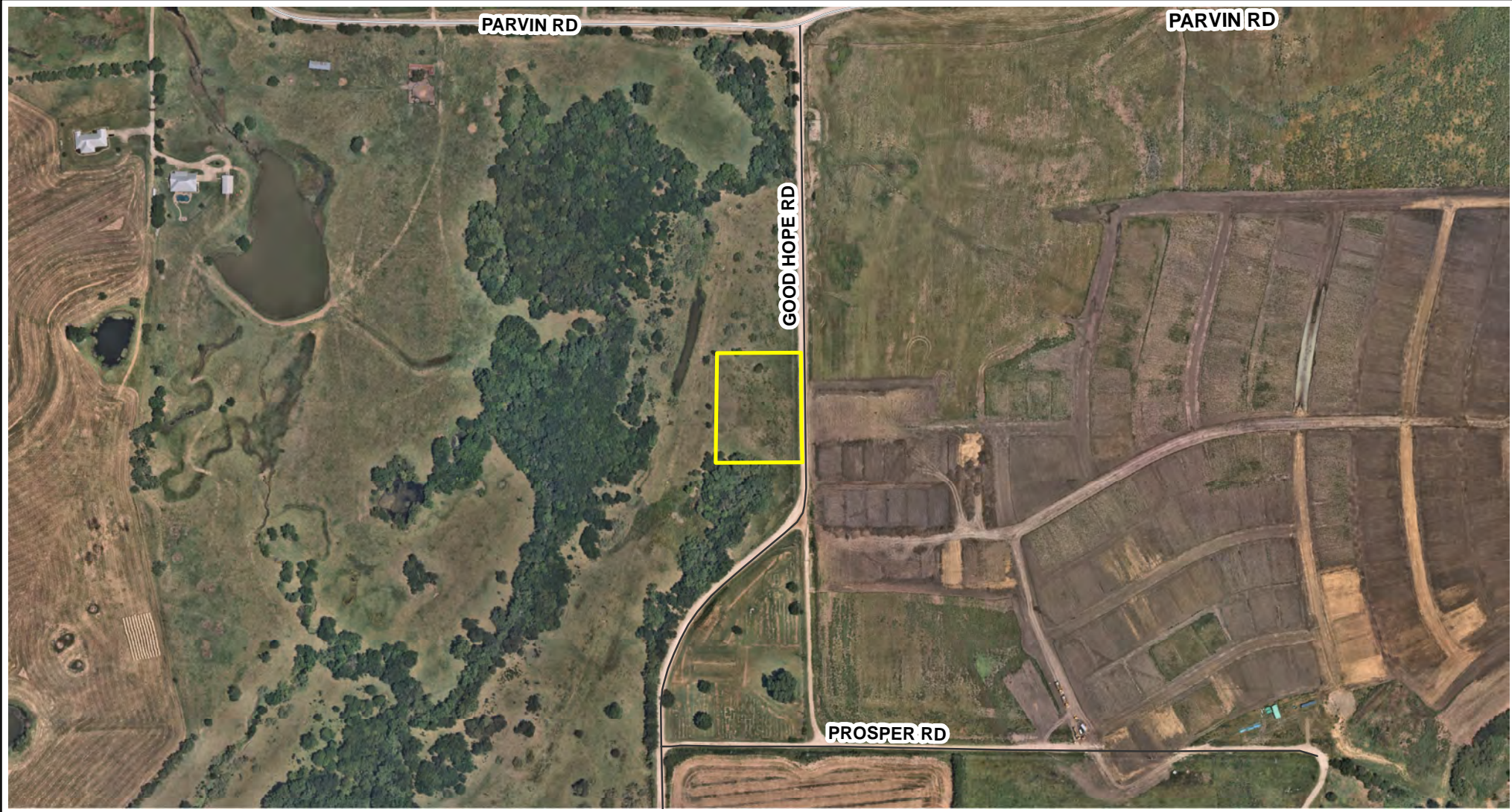
1. Location Map
2. Site Plan

Staff Recommendation:

Staff recommends approval of the Site Plan subject to:

1. Town staff approval of civil engineering, irrigation plan, open space plan, façade, and address plan.
2. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

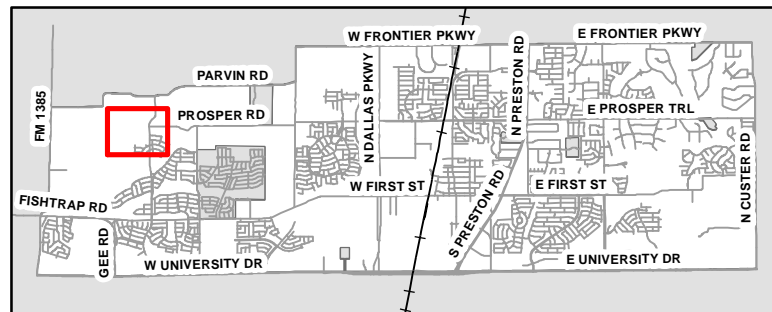
D21-0079 - Windsong Ranch Maintenance Facility

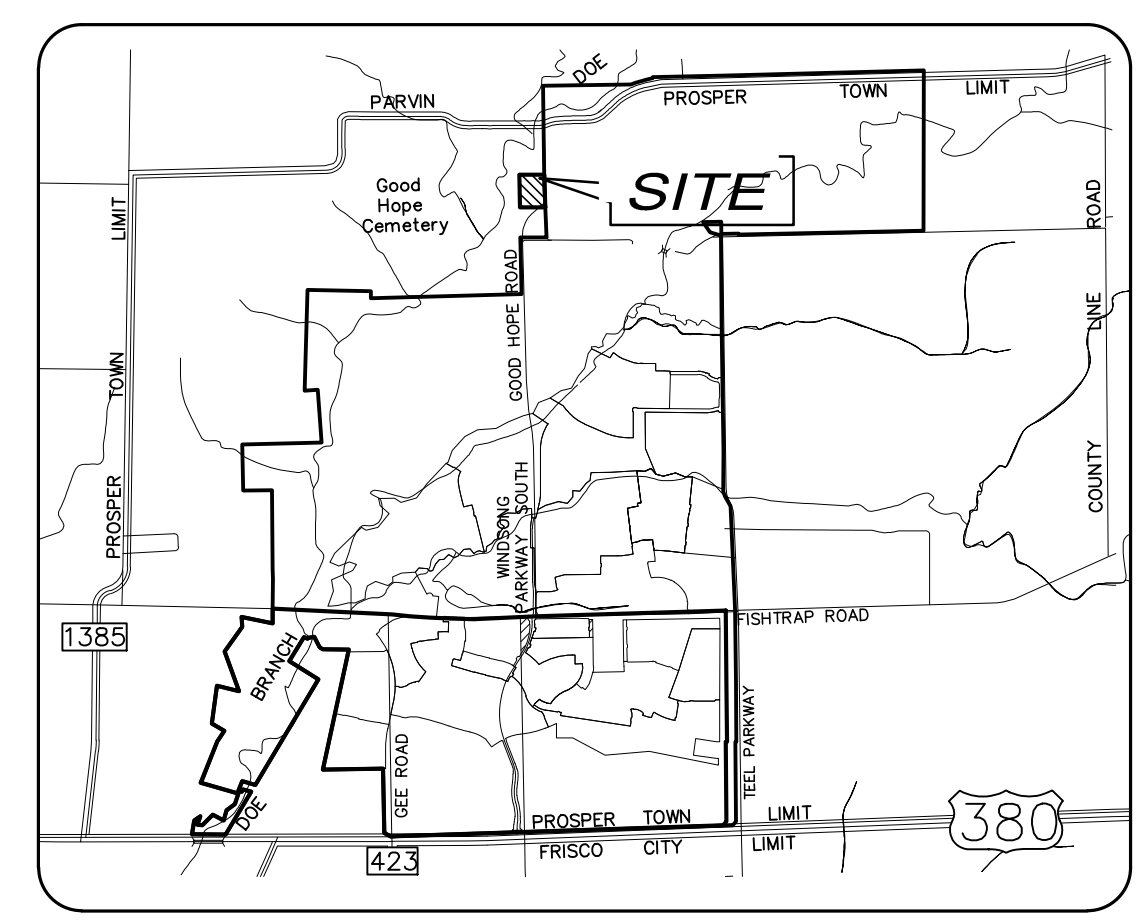
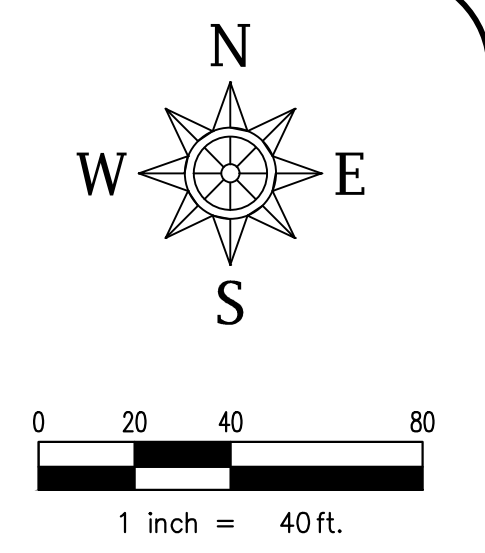


This map is for illustration purposes only.



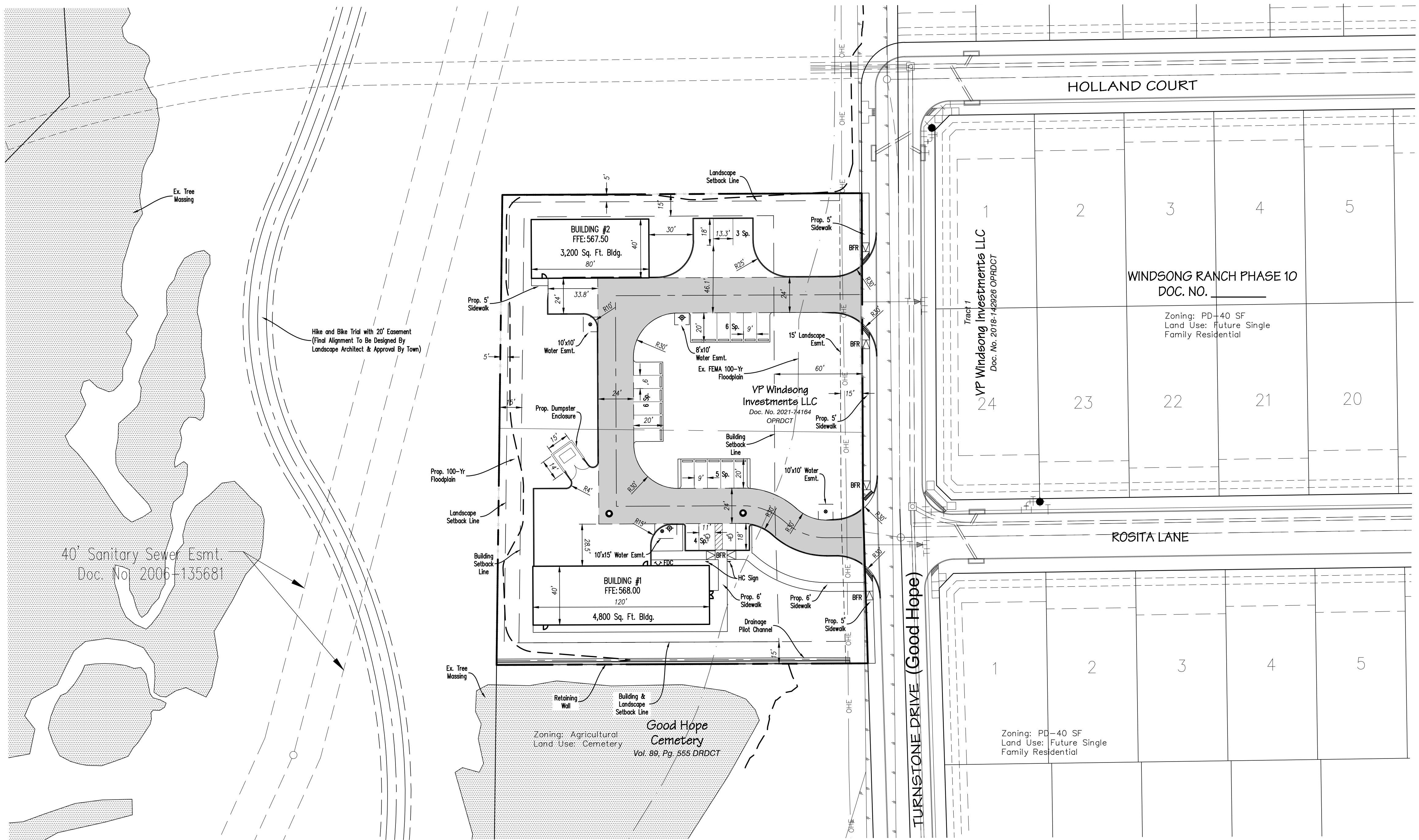
0 250 500 Feet





LOCATION MAP / KEY MAP
N.T.S.

SITE DATA		LOT 1, BLOCK A	
Zoning	PD-40 SF	Zoning	PD-40 SF
Proposed Use	Maintenance Building	Proposed Use	Maintenance Building
Lot Area	1.86 Ac. (81,023 Sq. Ft.)	Lot Area	1.86 Ac. (81,023 Sq. Ft.)
Building Area	8,000 Sq. Ft. Total	Building Area	8,000 Sq. Ft. Total
Building Height	1 Story, 23'-2"	Building Height	1 Story, 23'-2"
Lot Coverage	0.01%	Lot Coverage	0.01%
Floor Area Ratio	0.0086:1	Floor Area Ratio	0.0086:1
Parking Required	1 Sp./1,000Sf = 8 Sp.	Parking Required	1 Sp./1,000Sf = 8 Sp.
Total Parking Provided	24 Sp. (Incl. 2 HC)	Total Parking Provided	24 Sp. (Incl. 2 HC)
Total Impervious Surface	30,000 Sq. Ft.	Total Impervious Surface	30,000 Sq. Ft.
Required Landscape Area	480 Sq. Ft.	Required Landscape Area	480 Sq. Ft.
Provided Landscape Area	56,000 Sq. Ft.	Provided Landscape Area	56,000 Sq. Ft.



Town of Prosper Site Plan Notes:

- Dumpsters and trash compactors shall be screened in accordance of the Zoning Ordinance.
- Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
- Outdoor lighting shall comply with the lighting and glare standards contained within the Zoning Ordinance and Subdivision Regulation Ordinance.
- Landscaping shall conform to landscape plans approved by the town.
- All elevations shall comply with the standards contained within the Zoning Ordinance.
- Buildings of 5,000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
- Occupant notification per this section and 907.5 shall be required for all new construction, or existing construction complying with the International Building Code, for renovations to existing buildings, tenant spaces, changes in occupancy, replacement, or modification of the existing fire alarm system, or as required by the Fire Code Official, for all buildings or spaces provided with an approved automatic sprinkler system.
- Fire lanes shall be designed and constructed per Town Standards or as directed by the Fire Department.
- Two points of access shall be always maintained for the property.
- Speed bumps/humps are not permitted within a fire lane.
- Fire lanes shall be provided within 150 feet of all exterior walls of any building for hose lay requirements. Amendment 503.1.1
- The fire lane shall be a minimum of 24 feet wide. Amendment 503.2.1
- Buildings more than 30 feet in height are required to have a minimum of a 26-foot-wide fire lane in the immediate vicinity for firefighting operations of the building. One of the 26-foot-wide fire lanes shall be located a minimum of 15 feet from the building and no more than 30 feet. Appendix D105
- The inside turning radius of the 24-foot fire lane shall be a minimum of 30 feet. Amendment 503.2.4
- The inside turning radius of the 26-foot fire lane shall be a minimum of 30 feet. Amendment 503.2.4
- Dead-end fire lanes are only permitted with approved hammerheads.

- Fire hydrants shall be provided at the entrances and intersections. Amendment 507.5.1
- As properties develop, fire hydrants shall be located at all intersecting streets and the maximum spacing shall be every 300 feet (300') for all developments, and facilities other than R3. R-3 developments shall be every 500 feet (500'). Distances between hydrants shall be measured along the route that fire hose is laid by a fire apparatus from hydrant to-hydrant, not as the "crow flies." Amendment 507.5.1
- Fire department connection (FDC) for the fire sprinkler system shall be located within 50 feet of a fire hydrant and 50 feet of a fire lane. 5" Storz, 30-degree downward turn with locking cap. Amendment 507.5.1
- Fire hydrants shall be located 2 foot (2') to 6 foot (6') back from the curb or fire lane and shall not be located in the bulb of a cul-de-sac. Amendment 507.5.1
- There shall be a minimum of two (2) fire hydrants serving each property within the prescribed distances listed above. A minimum of one fire hydrant shall be located on each lot. Amendment 507.5.1
- A minimum 10-foot unobstructed width shall be provided around a building for adequate Fire Department access. A continuous row of parking and landscaping shall be considered a barrier. Amendment 503.1.1
- The maximum dead-end cul-de-sac length shall not exceed six hundred feet (600') as measured from the centerline of the intersection street to the center point of the radius. Amendment 503.1.5
- One- and two-family dwellings automatic fire systems. Automatic fire protection systems per NFPA 13D or NFPA 13R shall be provided in all one- and two-family dwellings with a conditioned floor area of 5,500 square feet (511 m2) or greater, dwellings three (3) stories or greater, or dwellings with roof heights roof exceeding thirty-five feet (35') from grade. IRC-2015 Amendment R313.3.2
- Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted Building Code.
- All signage is subject to Building Official approval.
- All fences and retaining walls shall be shown on the Site Plan and are subject to Building Official approval.

- All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
- Sidewalks of not less than six (6) feet in width along thoroughfares and collectors and five (5) feet in width along residential streets and barrier-free ramps at all curb crossings shall be provided per Town Standards.
- Approval of the Site Plan is not final until all engineering plans are approved by the Engineering Services Department.
- Site Plan Approval is required before the grading release.
- All new electrical lines shall be installed and/or relocated underground.
- All mechanical equipment shall be screened from public view per the Zoning Ordinance.
- All landscape easements must be exclusive of any other type of easement.
- Impact fees will be assessed per the land use classification(s) identified on the Site Data Summary Table; however, changes to the proposed land use at the time of CO and/or finish-out permit may result in additional impact fees and/or parking requirements.
- The approval of a Site Plan shall be effective for eighteen (18) months from the date of approval by the Planning & Zoning Commission, at the end of which time the applicant must have submitted and received the approval of engineering plans and building permits. If the engineering plans and building permits are not approved, the Site Plan approval, together with any preliminary Site Plan for the property, is null and void.
- The Town currently contracts with CWD for waste disposal services. They may be contacted at 972-392-9300.

All dimensions are to face of curb or edge of building unless otherwise noted.

Notes:

- The thoroughfare alignments shown on this exhibit are for illustration purposes and does not set the alignment. The alignment is determined at time of final plat.
- Headlight screening will be provided in accordance with Town Standards.

LEGEND

	FIRELANE, ACCESS & UTILITY EASEMENT
	1/2" IRON ROD W/ PLASTIC CAP STAMPED "SPIARSENG" SET, UNLESS OTHERWISE NOTED.
	POWER POLE
	LIGHT POLE/STANDARD
	GUY WIRE ANCHOR
	BOLLARD
	SIGNPOST
	OVERHEAD POWER LINE
	CONTROL MONUMENT
	PROPOSED FIRE HYDRANT
	EXISTING FIRE HYDRANT
	PROPOSED WATER METER

Water Meter & Sewer Schedule

I.D.	Type	Size	No.	Sewer
①	Dom.	2"	2	6"
②	Irr.	1"	1	-

D21-0079
SITE PLAN
WINDSONG MAINTENANCE FACILITY
BLOCK A, LOT 1
IN THE B. RUE SURVEY ABST.1113
80,165.8976 Sq. Ft./1.840 Acres
Current Zoning: PD-40 SF
Town Case #

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: Joe Lehman

OWNER / APPLICANT
VP WINDSONG OPERATIONS, LLC
2242 Good Hope Road
Prosper, TX 75078
Telephone: (469) 532-0681
Contact: David Blom

Drawing: G:\2021 Jobs\21-072-069 Maintenance Building\240\21-072 Site Plan.dwg Saved By: Jannan, Saw Time: 8/17/2021 8:38:33 AM Plotted by: Jannan Plot Date: 8/17/2021 8:32 AM



PLANNING

To: Planning & Zoning Commission

Item No. 3i

From: Evelyn Mendez, Planning Technician

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – August 17, 2021

Agenda Item:

Consider and act upon a Final Plat for Windsong Ranch Maintenance Facility, Block A, Lot 1, on 1.9± acres, located on the west side of Good Hope Road, south of Parvin Road. The property is zoned Planned Development-40 (PD-40). (D21-0080).

Description of Agenda Item:

The Final Plat dedicates easements necessary for development. The plat conforms to Planned Development-40 development standards. As a companion item, the Site Plan (D21-0079) for a Landscape Maintenance Facility, in Windsong Ranch, is on the August 17, 2021 agenda.

Attached Documents:

1. Location Map
2. Final Plat

Staff Recommendation:

Staff recommends approval of Final Plat, subject to:

1. Town staff approval of all additions and/or alterations to the easements and dedications on the Final Plat.

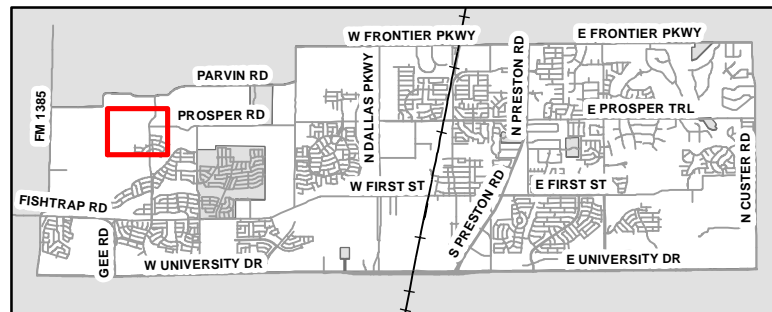
D21-0080 - Windsong Ranch Maintenance Facility

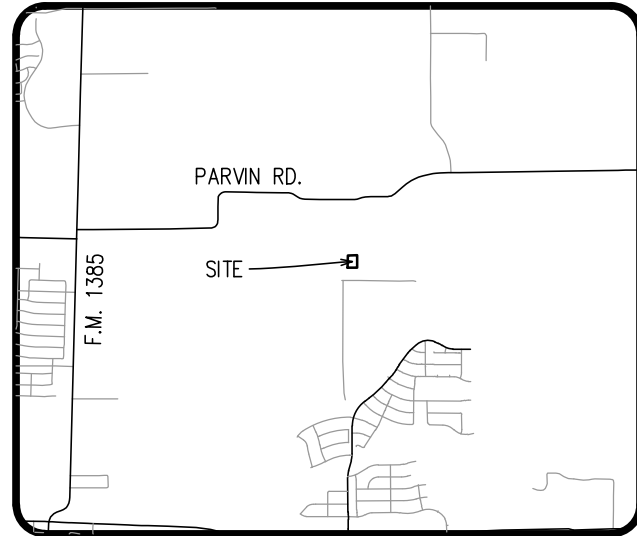
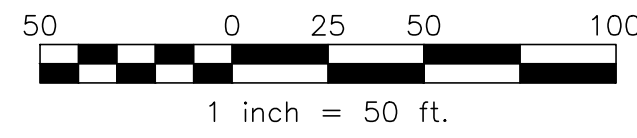
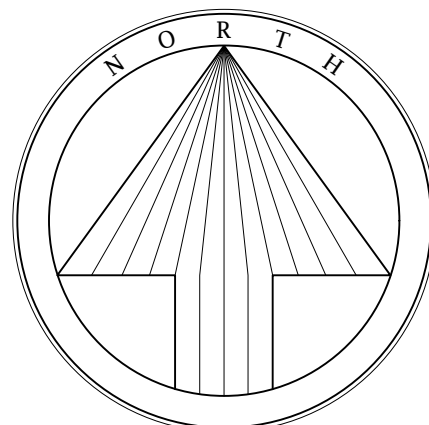


This map is for illustration purposes only.



0 250 500 Feet





LOCATION MAP
1" = 5000'

LEGEND
(Not all items may be applicable)

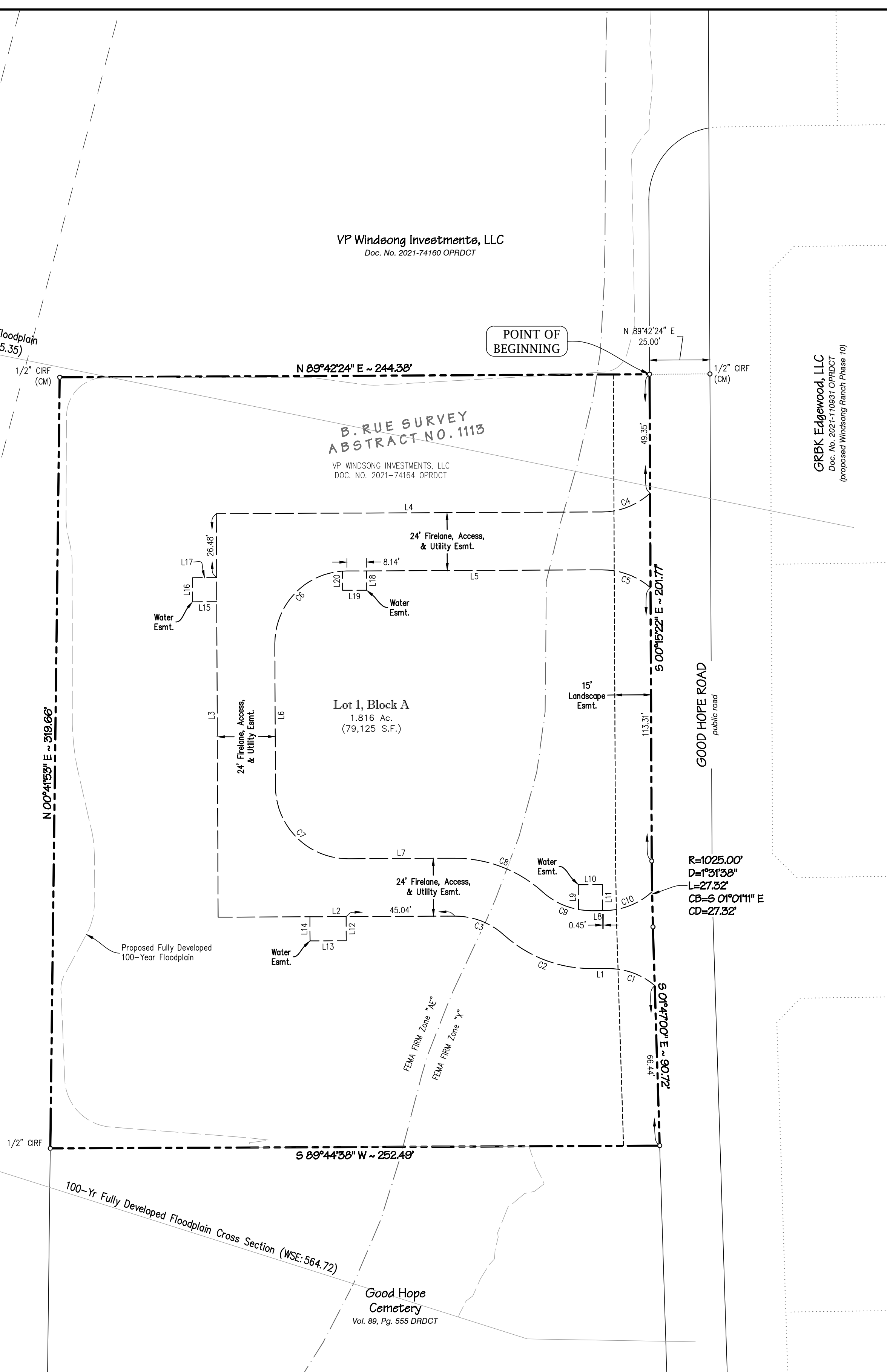
○	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPIARSEN" SET, UNLESS OTHERWISE NOTED
—	CAPPED IRON ROD FOUND
CM	CONTROL MONUMENT
(BTP)	BY THIS PLAT
R.O.W.	RIGHT-OF-WAY
BL	BUILDING LINE
OPRODCT	OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS
PRDCT	PLAT RECORDS, DENTON COUNTY, TEXAS

100-Yr Fully Developed Floodplain Cross Section (WSE:565.35)

60' Setback, Survey Easement, Upper Trinity, Denton County, Texas, Doc. No. 2019-133681 OPRDCT

Future 20' Hike and Bike Easement (final alignment to be designed by landscape architect & approved by Town)

VP Windsong Investments, LLC
Doc. No. 2021-74160 OPRDCT



100-Yr Fully Developed Floodplain Cross Section (WSE:564.72)

Good Hope Cemetery
Vol. 89, Pg. 555 DRDCT

GRBK Edgewood, LLC
Doc. No. 2021-11083 OPRDCT
(Proposed Windsong Ranch Phase 10)

Drawing: G:\2021_085\21-072 MSR Maintenance Building\CD\31-072 Final Plat.dwg, Saved By: jhannon, Save Time: 8/11/2021, 8:22:01 AM, Plotted by: jhannon, Plot Date: 8/11/2021, 8:35 AM

Line Table			Line Table			Curve Table					
Line #	Bearing	Distance	Line #	Bearing	Distance	Curve #	Length	Radius	Delta	Chord Bearing	Chord Dist.
L1	S 89°44'38" W	6.61'	L11	S 00°15'22" E	10.81'	C1	21.09'	30.00'	40°16'59"	N 70°06'53" W	20.66'
L2	S 89°44'38" W	98.07'	L12	S 00°15'22" E	10.00'	C2	39.99'	54.00'	42°25'50"	N 69°02'27" W	39.08'
L3	N 00°15'22" W	167.26'	L13	S 89°44'38" W	15.00'	C3	22.22'	30.00'	42°25'50"	N 69°02'27" W	21.71'
L4	N 89°44'38" E	159.75'	L14	N 00°15'22" W	10.00'	L4	21.89'	30.00'	41°48'46"	N 68°50'24" E	21.41'
L5	S 89°44'38" W	105.75'	L15	S 89°44'38" W	10.00'	C5	21.81'	30.50'	40°58'32"	N 69°46'06" W	21.35'
L6	S 00°15'22" E	59.26'	L16	N 00°15'22" W	10.00'	C6	47.12'	30.00'	90°00'00"	S 44°44'38" W	42.43'
L7	N 89°44'38" E	44.07'	L17	N 89°44'38" E	10.00'	C7	47.12'	30.00'	90°00'00"	S 45°15'22" E	42.43'
L8	N 89°44'38" E	5.00'	L18	S 00°15'22" E	8.00'	C8	39.99'	54.00'	42°25'50"	S 69°02'27" E	39.08'
L9	N 00°15'22" W	10.31'	L19	S 89°44'38" W	10.00'	C9	22.22'	30.00'	42°25'50"	S 69°02'27" E	21.71'
L10	N 89°44'38" E	10.00'	L20	N 00°15'22" W	7.94'	C10	22.00'	30.00'	42°00'52"	N 68°44'12" E	21.51'

- NOTES:**
- Selling a portion of this addition by metes and bounds is a violation of Town ordinance and state law and is subject to fines and withholding of utilities and building permits.
 - All development will comply with Town of Prosper PD-40 Requirements.
 - This property is subject to the street tree agreement between VP Windsong Operations LLC and the Town of Prosper.

STATE OF TEXAS §
COUNTY OF DENTON §

OWNER'S CERTIFICATE

WHEREAS VP Windsong Investments, LLC, is the owner of a tract of land situated in the B. Rue Survey, Abstract No. 1113, Town of Prosper, Denton County, Texas, being part of a tract conveyed to VP Windsong Investments, LLC, by deed recorded in Document No. 2021-74160 OPRDCT, and from which a 1/2" iron rod with plastic cap found for a southeasterly corner thereof bears N 89°42'24" E, 25.00 feet;

BEGINNING at a 1/2" iron rod with plastic cap stamped "SPIARSEN" set on the west line of Good Hope Road, a public road, being on a southerly line of a tract conveyed to VP Windsong Investments, LLC, recorded in Document No. 2021-74160 OPRDCT, and from which a 1/2" iron rod with plastic cap found for a southeasterly corner thereof bears N 89°42'24" E, 25.00 feet;

THENCE S 00°15'22" E, 201.77 feet along Good Hope Road to a 1/2" iron rod with plastic cap stamped "SPIARSEN" set;

THENCE along Good Hope Road, around a tangent curve to the left having a central angle of 01°31'38", a radius of 1025.00 feet, a chord of S 01°01'11" E - 27.32 feet, an arc length of 27.32 feet to a 1/2" iron rod with plastic cap stamped "SPIARSEN" set;

THENCE S 01°47'00" E, 90.72 feet along Good Hope Road to a 1/2" iron rod with plastic cap stamped "SPIARSEN" set on the north line of a tract conveyed to the Good Hope Cemetery, recorded in Volume 89, Page 555 Deed Records, Denton County, Texas;

THENCE S 89°44'38" W, 252.49 feet along the north line of said cemetery to a 1/2" iron rod with plastic cap stamped "SPIARSEN" found for the northwest corner thereof, being on an easterly line of said VP Windsong Investments tract;

THENCE N 00°41'53" E, 319.66 feet along the common line thereof to a 1/2" iron rod with plastic cap stamped "SPIARSEN" found;

THENCE N 89°42'24" E, 244.38 feet continuing along the common line thereof to the POINT OF BEGINNING with the subject tract containing 79,125 square feet or 1.816 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That VP Windsong Investments LLC, acting herein by and through its duly authorized officers, does hereby certify and adopt this final plat designating the herein above described property as **WINDSONG RANCH MAINTENANCE FACILITY** an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. VP Windsong Investments LLC, does herein certify the following:

- All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
- The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat.
- No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
- The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town of Prosper's use thereof.
- The Town of Prosper and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- All modifications to this document shall be by means of plat and approved by the Town of Prosper.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas.

WITNESS, my hand, this the ____ day of _____, 2021.

VP Windsong Investments LLC
A Delaware limited liability company

By: _____
David R. Blom, Vice President

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared David R. Blom, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2021.

Notary Public, State of Texas

FIRE LANE EASEMENT

The undersigned covenants and agrees that he (they) shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface paved in accordance with Town standards and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fences, trees, shrubs, or other improvements or obstruction, including but not limited to the parking, loading, or unloading of motor vehicles, trailers, boats, or other impediments to the access of fire apparatus. The maintenance of pavement in accordance to Town standards of the fire lane easements is the responsibility of the owner, and the owner shall post and maintain signage in accordance to Town standards in conspicuous places along the fire lanes, stating "Fire Lane, No Parking". The police or their duly authorized representative is hereby authorized to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

ACCESS EASEMENT

The undersigned covenants and agrees that the access easement(s) may be utilized by any person or the general public for ingress and egress to other real property, and for the purpose of general public vehicular use and access, and for the Fire Department, Police, and emergency use in along, upon, and across said premises, with the right and privilege at all times of the Town of Prosper, its agents, employees, workmen, and representatives having ingress, egress, and regress in, along, upon, and across said premises.

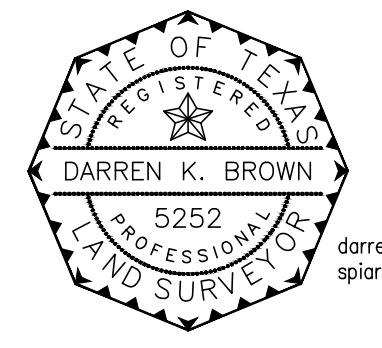
SURVEYOR'S CERTIFICATE

That I, Darren K. Brown, of Spiars Engineering, Inc., do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Prosper, Texas.

Dated this the ____ day of _____, 2021.

PRELIMINARY, THIS DOCUMENT
SHALL NOT BE RECORDED
FOR ANY PURPOSE

DARREN K. BROWN, R.P.L.S. NO. 5252



STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Darren K. Brown, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2021.

Notary Public, State of Texas

CERTIFICATE OF APPROVAL

Approved this ____ day of _____, 2021 by the Planning & Zoning Commission of the Town of Prosper, Texas.

Town Secretary

Engineering Department

Development Services Department

D21-0080
FINAL PLAT
**WINDSONG RANCH
MAINTENANCE FACILITY**
LOT 1, BLOCK A
BEING 1.816 ACRES IN THE
B. RUE SURVEY, ABSTRACT NO. 1113
TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWNER / APPLICANT
VP Windsong Investments LLC
2242 Good Hope Road
Prosper, Tx. 75078
Telephone (469) 532-0681
Contact: David Blom

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPELS No. F-2121 and No. F-10043100
Contact: Joe Lehman, PE



PLANNING

To: Planning & Zoning Commission

Item No. 4

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – August 17, 2021

Agenda Item:

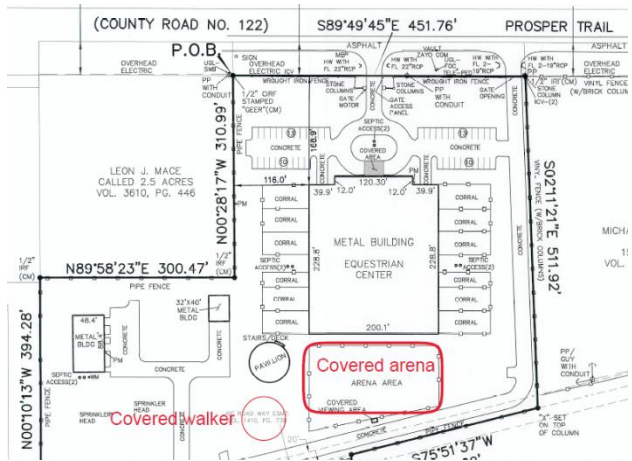
Conduct a Public Hearing, and consider and act upon a Specific Use Permit (SUP) for a Commercial Equestrian Center (Whispering Farms Equestrian Center), on 26.5± acres, located on the south side of Prosper Trail, east of Coit Road. (S21-0002).

Description of Agenda Item:

The zoning and land use of the surrounding properties are as follows:

	Zoning	Current Land Use	Future Land Use Plan
Subject Property	Agriculture	Whispering Farms Equestrian Center	Low Density Residential
North	Planned Development-1	Gentle Creek Golf Club	Low Density Residential
East	Agriculture	Single Family Residence	Low Density Residential
South	Planned Development-90 & Agriculture	Undeveloped	Low Density Residential
West	Planned Development-5	Whispering Farms Subdivision	Low Density Residential

Requested Zoning – The purpose of this Specific Use Permit (SUP) request is to allow for the construction of additional improvements at the existing Whispering Farms Equestrian Center. The existing equestrian center development currently includes structures totaling approximately 46,000 square-feet, with 53 horse stables. The facility was originally constructed in 2005 while in the County, prior to annexation by the Town. (The northern portion of the property was annexed in 2009, while the southern portion annexed in 2014.) The zoning ordinance requires an SUP for a Commercial Equestrian Center; however, an SUP has never been granted for the property. The applicant is proposing to construct an arena cover and a covered automatic horse walker, as shown below.



To permit the improvements approval of an SUP is required. The Zoning Ordinance contains four criteria to be considered in determining the validity of a SUP request, as follows:

1. *Is the use harmonious and compatible with its surrounding existing uses or proposed uses?*
2. *Are the activities requested by the applicant normally associated with the requested use?*
3. *Is the nature of the use reasonable?*
4. *Has any impact on the surrounding area been mitigated?*

Staff believes the applicant has satisfied the noted criteria and recommends approval of the request.

Future Land Use Plan – The Future Land Use Plan recommends Low Density Residential. The proposed zoning request conforms to the Future Land Use Plan.

Thoroughfare Plan – The property has direct access to Prosper Trail, an ultimate 90-foot, 4-lane undivided minor thoroughfare. This request conforms to the Thoroughfare Plan.

Parks Master Plan – The Parks Master Plan does not indicate a park is needed on the subject property.

Legal Obligations and Review:

Notification was provided to neighboring property owners as required by the Zoning Ordinance and state law. To date, staff has not received any Public Hearing Notice Reply Forms in response to this request.

Attached Documents:

1. Location and Zoning Maps
2. SUP Exhibits A and B
3. Arena Cover and Horse Walker Exhibits *(for informational purposes only)*

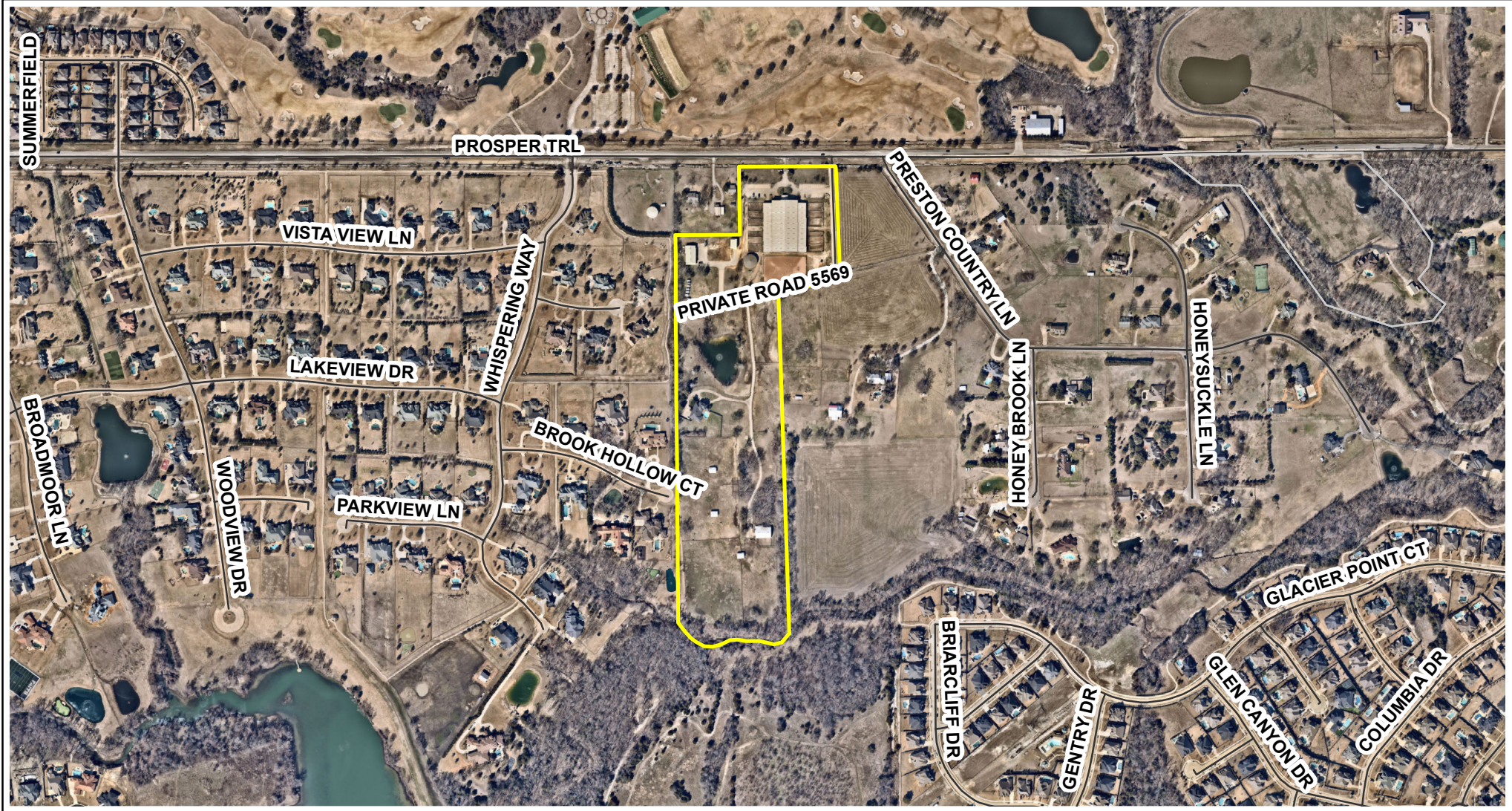
Staff Recommendation:

Town staff recommends the Planning & Zoning Commission approve the request for a Specific Use Permit (SUP) for a Commercial Equestrian Center (Whispering Farms Equestrian Center), on 26.5± acres, located on the south side of Prosper Trail, east of Coit Road. (S21-0002).

Town Council Public Hearing:

Upon a recommendation by the Planning & Zoning Commission, a Public Hearing on this item will be scheduled for the Town Council at their Regular meeting on September 14, 2021.

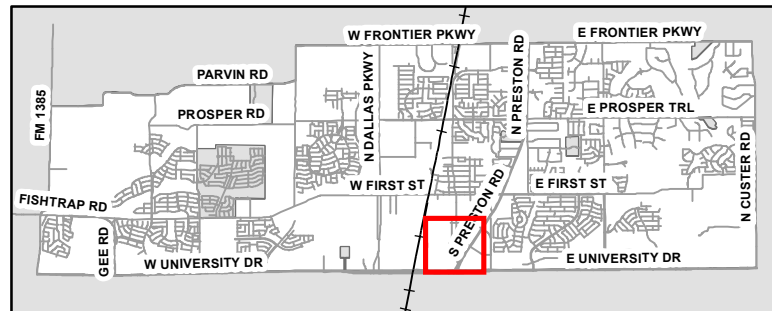
S21-0002 - Whispering Farms Equestrian Center



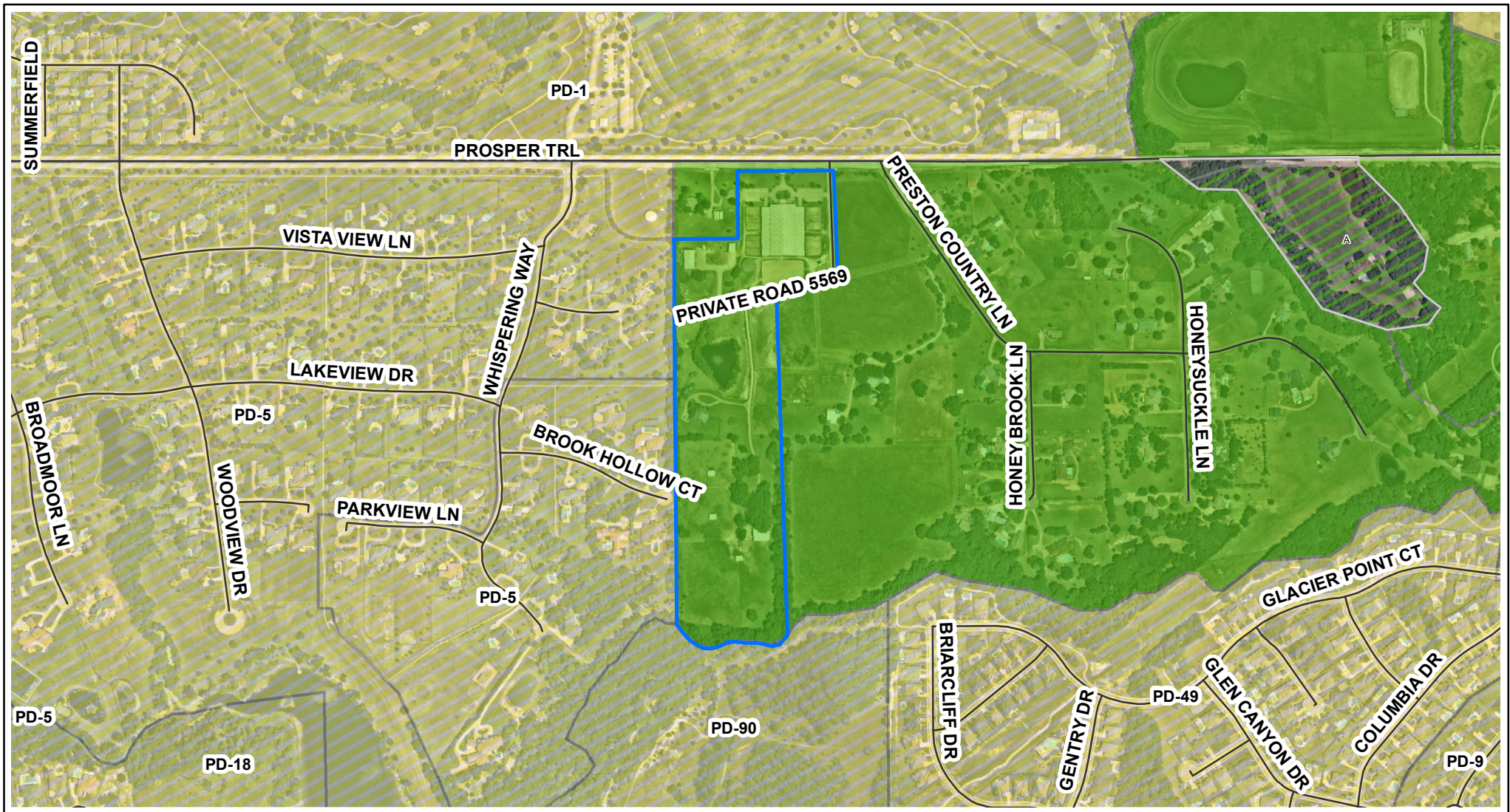
This map is for illustration purposes only.



0 750 1,500 Feet



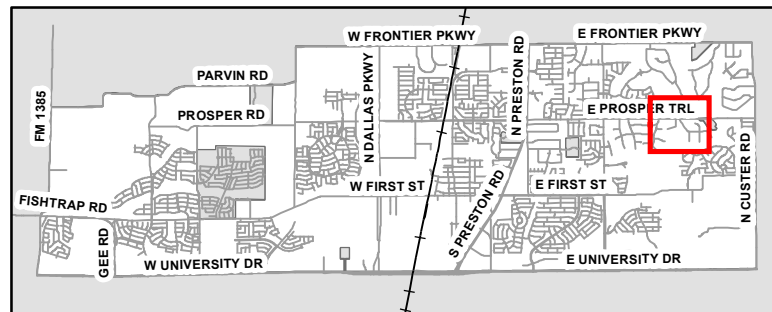
S21-0002 - Whispering Farms Equestrian Center



This map is for illustration purposes only.



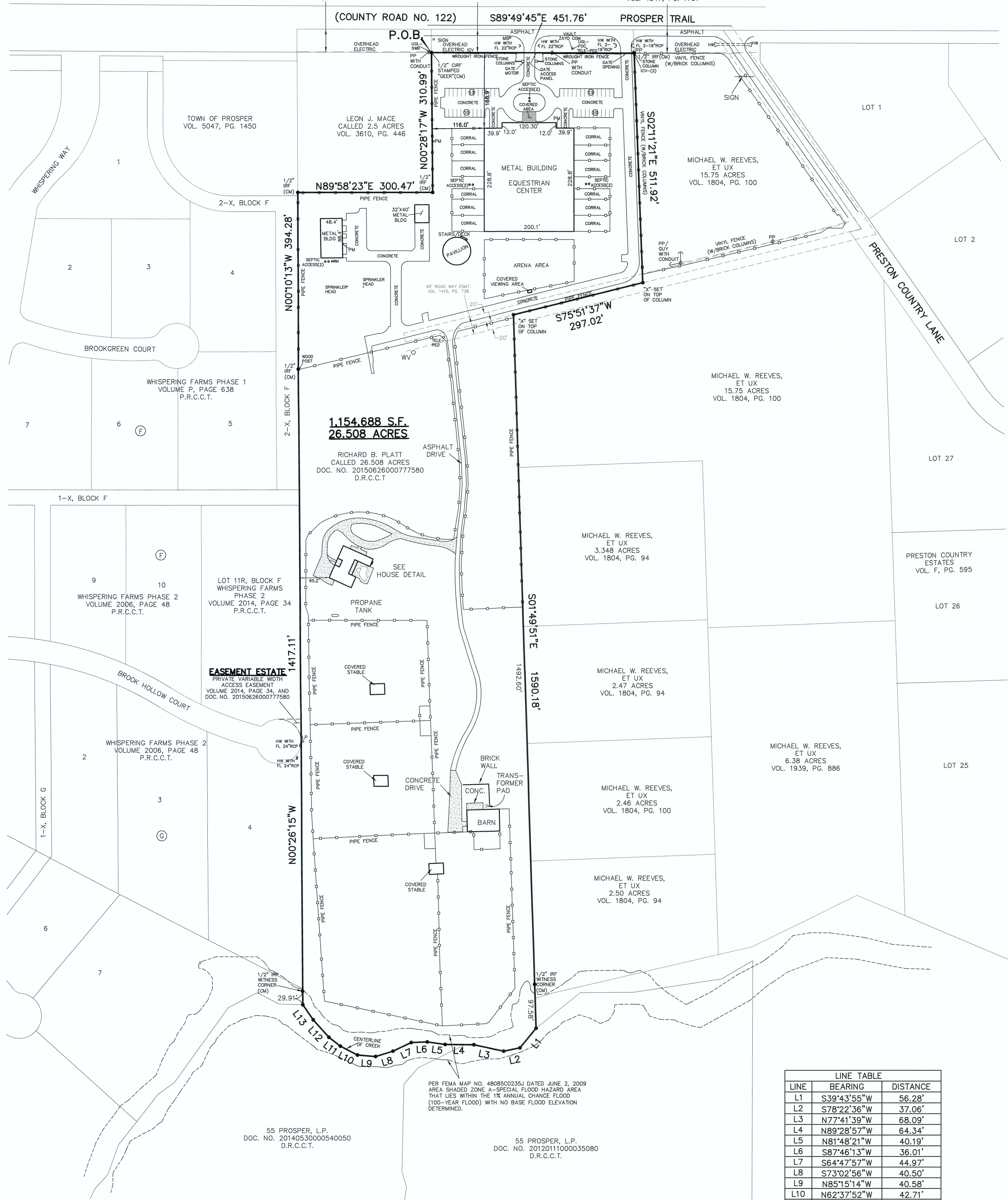
0 750 1,500 Feet



PARCEL 14
COLLIN COUNTY
R.O.W. DEDICATION
VOL. 4757, PG. 1475

PARCEL 13
COLLIN COUNTY
R.O.W. DEDICATION
VOL. 4809, PG. 544

PARCEL 12
COLLIN COUNTY
R.O.W. DEDICATION
VOL. 4847, PG. 1757



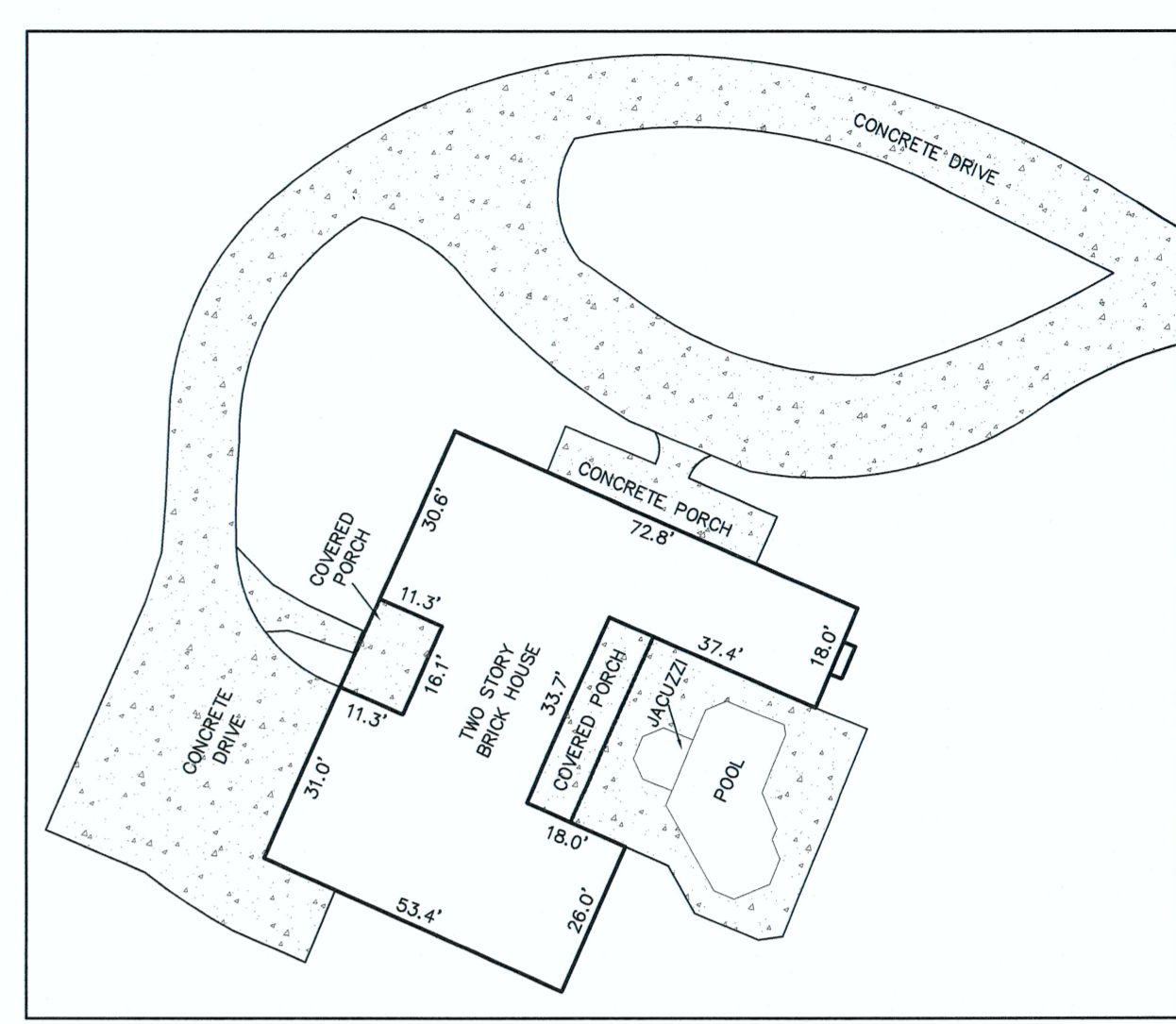
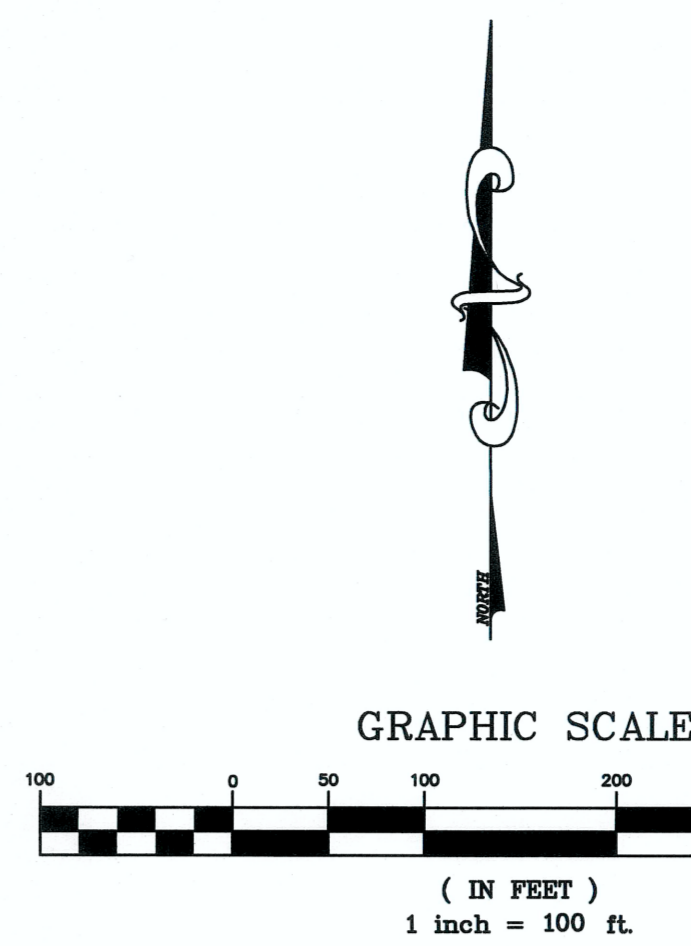
1,154,688 S.F.
26,508 ACRES

55 PROSPER, L.P.
DOC. NO. 20140530000540050
D.R.C.C.T.

55 PROSPER, L.P.
DOC. NO. 20120111000035080
D.R.C.C.T.

PER FEMA MAP NO. 480850235J DATED JUNE 2, 2009
AREA SHADED ZONE A-SPECIAL FLOOD HAZARD AREA
THAT LIES WITHIN THE 1% ANNUAL CHANCE FLOOD
(100-YEAR FLOOD) WITH NO BASE FLOOD ELEVATION
DETERMINED.

LINE	BEARING	DISTANCE
L1	S39°43'55"W	56.28'
L2	S78°22'36"W	37.06'
L3	N77°41'39"W	68.09'
L4	N89°28'57"W	64.34'
L5	N81°48'21"W	40.19'
L6	S87°46'13"W	36.01'
L7	S64°47'57"W	44.97'
L8	S73°02'56"W	40.50'
L9	N85°15'14"W	40.58'
L10	N62°37'52"W	42.71'
L11	N52°18'37"W	32.22'
L12	N41°57'25"W	51.61'
L13	N34°46'35"W	40.87'



HOUSE DETAIL
SCALE 1"=30'

- LEGEND**
- P.O.B. POINT OF BEGINNING
 - CIRF CAPPED IRON ROD FOUND
 - IRF IRON ROD FOUND
 - CM CONTROL MONUMENT
 - MB MAILBOX
 - HW HEADWALL
 - FL FLOWLINE
 - RCP REINFORCED CONCRETE PIPE
 - PP POWER POLE
 - UGL UNDERGROUND LINE
 - SWB SOUTHWESTERN BELL
 - FOC FIBER OPTIC CABLE
 - PM POWER METER
 - WM WATER METER
 - TELE TELEPHONE
 - PED PEDESTAL
 - ICV IRRIGATION CONTROL VALVE
 - BLDG BUILDING
 - PM POWER METER

LEGAL DESCRIPTION

BEING a parcel of land located in the Town of Prosper, Collin County, Texas, a part of the Spencer Graham Survey, Abstract No. 359, and being all of a called 2.5 acre tract of land described in a special warranty deed to Richard B. Platt recorded in Document No. 2015062600077580, Collin County Deed Records, and being further described as follows:

BEGINNING at a one-half inch iron rod with cap stamped "GEER" found at the northwest of said 26,508 acre tract of land, said point being in the east line of a called 2.5 acre tract of land described in a warranty deed to Leon Jay Mace and wife, Rebecca Sue Mace as recorded in Volume 3610, Page 446, Collin County Deed Records, said point being in the south right-of-way line of Prosper Trail (County Road No. 122, a variable width right-of-way), said point being the southwest corner of a called 0.546 acre tract of land described as Parcel 13 in a right-of-way deed to Collin County as recorded in Volume 4809, Page 544, Collin County Deed Records;

THENCE South 89 degrees 49 minutes 45 seconds East, 451.76 feet along the south right-of-way line of Prosper Trail to a one-half inch iron rod found at the northeast corner of said 26,508 acre tract of land, said point being in the west line of a called 15.75 acre tract of land described in a warranty deed to Michael W. Reeves and wife, Jane G. Reeves as recorded in Volume 1804, Page 100, Collin County Deed Records;

THENCE along the east line of said 26,508 acre tract of land as follows:
 South 02 degrees 11 minutes 21 seconds East, 511.92 feet along the west line of said 15.75 acre tract of land to an "X" set on top of column for corner;
 South 75 degrees 51 minutes 37 seconds West, 297.02 feet along the west line of said 15.75 acre tract of land to an "X" set on top of column for corner;
 South 01 degrees 49 minutes 51 seconds East, at 1492.60 feet passing a one-half inch iron rod found as witness corner in the west line of a called 2.50 acre tract of land described in a warranty deed to Michael W. Reeves and wife, Jane G. Reeves as recorded in Volume 1804, Page 94, Collin County Deed Records, in all a total distance of 1590.18 feet to the southeast corner of said 26,508 acre tract of land, said point being in the center of Naugle Creek;

THENCE along the south line of said 26,508 acre tract of land and along the center of Naugle Creek as follows:
 South 39 degrees 43 minutes 55 seconds West, 56.28 feet to a point for corner;
 South 78 degrees 22 minutes 36 seconds West, 37.06 feet to a point for corner;
 North 77 degrees 41 minutes 39 seconds West, 68.09 feet to a point for corner;
 North 89 degrees 28 minutes 57 seconds West, 64.34 feet to a point for corner;
 North 81 degrees 48 minutes 21 seconds West, 40.19 feet to a point for corner;
 South 87 degrees 48 minutes 13 seconds West, 36.01 feet to a point for corner;
 South 64 degrees 47 minutes 57 seconds West, 44.97 feet to a point for corner;
 South 73 degrees 02 minutes 56 seconds West, 40.50 feet to a point for corner;
 North 85 degrees 15 minutes 14 seconds West, 40.58 feet to a point for corner;
 North 82 degrees 37 minutes 52 seconds West, 42.71 feet to a point for corner;
 North 52 degrees 18 minutes 37 seconds West, 32.22 feet to a point for corner;
 North 41 degrees 57 minutes 25 seconds West, 51.61 feet to a point for corner;
 North 34 degrees 46 minutes 35 seconds West, 40.87 feet to the southwest corner of said 26,508 acre tract of land, said point being in the east line of Whispering Farms Phase 2, an addition to the Town of Prosper as recorded in Volume 2006, Page 48, Collin County Plat Records;

THENCE along the west line of said 26,508 acre tract of land as follows:
 North 00 degrees 26 minutes 15 seconds West along the east line of said Whispering Farms Phase 2, at 29.91 feet passing a one-half inch iron rod found as witness corner, in all a total distance of 1417.11 feet to a one-half inch iron rod found for corner in the east line of Whispering Farms Phase 1, an addition to the Town of Prosper as recorded in Volume F, Page 638, Collin County Plat Records;
 North 00 degrees 10 minutes 13 seconds West, 394.28 feet along the east line of said Whispering Farms Phase 1 to a one-half inch iron rod found at the southwest corner of said 2.5 acre tract of land;
 North 89 degrees 58 minutes 23 seconds East, 300.47 feet to a one-half inch iron rod found at the southeast corner of said 2.5 acre tract of land;
 North 00 degrees 28 minutes 17 seconds West, 310.99 feet along the east line of said 2.5 acre tract of land to the POINT OF BEGINNING and containing 1,154,688 square feet or 26,508 acres of land.

EASEMENT NOTES:

Reference: Chicago Title Insurance Company Commitment for Title Insurance, dated effective May 10, 2018 and issued May 17, 2018 under GF No. NSX0007761

Schedule B:

Item 10(a). Denton County Electric Cooperative, Inc. easement recorded in Volume 467, Page 388, Real Property Records of Denton County, Texas, is blanket in nature, does affect the subject tract of land.

Item 10(b). Easement 40 foot roadway, recorded in Volume 1410, Page 738, Real Property Records of Denton County, Texas, does affect the subject tract of land as shown on the survey.

SURVEY CERTIFICATION

TO: Richard B. Platt, WFEC Holding Company, LP, First Bank, Chicago Title Insurance Company and Secured Title of Texas.

1. The plat and description as shown hereon is a true and accurate representation, to the best of my knowledge and belief, of the subject property as determined by an on-the-ground survey performed under my supervision during the month of August, 2018.

2. The subject property has direct access to Prosper Trail (County Road No. 122) as shown on the survey.

3. A portion of the subject property is located in the 100-year flood plain according to the Federal Emergency Management Agency's Flood Insurance Rate Map No. 480850235J, dated June 2, 2009.

4. Except as shown on the survey, there are no visible encroachments, protrusions or conflicts on the subject property.

5. This survey was made in accordance with and satisfies the requirements of the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition II Survey (2013 Revised Twelfth Edition).

Don B. Ramsey, R.P.L.S. No. 4172
August 15, 2018

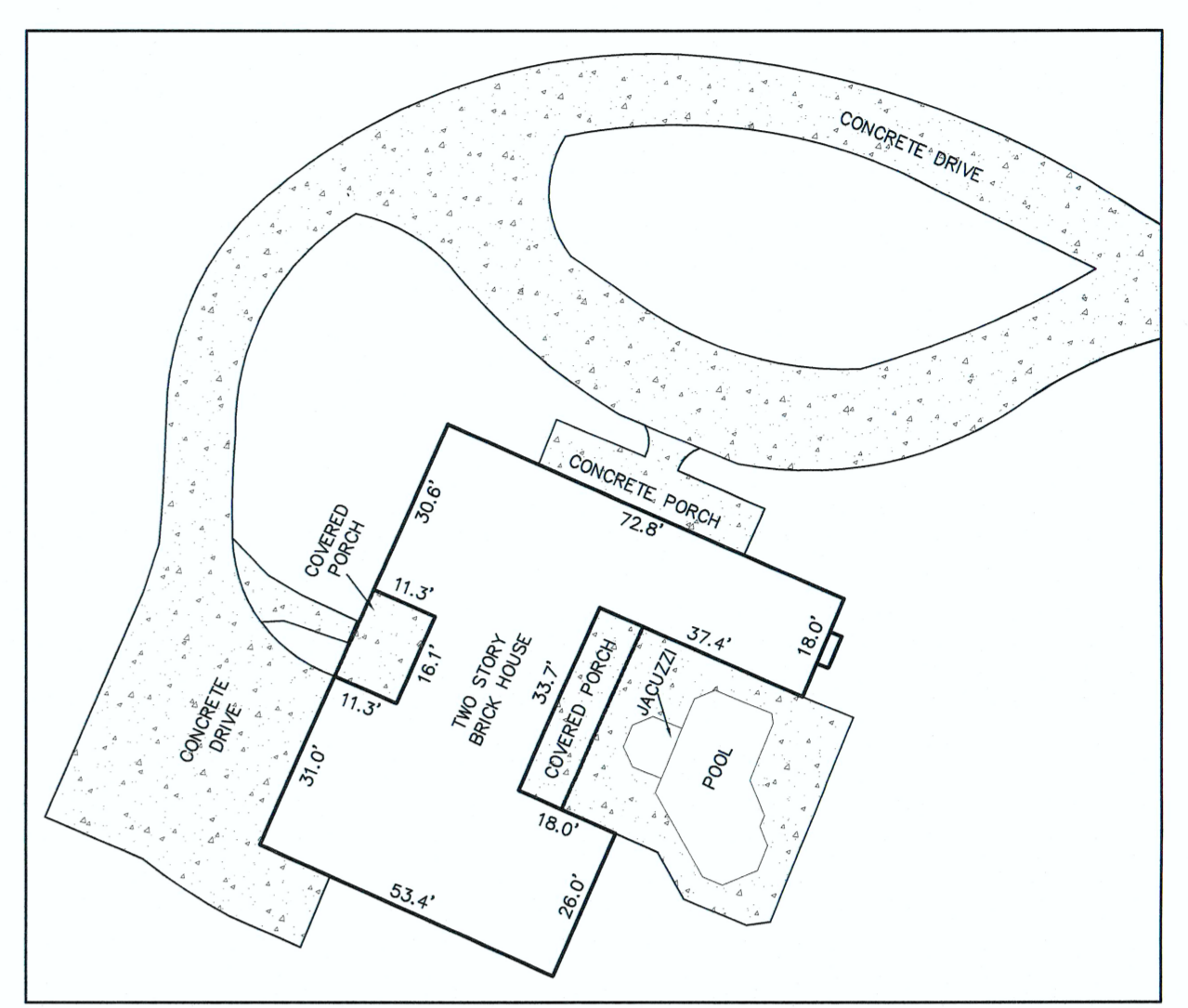
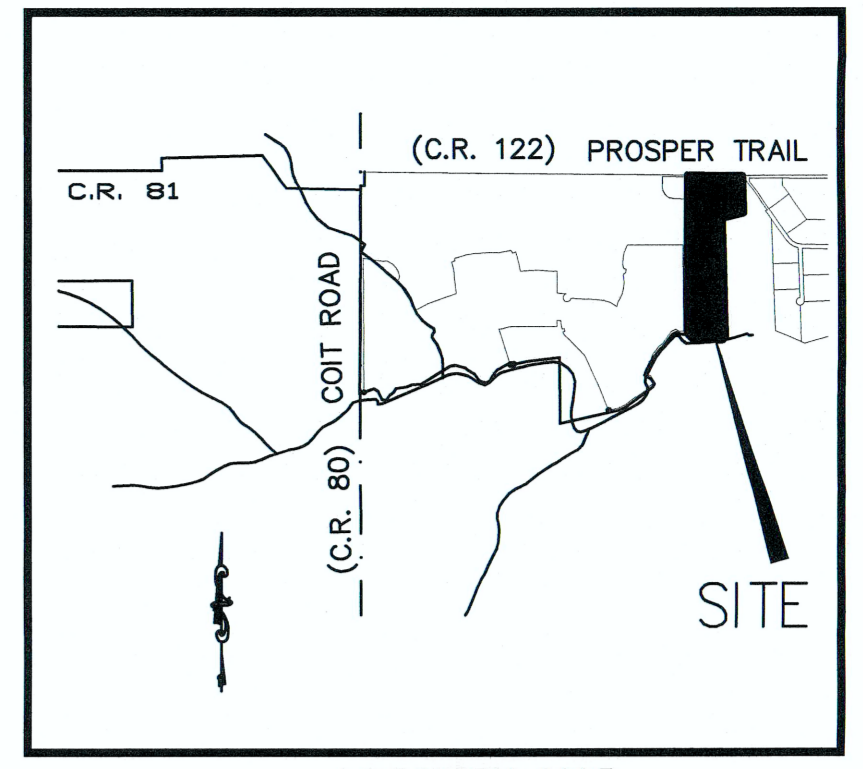
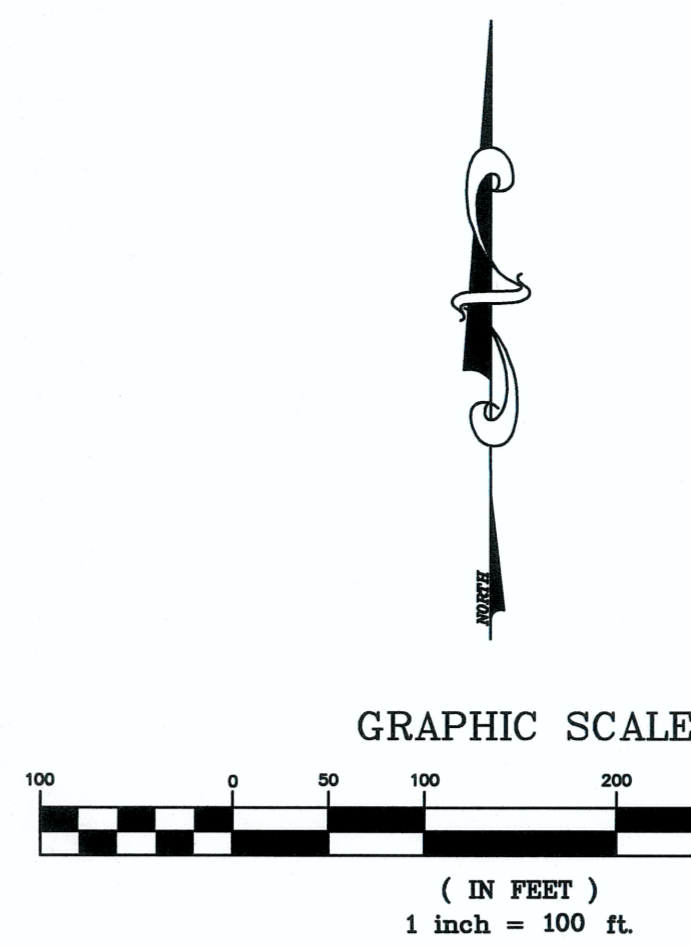
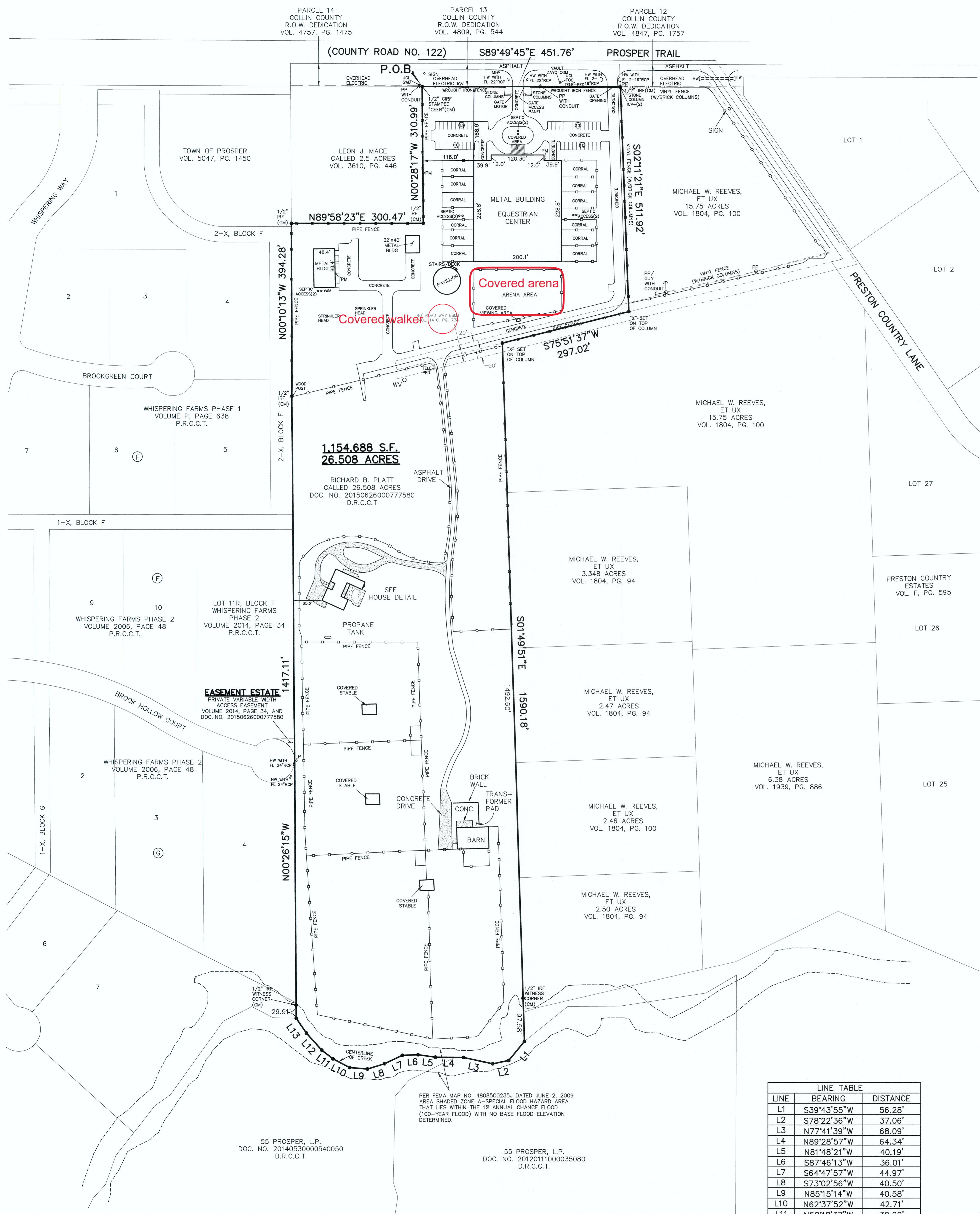


EXHIBIT A

	16301 Quorum Drive Suite 200 B Addison, Texas 75240 Main 972.248.7676 Fax 972.248.1414 www.jbipartners.com	AS-BUILT SURVEY - 26,508 ACRES WHISPERING FARMS EQUESTRIAN CENTER SPENCER GRAHAM SURVEY- ABSTRACT 359 TOWN OF PROSPER, COLLIN COUNTY, TEXAS	PROJECT NO. WFEC001 SHEET NO. 1 OF 1 DATE AUGUST 15, 2018
	NO. REVISION BY DATE		

Plotted by: mharp Plot Date: 8/15/2018 8:07 AM
 Drawing: H:\Projects\WFEC001\wg_WFEC001_AS-BUILT_SURVEY.dwg Saved By: mharp Save Time: 8/15/2018 7:38 AM

Exhibit B - Case S21-0002
Current zoning - Agricultural



- LEGEND**
- P.O.B. POINT OF BEGINNING
 - CRIF CAPPED IRON ROD FOUND
 - IRF IRON ROD FOUND
 - CM CONTROL MONUMENT
 - MB MAILBOX
 - HW HEADWALL
 - FL FLOWLINE
 - RCP REINFORCED CONCRETE PIPE
 - PP POWER POLE
 - UGL UNDERGROUND LINE
 - SWB SOUTHWESTERN BELL
 - FOC FIBER OPTIC CABLE
 - PM POWER METER
 - WM WATER METER
 - TELE TELEPHONE
 - PEL PEDESTAL
 - ICV IRRIGATION CONTROL VALVE
 - BLDG BUILDING
 - PM POWER METER

LEGAL DESCRIPTION

BEING a parcel of land located in the Town of Prosper, Collin County, Texas, a part of the Spencer Graham Survey, Abstract No. 359, and being all of a called 2.50 acre tract of land described in a special warranty deed to Richard B. Platt recorded in Document No. 2015062600077580, Collin County Deed Records, and being further described as follows:

BEGINNING at a one-half inch iron rod with cap stamped "GEER" found at the northwest of said 26.508 acre tract of land, said point being in the east line of a called 2.5 acre tract of land described in a warranty deed to Leon Jay Mace and wife, Rebecca Sue Mace as recorded in Volume 3610, Page 446, Collin County Deed Records, said point being in the south right-of-way line of Prosper Trail (County Road No. 122, a variable width right-of-way), said point being the southwest corner of a called 0.546 acre tract of land described as Parcel 13 in a right-of-way deed to Collin County as recorded in Volume 4809, Page 544, Collin County Deed Records;

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 North 34 degrees 45 minutes 35 seconds West, 40.87 feet to the southwest corner of said 26.508 acre tract of land, said point being in the east line of Whispering Farms Phase 2, an addition to the Town of Prosper as recorded in Volume 2006, Page 48, Collin County Plat Records;

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 North 89 degrees 58 minutes 23 seconds East, 300.47 feet to a one-half inch iron rod found at the southeast corner of said 2.5 acre tract of land;
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EASEMENT NOTES:

Reference: Chicago Title Insurance Company Commitment for Title Insurance, dated effective May 10, 2018 and issued May 17, 2018 under GF No. NSX0007761

Schedule B:

Item 10(a). Denton County Electric Cooperative, Inc. easement recorded in Volume 467, Page 388, Real Property Records of Denton County, Texas, is blanket in nature, does affect the subject tract of land.

Item 10(b). Easement 40 foot roadway, recorded in Volume 1410, Page 738, Real Property Records of Denton County, Texas, does affect the subject tract of land as shown on the survey.

SURVEY CERTIFICATION

TO: Richard B. Platt, WFEC Holding Company, LP, First Bank, Chicago Title Insurance Company and Secured Title of Texas.

1. The plat and description as shown hereon is a true and accurate representation, to the best of my knowledge and belief, of the subject property as determined by an on-the-ground survey performed under my supervision during the month of August, 2018.

2. The subject property has direct access to Prosper Trail (County Road No. 122) as shown on the survey.

3. A portion of the subject property is located in the 100-year flood plain according to the Federal Emergency Management Agency's Flood Insurance Rate Map No. 48085C02351, dated June 2, 2009.

4. Except as shown on the survey, there are no visible encroachments, protrusions or conflicts on the subject property.

5. This survey was made in accordance with and satisfies the requirements of the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition II Survey (2013 Revised Twelfth Edition).

LINE	BEARING	DISTANCE
L1	S39°43'55"W	56.28'
L2	S78°22'36"W	37.06'
L3	N77°41'39"W	68.09'
L4	N89°28'57"W	64.34'
L5	N81°48'21"W	40.19'
L6	S87°46'13"W	36.01'
L7	S64°47'57"W	44.97'
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L13	N34°46'35"W	40.87'

Don B. Ramsey, R.P.L.S. No. 4172
August 15, 2018

NO.	REVISION	BY	DATE		16301 Quorum Drive Suite 200 B Addison, Texas 75240 Main 972.248.7676 Fax 972.248.1414 www.jbipartners.com	AS-BUILT SURVEY - 26.508 ACRES WHISPERING FARMS EQUESTRIAN CENTER SPENCER GRAHAM SURVEY- ABSTRACT 359 TOWN OF PROSPER, COLLIN COUNTY, TEXAS	PROJECT NO. WFEC001 SHEET NO. 1 OF 1 DATE AUGUST 15, 2018
						TBPE No. F-438 TBPLS No. 10076000	

Plotted by: mharp Plot Date: 8/15/2018 8:07 AM



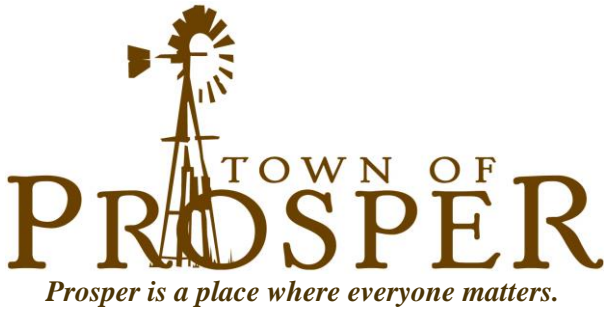
Sample cover for outdoor riding arena



Sample automatic horse walker



Sample cover for horse walker



PLANNING

To: Planning & Zoning Commission

Item No. 5

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – August 17, 2021

Agenda Item:

Conduct a Public Hearing, and consider and act upon a request for a Specific Use Permit (SUP) for a Major Nursery (Calloway’s), in Gates of Prosper, on 3.2± acres, located on the north side of Richland Boulevard, west of Preston Road. The property is zoned Planned Development-67 (PD-67). (S21-0001).

Description of Agenda Item:

The zoning and land use of the surrounding properties are as follows:

	Zoning	Current Land Use	Future Land Use Plan
Subject Property	Planned Development-67	Undeveloped	Town Center District
North	Planned Development-67	Gates of Prosper	Town Center District
East	Planned Development-67	Gates of Prosper	Town Center District
South	Planned Development-67	Undeveloped	Town Center District
West	Planned Development-67	Undeveloped	Town Center District

Requested Zoning – The purpose of this request is to allow for a major nursery (Calloway’s), in the Gates of Prosper. Exhibit B shows the proposed layout, which consists of a single-story, 600-square-foot building, and an attached 13,500-square-foot greenhouse. The site also includes a 20,515-square-foot outdoor retail area. The number of off-street parking spaces meets the minimum standards of the Zoning Ordinance. The Specific Use Permit conforms to the PD-67 development standards. Exhibit C is a conceptual landscape plan, which depicts the location of required landscaping. The landscaping meets the minimum standards of the Town’s Zoning Ordinance. Exhibit D shows a conceptual rendering depicting the architectural look and style of the building. The building is constructed of 67% stone and 34 % textured painted stucco, while the greenhouse is constructed of fabric wall which is made of high polyester material.

The Zoning Ordinance contains four criteria to be considered in determining the validity of a SUP request, as follows:

1. *Is the use harmonious and compatible with its surrounding existing uses or proposed uses?*
2. *Are the activities requested by the applicant normally associated with the requested use?*
3. *Is the nature of the use reasonable?*
4. *Has any impact on the surrounding area been mitigated?*

Staff believes the applicant has satisfied the noted criteria and recommends approval of the request.

Future Land Use Plan – The Future Land Use Plan recommends Town Center District. The proposed zoning request conforms to the Future Land Use Plan.

Thoroughfare Plan – The property has direct access to Richland Boulevard, an ultimate 90-foot, 4-lane divided minor thoroughfare. This request conforms to the Thoroughfare Plan.

Parks Master Plan – The Parks Master Plan does not indicate a park is needed on the subject property.

Legal Obligations and Review:

Notification was provided to neighboring property owners as required by the Zoning Ordinance and state law. To date, staff has not received any Public Hearing Notice Reply Forms in response to this request.

Attached Documents:

1. Location and Zoning Maps
2. SUP Exhibits A, B, C, and D
3. Calloway's Renderings (*for informational purposes only*)

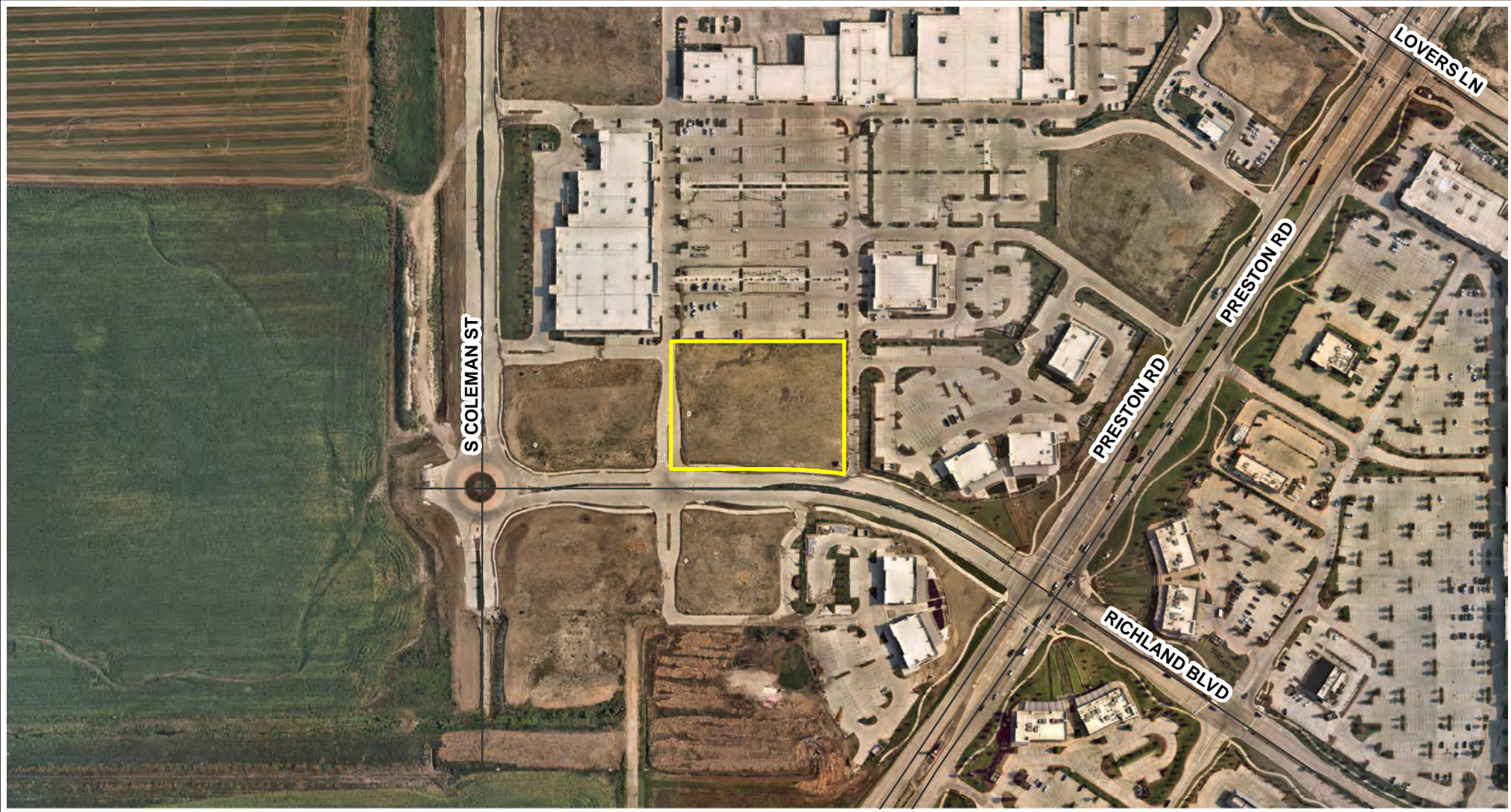
Staff Recommendation:

Town staff recommends the Planning & Zoning Commission approve the request for a Specific Use Permit (SUP) for a Nursery, Major (Calloway's), in Gates of Prosper, on 3.2± acres, located on the north side of Richland Boulevard, west of Preston Road.

Town Council Public Hearing:

Upon a recommendation by the Planning & Zoning Commission, a Public Hearing on this item will be scheduled for the Town Council at their Regular meeting on September 14, 2021.

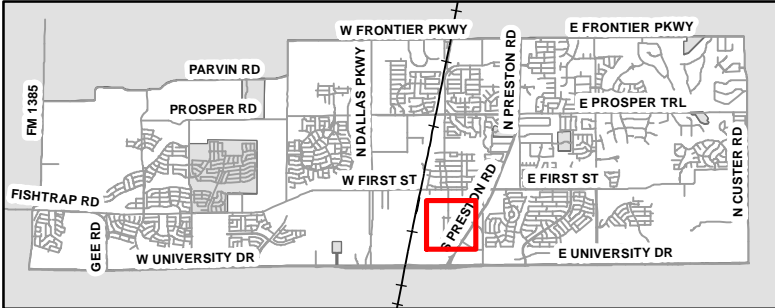
S21-0001 - Calloway's Nursery



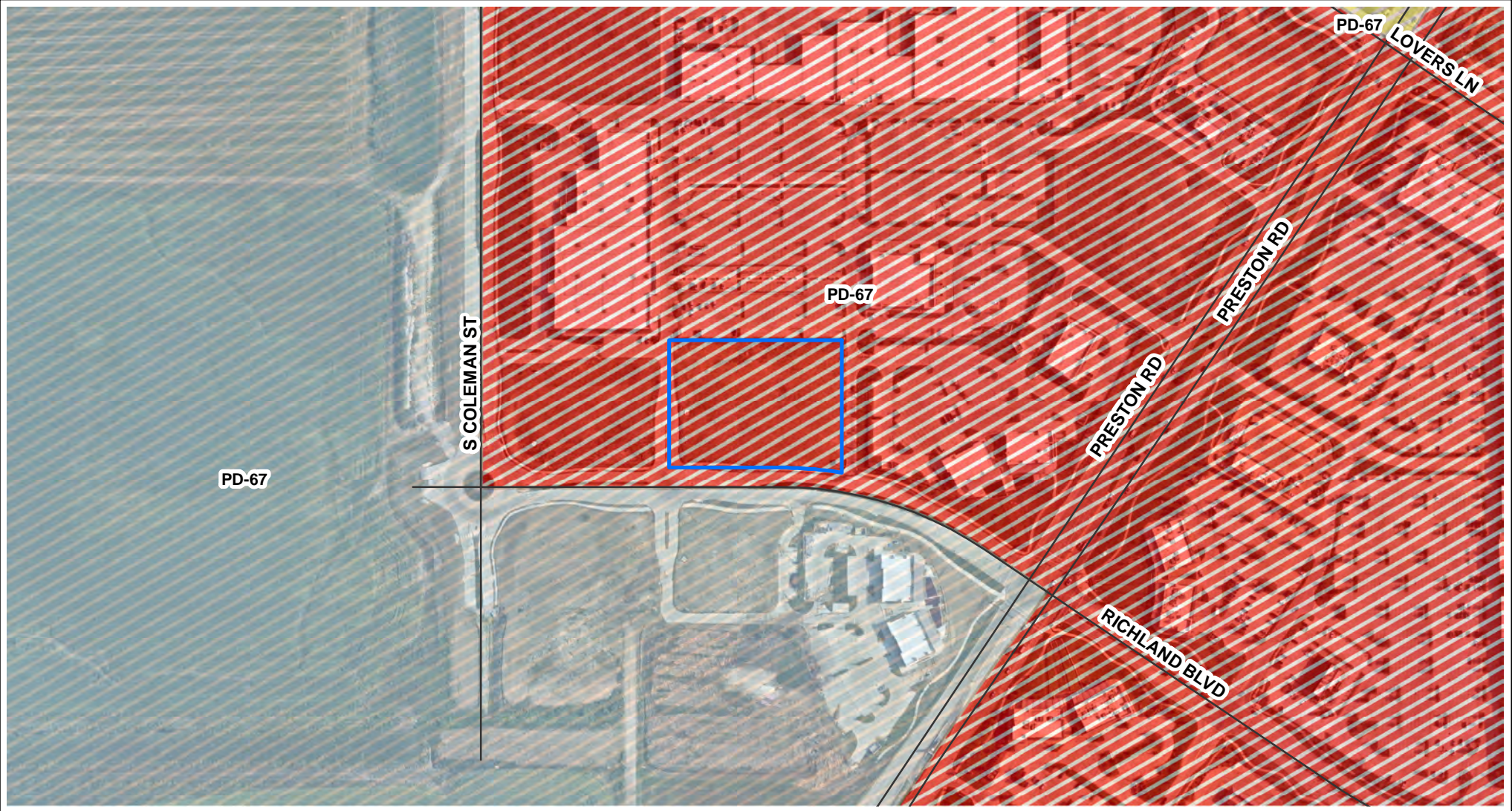
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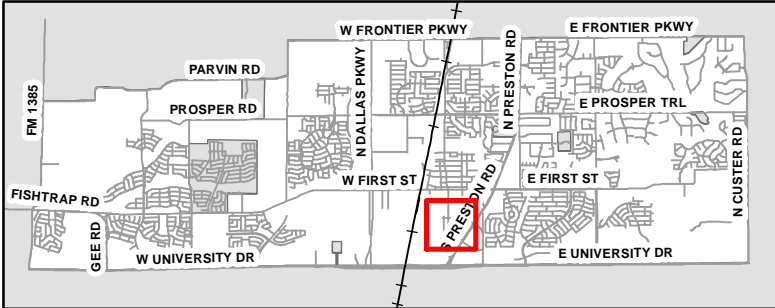
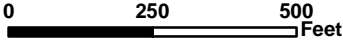
0 250 500 Feet



S21-0001 - Calloway's Nursery

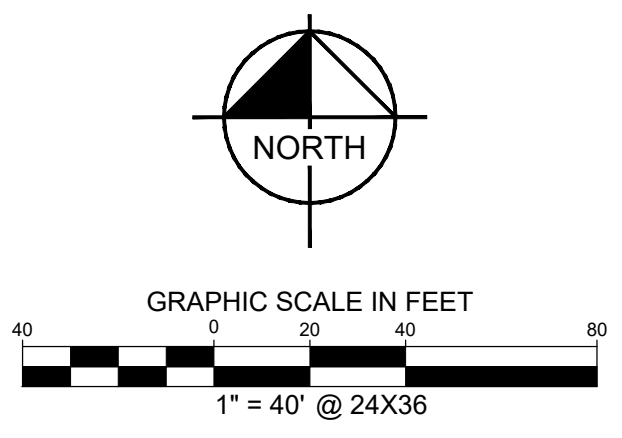
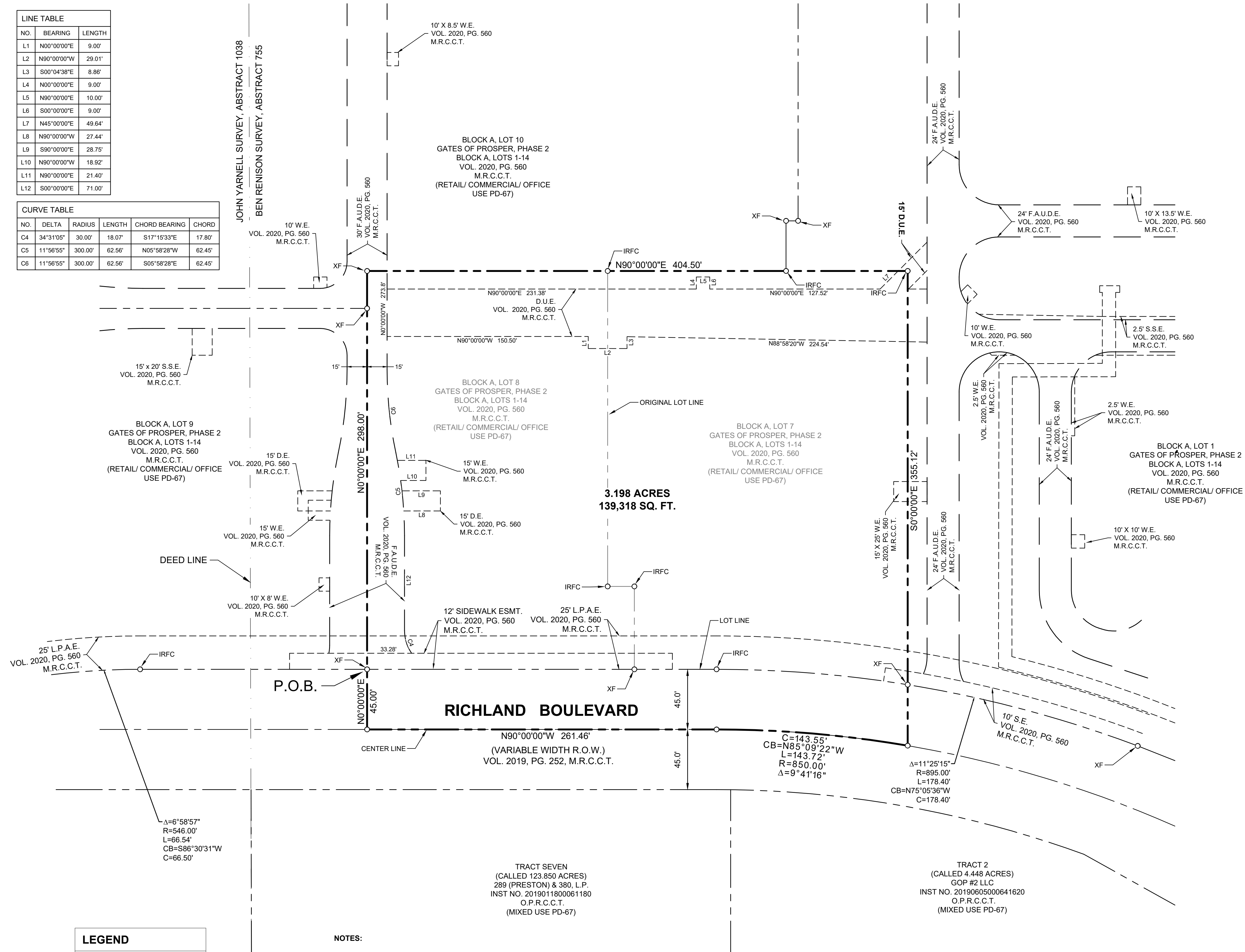
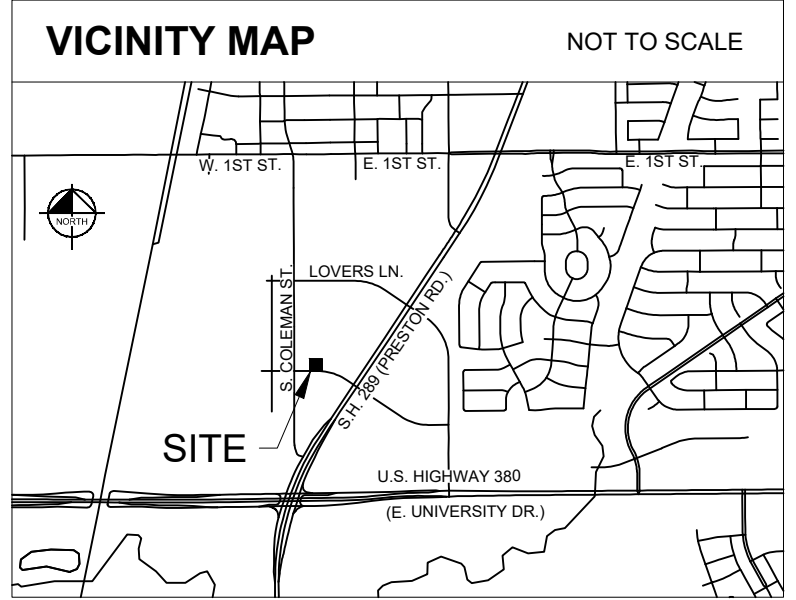


This map is for illustration purposes only.



NO.	BEARING	LENGTH
L1	N00°00'00"E	9.00'
L2	N90°00'00"W	29.01'
L3	S00°04'38"E	8.86'
L4	N00°00'00"E	9.00'
L5	N90°00'00"E	10.00'
L6	S00°00'00"E	9.00'
L7	N45°00'00"E	49.64'
L8	N90°00'00"W	27.44'
L9	S90°00'00"E	28.75'
L10	N90°00'00"W	18.92'
L11	N90°00'00"E	21.40'
L12	S00°00'00"E	71.00'

NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C4	34°3'10"	30.00'	18.07'	S17°15'33"E	17.80'
C5	11°56'55"	300.00'	62.56'	N05°58'28"W	62.45'
C6	11°56'55"	300.00'	62.56'	S05°58'28"E	62.45'



BEING a tract of land situated in the Ben Renison Survey, Abstract No. 755, Town of Prosper, Collin County, Texas and being a replat of Block A, Lots 7 and 8, Gates of Prosper, Phase 2, Block A, Lots 1-14, an addition to the Town of Prosper according to the Final Plat recorded in Volume 2020, Page 560 of the Map Records of Collin County, Texas, and a portion of Richland Boulevard, a variable width right of way, ad dedicated in the Gates of Prosper, Phase 2, Block A, Lot 1, an addition to the Town of Prosper according to the Conveyance Plat recorded in Volume 2019, Page 252 of the Map Records of Collin County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at an "X" cut found for the southwest corner of Block A, Lot 8 and the southeast corner of Block A, Lot 9 of said Gates of Prosper, Phase 2, Block A, Lots 1-14, same being on the northerly right of way line of said Richland Boulevard, a variable width right of way;

THENCE North 0°00'00" East, departing the northerly right of way line of said Richland Boulevard, along the westerly line of said Block A, Lot 8 and the easterly line of said Block A, Lot 9, passing an "X" cut found for the northeast corner of said Lot 9 and the southerly, southeast corner of Block A, Lot 10 of said Gates of Prosper, Phase 2, Block A, Lots 1-14, continuing along an easterly line of said Lot 10, a distance of 298.00 feet to an "X" cut found for the northwest corner of said Block A, Lot 8;

THENCE North 90°00'00" East, along the northerly line of said Block A, Lot 8, the northerly line of aforesaid Block A, Lot 7, the southerly line of said Block A, Lot 10, passing a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the north common corner of said Lots 7 and 8, passing a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for a southeast corner of said Lot 10 and a southwest corner of Block A, Lot 1 of said Gates of Prosper, Phase 2, Block A, Lots 1-14, continuing along a southerly line of said Lot 1, a distance of 404.50 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the northeast corner of said Lot 7;

THENCE South 00°00'00" West, along the easterly line of said Block A, Lot 7 and a westerly line of said Block A, Lot 1, passing at a distance of 309.50 feet to an "X" cut found for the southeast corner of said Lot 7 and a southwest corner of said Lot 1, same being on the northerly right of way line of aforesaid Richland Boulevard, continuing across said Richland Boulevard, a total distance of 355.12 feet to a corner on the centerline of said Richland Boulevard, and being the beginning of a non-tangent curve to the left having a central angle of 09°41'16", a radius of 850.00 feet, a chord bearing and distance of North 85°09'22" West, 143.55 feet;

THENCE in a northwesterly direction, along the centerline of said Richland Boulevard and with said curve to the left, an arc distance of 143.72 feet to the end of said curve;

THENCE North 90°00'00" West, continuing along the centerline of said Richland Boulevard, a distance of 261.46 feet to a point of corner;

THENCE North 00°00'00" East, departing the centerline of said Richland Boulevard, crossing said Richland Boulevard, a distance of 45.00 feet to the POINT OF BEGINNING and containing 3.198 acres (139,318 square feet) of land, more or less.

Michael B. Marx
Registered Professional Land Surveyor No. 5181
Kimley-Horn and Associates, Inc.
6160 Warren Pkwy., Suite 210
Frisco, Texas 75034
Ph. 972-335-3580
michael.marx@kimley-horn.com

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

**EXHIBIT A
GATES OF PROSPER, PHASE 2
BLOCK A, LOT 7**

AN ADDITION TO THE TOWN OF PROSPER

3.198 ACRES

SITUATED IN THE
BEN RENISON SURVEY, ABSTRACT NO. 755
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

JUNE, 2021
CASE #SUP21-0001

Kimley»Horn
6160 Warren Pkwy., Suite 210 Frisco, Texas 75034 FIRM # 10193822 Tel. No. (972) 335-3580 Fax No. (972) 335-3779

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 40'	JCC	KHA	06/22/2021	063887142	1 OF 1

LEGEND

---	BOUNDARY LINE
- - - -	EASEMENT LINE
---	PROPERTY LINE
IRF	IRON ROD FOUND
IRFC	IRON ROD FOUND WITH CAP
IRSC	IRON ROD SET WITH CAP
NTS	NOT TO SCALE
(C.M.)	CONTROLLING MONUMENT
D.R.C.C.T.	DEED RECORDS OF COLLIN COUNTY, TEXAS
M.R.C.C.T.	MAP RECORDS OF COLLIN COUNTY, TEXAS
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS
FOUND	FOUND
R.O.W.	RIGHT OF WAY
W.E.	WATER EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
D.U.E.	DRAINAGE AND UTILITY EASEMENT
F.A.U.D.E.	FIRELANE ACCESS, UTILITY AND DRAINAGE EASEMENT
F.A.E.	FIRELANE ACCESS EASEMENT
E.E.	ELECTRIC EASEMENT
L.P.A.E.	LANDSCAPE AND PEDESTRIAN ACCESS EASEMENT
H.B.T.E.	HIRE & BIKE TRAIL EASEMENT
VOL.	VOLUME
PG.	PAGE
INST. NO.	INSTRUMENT NO.

- NOTES:**
- All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
 - Bearing system based on the southerly right of way line of Loviers Lane as created in the Conveyance Plat of Gates of Prosper, Phase 2, an addition to the Town of Prosper, according to the plat, recorded in Volume 2019, Page 252 of the Map Records of Collin County, Texas, said bearing being North 90°00'00" East.
 - The thoroughfare alignment(s) shown on this exhibit are for illustration purposes and does not set the alignment. The alignment is determined at the time of Final Plat.
 - According to Map No. 48085C0235 J dated June 2, 2009, of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is located in Zone X (unshaded) and is not within a special flood hazard area. If this site is within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
 - Notice: Selling a portion of this addition by metes and bounds is a violation of Town ordinance and state law and is subject to fines and withholding of utilities and building permits.

SURVEYOR:
Kimley-Horn and Associates, Inc.
6160 Warren Parkway, Suite 210
Frisco, TX 75034
P (972) 335-3580
F (972) 335-3779
Contact: Michael B. Marx, R.P.L.S.

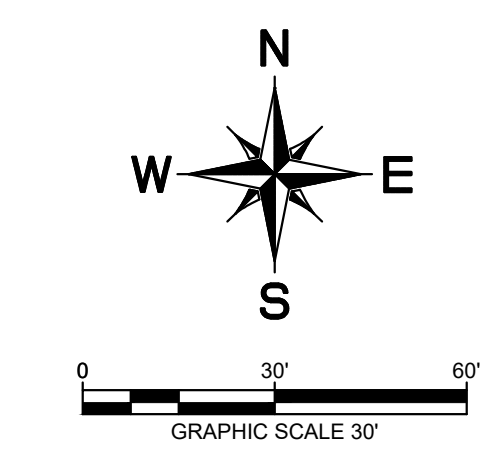
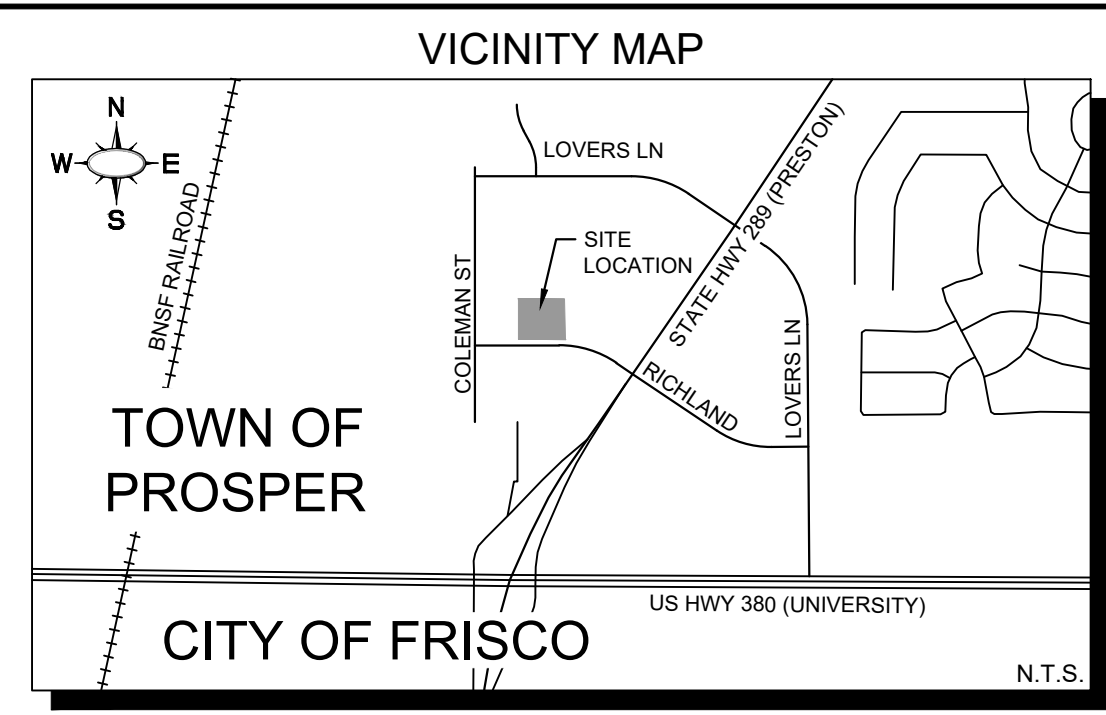
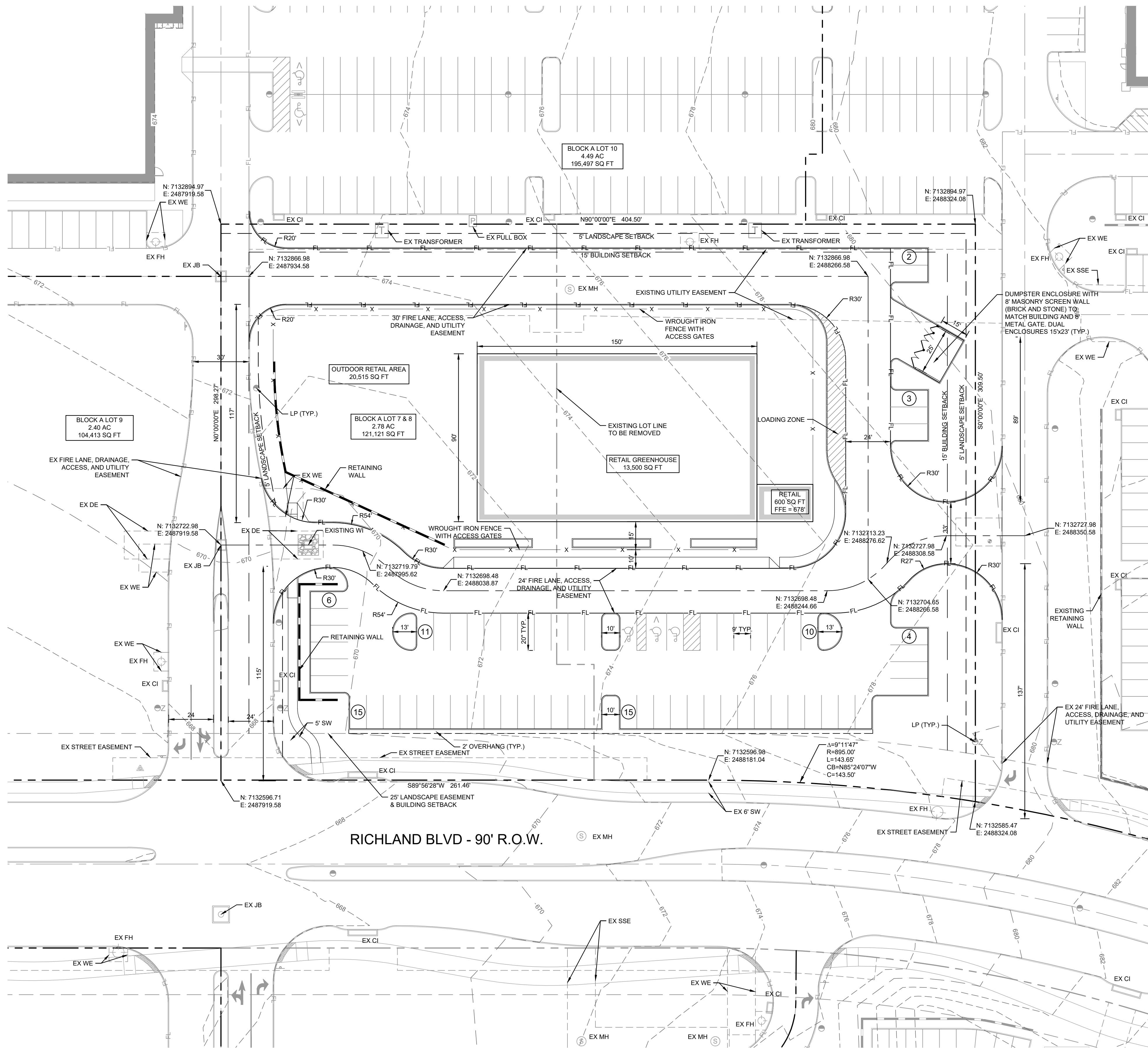
ENGINEER:
Kimley-Horn and Associates, Inc.
260 East Davis St., Suite 100
McKinney, TX 75069
P (496) 301-2594
Contact: Rachel Korus, P.E.

OWNER:
GOP #2 LLC
1 Cowboys Way
Frisco, TX 75063
P (972) 497-4367
Contact: Nic Link

DWG NAME: K:\SRV\SURVE\1000000000\GATES OF PROSPER\PHASE 2\BEN RENISON\1000000000.GPJ LOT 7&8 BLOCK A SURP.DWG PLOTTED BY: MARX, MICHAEL 06/22/2021 9:27 AM LAST SAVED: 06/22/2021 9:27 AM

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TOWN OF PROSPER SITE PLAN NOTES

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTRAINED WITHIN THE ZONING ORDINANCE.
 - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
 - ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
 - BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 - OCCUPANT NOTIFICATION PER THIS SECTION AND 907.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION, OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE, FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
 - FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
 - TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
 - SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
 - FIRE LANES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS. AMENDMENT 503.1.1
 - THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE. AMENDMENT 503.2.1
 - BUILDINGS MORE THAN 30 FEET IN HEIGHT ARE REQUIRED TO HAVE A MINIMUM OF A 26-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIREFIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE FIRE LANES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET. APPENDIX D105.
 - THE INSIDE TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
 - THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
 - DEAD-END FIRE LANES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.
 - FIRE HYDRANTS SHALL BE PROVIDED AT THE ENTRANCES AND INTERSECTIONS. AMENDMENT 507.5.1
 - AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET (300') FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R-3 DEVELOPMENTS SHALL BE EVERY 500 FEET (500'). DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM HYDRANT TO HYDRANT, NOT AS THE "CROW FLIES". AMENDMENT 507.5.1
 - FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5" STORZ, 30-DEGREE DOWNWARD TURN WITH LOCKING CAP. AMENDMENT 507.5.1
 - FIRE HYDRANTS SHALL BE LOCATED 2 FOOT (2') TO 6 FOOT (6') BACK FROM THE CURB OR FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC. AMENDMENT 507.5.1
 - THERE SHALL BE A MINIMUM OF TWO (2) FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE PRESCRIBED DISTANCES LISTED ABOVE. A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT. AMENDMENT 507.5.1
 - A MINIMUM 10-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER. AMENDMENT 503.1.5
 - THE MAXIMUM DEAD-END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET (600') AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS. AMENDMENT 503.1.5
 - ONE-AND TWO-FAMILY DWELLINGS AUTOMATIC FIRE SYSTEMS. AUTOMATIC FIRE PROTECTION SYSTEMS PER NFPA 13D OR NFPA 13R SHALL BE PROVIDED IN ALL ONE-AND TWO-FAMILY DWELLINGS WITH A CONDITIONED FLOOR AREA OF 5,500 SQUARE FEET (511 M²) OR GREATER, DWELLINGS THREE (3) STORIES OR GREATER, OR DWELLINGS WITH ROOF HEIGHTS EXCEEDING THIRTY-FIVE FEET (35') FROM GRADE. IRC-2015 AMENDMENT R313.2
 - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
 - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE PRELIMINARY SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
 - ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FAÇADE PLAN.
 - SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
 - APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING SERVICES DEPARTMENT.
 - SITE PLAN APPROVAL IS REQUIRED BEFORE THE GRADING RELEASE.
 - ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
 - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
 - THE APPROVAL OF A SITE PLAN SHALL BE EFFECTIVE FOR EIGHTEEN (18) MONTHS FROM DATE OF APPROVAL BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF ENGINEERING PLANS AND BUILDING PERMITS. IF THE ENGINEERING PLANS AND BUILDING PERMITS ARE NOT APPROVED, THE SITE PLAN APPROVAL, TOGETHER WITH ANY PRELIMINARY SITE PLAN FOR THE PROPERTY, IS NULL AND VOID.

LEGEND

	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	BARRIER FREE RAMP (BFR)
	ACCESSIBLE PARKING SYMBOL
	NUMBER OF PARKING SPACES
	WATER METER (AND VAULT)
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	SANITARY SEWER MANHOLE
	TRANSFORMER PAD
	CURB INLET
	GRATE INLET
	JUNCTION BOX OR WYE INLET
	HEADWALL
	TYPICAL
	SANITARY SEWER EASEMENT
	WATER EASEMENT
	DRAINAGE EASEMENT
	BARRIER FREE RAMP
	SIDEWALK
	BUILDING LINE/SETBACK
	CURB INLET
	GRATE INLET
	WYE INLET
	JUNCTION BOX
	MANHOLE
	EXISTING
	PROPOSED

**BLOCK A, LOTS 7 & 8
SITE DATA SUMMARY TABLE**

ZONING/PROPOSED USE	PD-67 RETAIL
LOT AREA/ SQ. FT. AND AC	121,121.76 SQ. FT. 2.78 AC
BUILDING AREA (gross square footage)	14,100 SQ. FT.
BUILDING HEIGHT (number of stories) MAX HEIGHT = 30'	30' MAX.
LOT COVERAGE	11.6%
FLOOR AREA RATIO (for non-residential zoning)	0.12:1
TOTAL PARKING REQUIRED (1:250 FOR RETAIL, EXCLUDES OUTDOOR AREA)	57 SPACES
TOTAL PARKING PROVIDED	66 SPACES
TOTAL HANDICAP REQUIRED	3 SPACES
TOTAL HANDICAP PROVIDED	3 SPACES
INTERIOR LANDSCAPING REQUIRED	1,050 SQ. FT.
INTERIOR LANDSCAPING PROVIDED	1,050 SQ. FT.
IMPERVIOUS SURFACE	73,546 SQ. FT.
USABLE OPEN SPACE REQUIRED	9,329 SQ. FT.
USABLE OPEN SPACE PROVIDED	9,329 SQ. FT.

*HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH TDS STANDARDS

**EXHIBIT B - SITE PLAN
PAD SITE R
GATES OF PROSPER, PHASE 2
BLOCK A, LOTS 7 & 8
SUP21-0001
Being 2.78 Acres Out Of The
BEN RENNISON SURVEY Abstract No. 755
JOHN YARNELL SURVEY Abstract No. 1038
COLLIN COUNTY SCHOOL LAND NO. 12 SURVEY
Abstract No. 147
Town of Prosper, Collin County, Texas**

Owner:
GOP #2 LLC
1 Cowboys Way
Frisco, Texas 75034
Contact: Nicholas Link
Phone: (972)-497-4854

Engineer/Surveyor:
Kimley-Horn and Associates, Inc.
280 East Davis Street, Suite 100
McKinney, Texas 75069
Contact: Joe Riccardi, P.E.
Phone: (469)-301-2580

NO.	REVISIONS	DATE	BY

Kimley-Horn
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 280 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
 PHONE: 469-301-2580 FAX: 972-293-8320
 WWW.KIMLEY-HORN.COM TX F-928

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction or permit purposes.
Kimley-Horn
 Engineer: RACHEL A. KORUS
 P.E. No. 132468 Date: 07/30/2021

KHA PROJECT	068-09030
DATE	JULY 2021
SCALE	AS SHOWN
DESIGNED BY	RAM
DRAWN BY	RAM
CHECKED BY	RAK

PAD SITE R

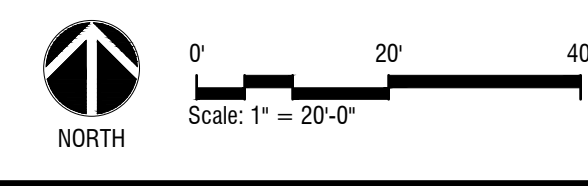
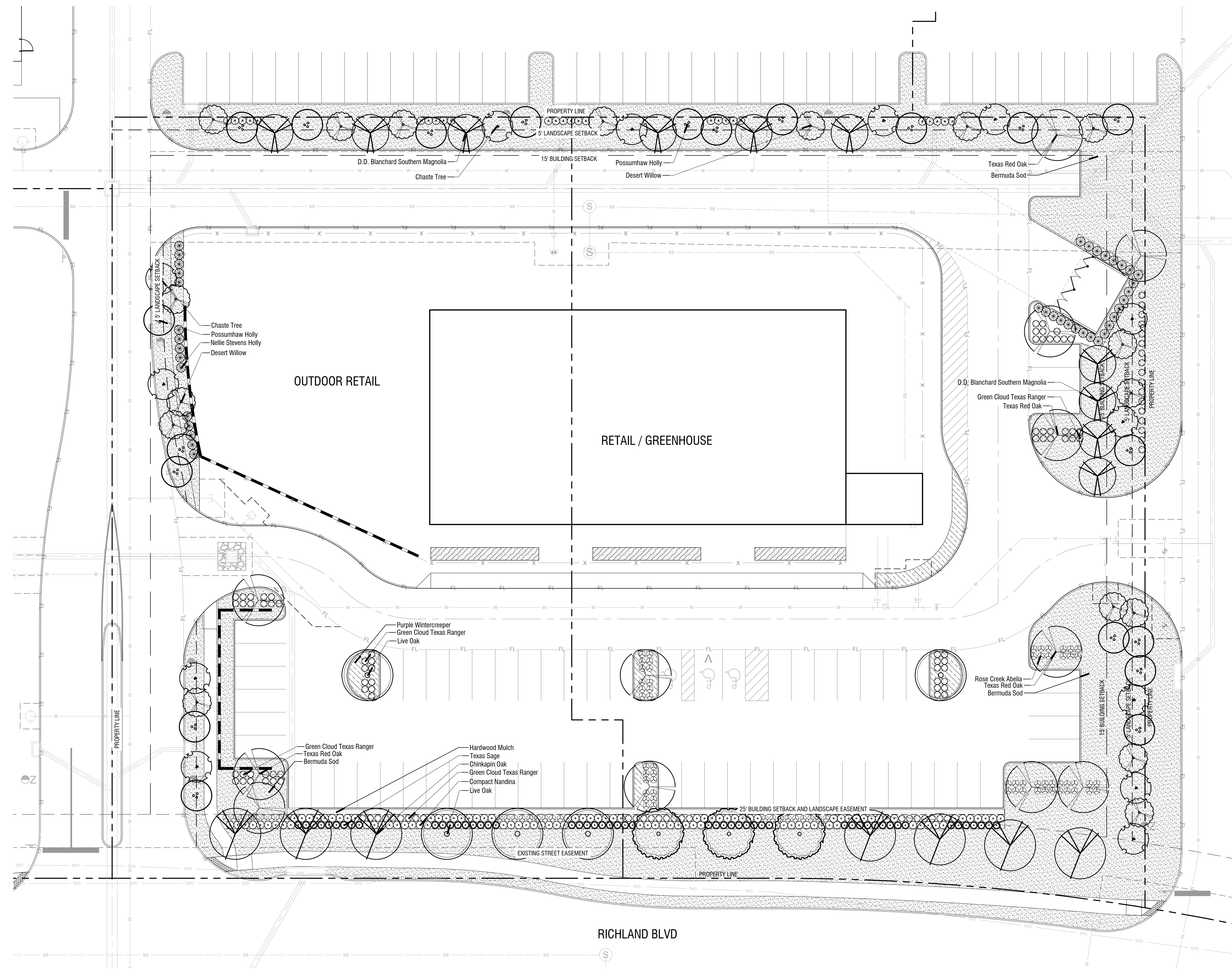
TOWN OF PROSPER

EXHIBIT B - SITE PLAN

SHEET NUMBER
SP-01

KIMLEY-HORN AND ASSOCIATES, INC.
 260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TEXAS 75069
 PHONE: 469-501-2580 FAX: 972-238-3820
 WWW.KIMLEY-HORN.COM TX F-028

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Planting Plan
 Scale: 1" = 20'-0"

EXHIBIT C – LANDSCAPE PLAN
PAD SITE R
GATES OF PROSPER, PHASE 2
BLOCK A, LOTS 7 & 8
SUP21-0001
Being 2.78 Acres Out Of The
BEN RENNISON SURVEY Abstract No. 755
JOHN YARNELL SURVEY Abstract No. 1038
COLLIN COUNTY SCHOOL LAND NO. 12 SURVEY
Abstract No. 147
Town of Prosper, Collin County, Texas

Owner:
 GOP #2 LLC
 1 Cowboys Way
 Frisco, Texas 75034
 Contact: Nicholas Link
 Phone: (972)497-4854

Landscape Architect:
 Kimley-Horn and Associates, Inc.
 260 East Davis Street, Suite 100
 McKinney, Texas 75069
 Contact: Courtney Smith, PLA
 Phone: (469)452-2497

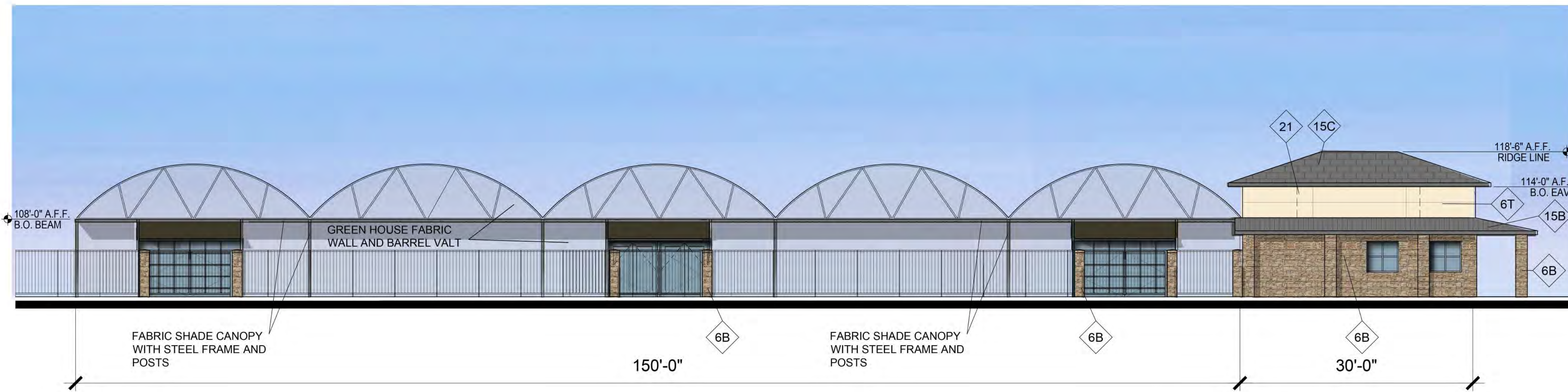
No.	REVISIONS	DATE	BY

Kimley»Horn
 © 2018 KIMLEY-HORN AND ASSOCIATES, INC.
 260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
 PHONE: 469-501-2580 FAX: 972-238-3820
 WWW.KIMLEY-HORN.COM TX F-028

REGISTERED LANDSCAPE ARCHITECT
 COURTNEY SMITH
 STATE OF TEXAS # 3323
 KHA PROJECT: 068109030
 DATE: 08/03/2021
 SCALE: AS SHOWN
 DESIGNED BY: CLS
 DRAWN BY: CLS
 CHECKED BY: AJB

PAD SITE R
 PROSPER, TEXAS

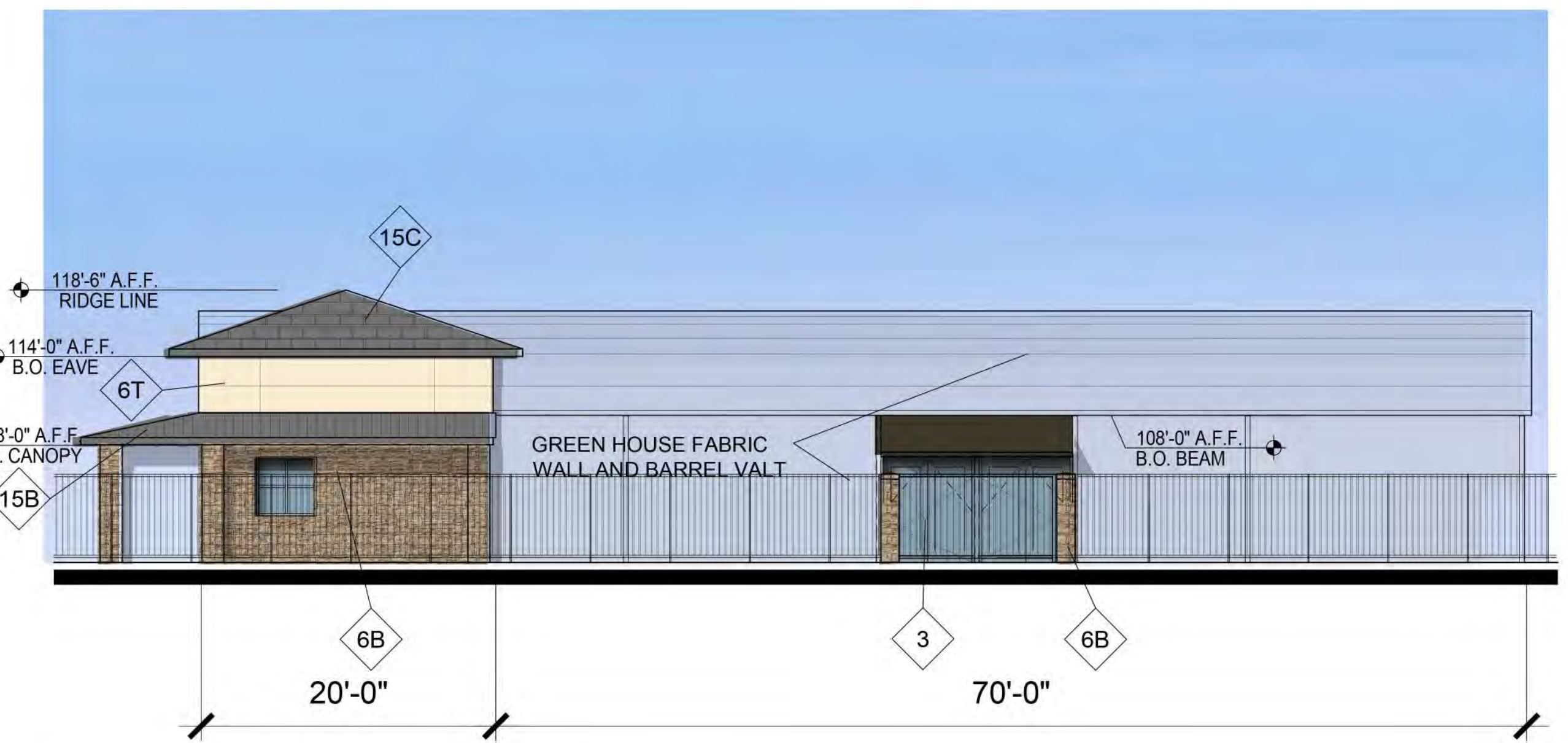
TOWN OF PROSPER
PLANTING PLAN
 SHEET NUMBER
L5.01



C SOUTH - FRONT ELEVATION

TOTAL ELEVATION AREA	555 SF
GLAZING	32 SF
NET ELEVATION	523 SF
PRIMARY MATERIALS	341 SF 65%
6B - STONE	221 SF 65%
6T - TEXTURED PAINTED STUCCO	120 SF 35%
SECONDARY MATERIALS	182 SF 35%
15B - METAL ROOF	77 SF 42%
15C - COMPOSITE ASPHALT SHINGLES	105 SF 58%

NOTE: SECONDARY MATERIALS SHALL NOT EXCEED 15%



D EAST - SIDE ELEVATION

TOTAL ELEVATION AREA	359 SF
GLAZING	16 SF
NET ELEVATION	343 SF
PRIMARY MATERIALS	230 SF 67%
6B - STONE	154 SF 66%
6T - TEXTURED PAINTED STUCCO	77 SF 34%
SECONDARY MATERIALS	113 SF 33%
15B - METAL ROOF	54 SF 48%
15C - COMPOSITE ASPHALT SHINGLES	59 SF 52%

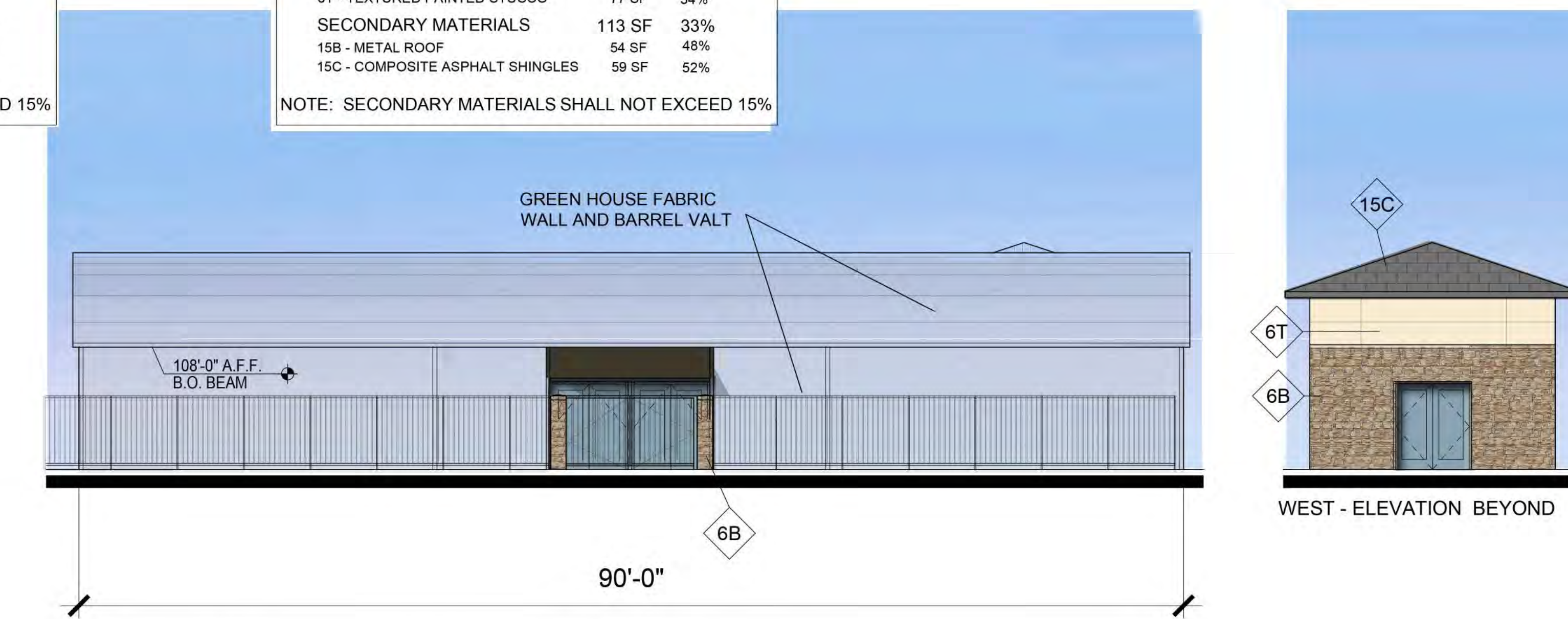
NOTE: SECONDARY MATERIALS SHALL NOT EXCEED 15%



A NORTH - REAR ELEVATION

TOTAL ELEVATION AREA	552 SF
GLAZING	0 SF
NET ELEVATION	552 SF
PRIMARY MATERIALS	437 SF 79%
6B - STONE	317 SF 73%
6T - TEXTURED PAINTED STUCCO	120 SF 27%
SECONDARY MATERIALS	115 SF 21%
15B - METAL ROOF	11 SF 10%
15C - COMPOSITE ASPHALT SHINGLES	104 SF 90%

NOTE: SECONDARY MATERIALS SHALL NOT EXCEED 15%



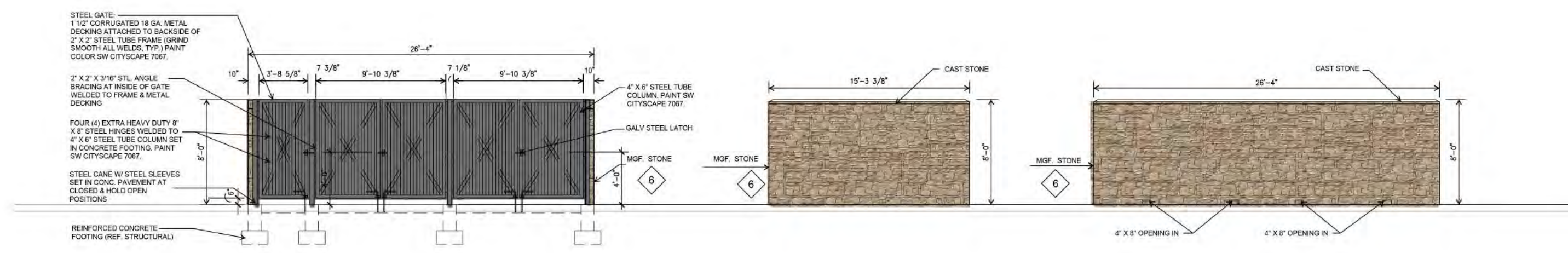
B WEST - SIDE ELEVATION (BEYOND)

TOTAL ELEVATION AREA	340 SF
GLAZING	45 SF
NET ELEVATION	295 SF
PRIMARY MATERIALS	235 SF 80%
6B - STONE	158 SF 87%
6T - TEXTURED PAINTED STUCCO	77 SF 33%
SECONDARY MATERIALS	60 SF 20%
15C - COMPOSITE ASPHALT SHINGLES	60 SF 100%

NOTE: SECONDARY MATERIALS SHALL NOT EXCEED 15%

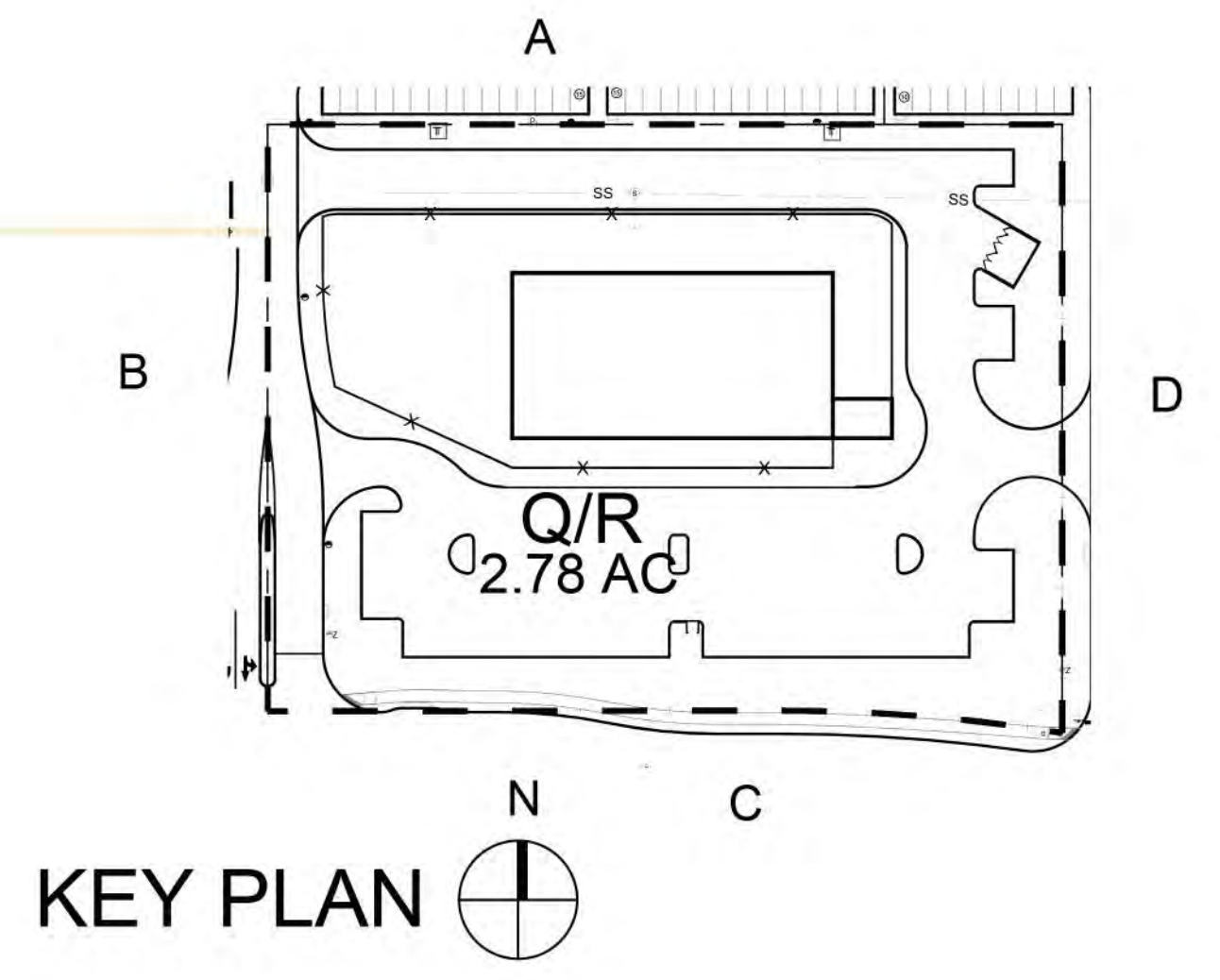
KEYNOTES FINISH SCHEDULE

1	METAL CORNICE:	PAC-CLAD, DARK BRONZE
2	METAL ROOF :	STADING SEAM METAL ROOF DARK BRONZE
3	STOREFRONT:	KAWNEER, DARK BRONZE
PAINT COLORS:		
P9	SHERWIN WILLIAMS, SW7067 CITYSCAPE	



DUMPSTER ENCLOSURE

- ELEVATION NOTES**
- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSED ONLY. ALL BUILDING PLANS REQUIRED REVIEW AND APPROVAL FROM THE BUILDING INSPECTION DIVISION.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
 - ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTION DEPARTMENT.
 - WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.
 - ANY DEVIATION FROM THE APPROVED FACADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER
 - ALL PARAPETS AT ROOF TOP SHOULD BE A MINIMUM OF 48" TO SCREEN RTU'S .
 - ALL LOADING DOCKS & DUMPSTER ENCLOSURE TO BE SCREENED.



CALLOWAY'S NURSERY

GATES OF PROSPER II

PROSPER, TX



DESIGN PACKAGE

AUGUST 2021







PLANNING

To: Planning & Zoning Commission

Item No. 6

From: Khara Dodds, Director of Development Services

Re: Planning & Zoning Commission Meeting – August 17, 2021

Agenda Item:

Update on the Dallas North Tollway regarding land uses and design standards.

Description of Agenda Item:

With the Dallas North Tollway anticipated to consist of the most intense land uses and the best opportunity to accommodate employment centers, the Town Council noted the need to develop a vision and plan for the future of corridor. The Council began to review different approaches for planning for future development of the Tollway, starting with the review of an overlay zone option that they explored with the previous Development Services Director in the Fall of 2020.

The Council desires to create a vision for the Tollway and to formulate a process that can guide future development towards that vision. More importantly, they are working to strike a balance between developing this vision while remaining sensitive to the rights of existing property owners along the corridor. At an attempt to strike this balance, the Council has also started to review creating design guidelines for the Tollway as another approach.

At the Town Council meeting on July 27th, the Council was introduced to the first draft of design guidelines for the Tollway. The purpose of design guidelines will be to communicate the Town's vision and expectation for future development on the Tollway. The design guidelines will provide the opportunity for the Town to leverage development expectations while providing flexibility to developers and property owners. The goal is for this combination of leverage and flexibility to yield the most vibrant and innovative projects on the Tollway while creating an environment where people can live, work, play and shop.

The design guidelines will apply to future developments in the area known as the Dallas North Tollway District, as identified on the Future Land Use Plan map, which is attached.

It is still early in the planning process. The guidelines are being provided to introduce this concept to the Commission and to update everyone on where we are in the process. During the remaining Summer and Fall of this year, we are planning to engage property owners, developers and citizens in the planning process. There will be a future work session planned with the Commission where we will dive deeper into these guidelines.

In addition, the Town Council also requested Town Staff to develop two informational maps of the corridor. Those maps are as follows and have been enclosed in your packet.

- Map displaying properties where gas stations and liquor stores can currently be located
- Map displaying sewer and water availability

Attached Documents:

1. Draft Design Guidelines
2. Map displaying properties where gas stations and liquor stores can currently be located
3. Map displaying sewer and water availability

Staff Recommendation:

No action is being requested of the Commission at this time, but I will be available for any questions or initial feedback.

Dallas North Tollway District

Design Guidelines

A. Intent and Purpose

The Dallas North Tollway is a primary thoroughfare within the Town of Prosper and one of the most heavily traveled roadways in North Texas. It is recognized that the Dallas North Tollway will serve as a significant opportunity for economic development and a sustainable tax base for the Town. The Comprehensive Plan identified the Dallas North Tollway as a future location for the Town's most intense land uses.

The purpose of these design guidelines is to provide direction on land use and design for future development that the Town of Prosper envisions on the Dallas North Tollway. Design guidelines define the qualities of building and site design that make successful projects and are tools for guiding projects to positive development outcomes. These guidelines will help to elevate the community's expectations for the built environment in the Tollway District. They provide a series of design and land use statements that explain the desired development elements and qualities that will shape the future of the Dallas North Tollway.

Another purpose of these guidelines is to communicate Town expectations to property owners when formulating development plans for proposed projects. The guidelines will provide a framework of land use and designs that will ensure projects are compatible with the goals of the Town for the Tollway. These guidelines are not zoning requirements, rather, they offer flexibility allowing for project creativity, imagination and innovation while encouraging careful and thoughtful land use and design choices that promote high quality and sustainable developments. The anticipated outcome is that these guidelines will result in a vibrant community along the Tollway that is a welcoming and attractive place for people to live, work, play and visit.

B. General Description

The design guidelines shall apply to future development proposals located within the Dallas North Tollway District as designated on the Future Land Use Plan Map for the Town of Prosper. Maps of the Dallas North Tollway District are identified in Exhibits One and Two, attached.

C. Tollway Sub-districts

The Tollway Design District is divided into three sub-districts. The eastern and western boundaries of the subdistricts are as identified in the Dallas North Tollway District on the Future Land Use Plan Map for the Town of Prosper. The northern and southern boundaries of the subdistricts are as follows:

1. *U.S. 380 Gateway*

The boundary of the U.S. 380 Gateway sub-district extends from U.S. Highway 380 to First Street.

2. *F.M. 1461 Gateway*

On the east side of the Dallas North Tollway, the boundary extends from F.M. 1461 and down to the southerly property line of Planned Development 69. On the west side of the Tollway the gateway area extends from F.M. 1461 in the north to Prosper Trail in the south.

3. *Neighborhood Services and Retail sub-district*

On the east side of the Dallas North Tollway, the Neighborhood Services and Retail sub-district extends from the southerly boundary of PD 69 in the north down to W. First Street. On the west side of the Tollway, this sub-district extends from Prosper Trail in the north to First Street in the south.

D. Tollway Sub-District Requirements

1. U.S. 380 Gateway

- a. On the Dallas North Tollway and U.S. 380, the minimum front yard is fifty (50) feet and shall include a thirty (30) foot landscape buffer.
- b. No parking or drive aisles may occur in the landscape buffer.
- c. A maximum of two rows of parking in the front of the building.
- d. Minimum building height shall be two (2) stories. If the building contains a use(s) as described in Section E, Permitted Uses, the building height can be a one (1) story building with a minimum of twenty (20) feet in height.

2. F.M. 1461 Gateway

- a. On the Dallas North Tollway and F.M. 1461, the minimum front yard is fifty (50) feet and shall include a thirty (30) foot landscape buffer.
- b. No parking or drive aisles may occur in the landscape buffer.
- c. A maximum of two rows of parking in the front of the building.
- e. Minimum building height shall be two (2) stories. If the building contains a use(s) as described in Section E, Permitted Uses, the building height can be a one (1) story building with a minimum of twenty (20 ft in height).

3. Neighborhood Services and Retail sub-district

- a. On the Dallas North Tollway, the minimum front yard setback shall be thirty (30) feet. Landscape buffer requirements shall be in accordance with Section M-Landscaping of these guidelines.
- b. No parking or drive aisles may occur in the landscape buffer.
- c. A maximum of one row of parking in the front of the building.
- d. Minimum building height shall be one (1) story.
- e. The Neighborhood Services and Retail subdistrict is adjacent to existing residential neighborhoods. For context sensitivity in development, the maximum building heights shall be as follows:

- i. On the east side of the sub-district (east side of the Tollway), the maximum building height shall be two (2) stories from the southerly boundary of PD 69 in the north down to Prosper Trail in the south. From Prosper Trail to W. First Street, the maximum building height shall be three (3) stories.
- ii. On the west side of the sub-district (west side of the Tollway from Prosper Trail to W. First Street), the maximum building height shall be two (2) stories.

E. Permitted Business Establishments

The following business establishments shall be permitted in the Dallas North Tollway District. Businesses followed by an “S” are only permitted upon approval of a Specific Use Permit. Businesses followed by a “C” are permitted subject to the Conditional Development Standards as outlined in Section 1.4 of Section 1 of Chapter 3 of the Zoning Ordinance. Certain businesses permitted subject to the Conditional Development Standards may also require approval of a Specific Use Permit.

Schedule of Permitted Business Establishments for the Dallas North Tollway District
Administrative, Medical, Insurance or Professional Office
Automobile Paid Parking Lot/Garage
Automobile Parking Lot/Garage
Bank, Savings and Loan, or Credit Union
Beauty Salon/Barber Shop as an Incidental Use
Big Box (S)
Building Material and Hardware Sales, Major (S)
Business Service
Catering Business
Child Care Center, Incidental (Care of Children of Employees in the Building)
Civic/Convention Center
College, University, Trade, or Private Boarding School
Commercial Amusement, Indoor (S)
Farm, Ranch, Stable, Garden, or Orchard
Food Truck Park (C)
Furniture, Home Furnishings and Appliance Store
Governmental Office
Gymnastics/Dance Studio (S)
Health/Fitness Center (S)
Helistop (S)
Hospital
Hotel, Full Service (C)
Hotel, Limited Service (C)
Hotel, Residence/Extended Stay (C)
House of Worship
Massage Therapy, Licensed as an Incidental Use

Meeting/Banquet/Reception Facility (S)
Mobile Food Vendor (S)
Multifamily (S)
Municipal Uses Operated by the Town of Prosper
Museum/Art Gallery
Outdoor Merchandise Display, Temporary
Park or Playground
Print Shop, Minor
Private Club (C)
Private Utility, Other Than Listed
Research and Development Center (S)
Restaurant without Drive-thru or Drive-in Service (C)
Restaurant with Drive-thru Service (S)
Retail Stores and Shops
Retail/Service Incidental Use
School, Private or Parochial
School, Public
Telephone Exchange
Temporary Buildings for Churches, Public Schools and Governmental Agencies (S)
Theater, Neighborhood
Theater, Regional
Winery (<i>enclosed operations</i>)
Wireless Communications and Support Structures (Cell Tower) (S)

Grocery Stores with Gas Pumps

Through a Planned Development process, the Town Council may permit a big box grocery store with gas pumps. If permitted, gas pumps shall be located behind or on the side of the main building. If the pumps are located on the side of the main building, the main building shall be located closer to the build-to-line than the pumps. There shall also be a minimum of a 15 feet landscape buffer to screen the pumps from the street edge.

Multi-family Developments

The Town Council may permit increased density for a development that includes a multi-family development, *in addition to* businesses and/or amenities described in Section F. “Business Establishments Pursuant to the Town’s Vision below.

F. Business Establishments Pursuant to the Town’s Vision

The Town Council envisions the Dallas North Tollway to be a place for not only employment centers, but also for families. It is the desire to create an environment with amenities that will allow families to visit and enjoy. The following business establishments, as also included in the table of permitted businesses above, are strongly encouraged.

- Museum/Art gallery

- Theatre
- Commercial amusement-Indoor
- Civic/Convention Center
- Hotel-Full Service
- Restaurants -Dine In with or without outdoor patio
- Developments are also strongly encouraged to include public open space, public gathering places and public art, where feasible.

G. Discouraged Business Establishments

The following businesses are discouraged in the Dallas North Tollway District as they are not consistent with the Town’s vision and goals for the corridor.

Discouraged Establishments for the Dallas North Tollway District
Antique Shop and Used Furniture
Artisan’s Workshop
Assisted Living Facility
Athletic Stadium or Field, Private
Athletic Stadium or Field, Public
Auto Parts Sales, Inside
Automobile Repair, Major (Paint & Body or Outdoor Storage)
Automobile Repair, Minor
Automobile Sales, Used
Automobile Sales/Leasing, New
Automobile Storage
Bed and Breakfast Inn
Body Art Facilities
business for drug paraphernalia sales;
Building Material and Hardware Sales, Minor
Cabinet/Upholstery Shop
Car Wash
Car Wash, Self-Serve
Cemetery or Mausoleum
Child Care Center, Licensed
Commercial Amusement, Outdoor
Community Center
Contractor’s Shop and/or Storage Yard
Convenience Store with Gas Pumps (located at two major thoroughfares)
Convenience Store without Gas Pumps
Credit access businesses**
Day Care Center, Adult
Donation or Recycling Bin
Dry Cleaning, Major

Equipment and Machinery Sales and Rental, Major
Equipment and Machinery Sales and Rental, Minor
Fairgrounds/Exhibition Area
Farmer's Market
Feed Store
Flea Market, Inside
Fraternal Organization, Lodge, Civic Club, Fraternity, or Sorority
Funeral Home (On-site Cremation Requires SUP)
Furniture Restoration
Gaming-oriented businesses (including slot machines)
General Manufacturing/Industrial Use Complying with Performance Standards
Golf Course and/or Country Club
Homebuilder Marketing Center
Indoor Gun Range
Laundromat
Limited Assembly and Manufacturing Use Complying with Performance Standards
Locksmith/Security System Company
Machine Shop
Mini-Warehouse/Public Storage
Motorcycle Sales/Service
Nursery, Major (outside display)
Nursery, Minor (no outside display)
Office and Storage Area for Public/Private Utility
Office/Showroom
Office/Warehouse/Distribution Center
Open Storage
Outside Storage, Primary Use
Outside Storage, Incidental
Package Liquor Stores **
Pawn Shops
Pet Day Care
Print Shop, Major
Private Recreation Center
Recreational Vehicle Sales and Service, New/Used
Recreational Vehicle/Truck Parking Lot or Garage
Recycling Center
Recycling Collection Point
Rehabilitation Care Institution
Repair Service, Indoor
Restaurant, Drive In
School District Bus Yard
Sewage Treatment Plant/Pumping Station
Sexually-oriented Businesses ***
Small Engine Repair Shop
Smoke/Vape Shops

Storage or Wholesale Warehouse
Taxidermist
Temporary Buildings for Private Enterprises
Trailer Rental
Transit Center
Truck Sales, Heavy Trucks
Veterinarian Clinic and/or Kennel, Indoor
Veterinarian Clinic and/or Kennel, Outdoor

*Credit access businesses, as defined in Texas Finance Code § 393.601, as amended, including but not limited to payday lending businesses, “cash for title” lenders, and credit services businesses, as defined in Texas Finance Code § 393.001, as amended.

**Package liquor stores, defined as any business entity that is required to obtain a Package Store Permit from the Texas Alcoholic Beverage Commission for the off-premise consumption of alcohol.

***Sexual-oriented businesses, including but not limited to business entities whose primary purpose is the sale of lewd merchandise.

H. The Gateways

The gateways are the entrances to the subject area that set the tone for the entire corridor. Gateways provide a unique sense of identity, transition, and anticipation. They act as a transition from one space to another and they identify the uniqueness that sets that space apart from another. Gateway properties are prime locations for creating an image that leads visitors to form a positive attitude toward a community even before they enter the main street of an area.

1. *The gateways should be clearly identifiable to vehicular and pedestrian travelers.*

- a. Monument signage shall be used at major intersections to mark the arrival of specific areas or to identify marquee development projects.
- b. Entrances to marquee developments shall incorporate a generous amount of landscaping that is diverse and colorful that provides texture and interest to the area.
- c. Street banner signs and wayfinding signage are also great ways to give a unique identity to a location. It is important that there is uniformity in terms of sign and banner materials, print/logos, and color. Signs should also complement and add to the positive experience for an area.

2. *Include Public Art in Gateway Areas to promote vitality and provide a unique sense of identity.*

Art can be an expression of a collective community identity. It can celebrate what is unique about a community and honor the past and present heritage. Art can include references to the Town’s geography, history, landmarks, ethnic and cultural diversity which can increase a sense of belonging when people can associate themselves with a place.

- a. Art should be integrated into the community fabric of the Tollway and should be used to mark significant intersections of the Tollway.

- b. Developers should incorporate artist into the design team from the inception of planning in order to integrate works of art into their projects.
- c. Stand alone public art can also be used and does not necessarily have to be tied to a project. Local artists should be used whenever possible.

I. Site Design and Building Placement

It is important that site design for development plans foster the creation of high-quality architectural forms, scale and pedestrian amenities. With the Tollway being one of the most heavily traveled roadways through the Town, the site design needs to create an aesthetically pleasing appearance on the Tollway for visitors and travelers.

- 1. The site design shall designate major entryways into a development with an entry feature that includes assets such as landscaping, an entry monument, a sculpture or a fountain(s).
- 2. The building's primary façade shall face the public road from which addressing is provided. Where the building's primary façade is unable to be oriented parallel to the road from which it is addressed due to site constraints or other factors, each façade which is clearly visible from a public right-of-way or public area shall be designed with architectural treatments used for primary façades.
- 3. Buildings shall have entrances oriented to the sidewalk for ease of pedestrian access and shall be located in such a manner as to minimize conflicts between pedestrians and automobiles.
- 4. Corner lots: At key intersections, buildings located on corner lots should utilize variations in building massing to emphasize street intersections as points of interest in the district.
- 5. Driveways, curb cuts, parking and internal roadway/traffic circulation shall be designed to provide cross access so that uninterrupted vehicular access from parcel to parcel is achieved.
- 6. For streets with on-street parking, a build-to-line shall be required. A “build-to-line” is a line parallel to a public or private street where the primary façade of a building must be built to.
 - a. Buildings with non-residential uses on the first floor shall be established at the minimum front yard setback. The primary façade shall be continuous along block face and at least 70% shall be located adjacent to the build-to-line.
- 7. All lighting standards shall be in accordance with the Town of Prosper Zoning Ordinance, Chapter 3, Section 6, entitled, “Outdoor Lighting.”

Parking Design Standards

The intent of this section is to design parking lots that provide access to commercial and office developments, while minimizing the potential negative impact associated with expansive vistas of unbroken concrete pavement along the Tollway. All requirements in accordance with Chapter 4, Section 4 entitled, “Parking, Circulation and Access,” in the Town of Prosper Zoning Ordinance shall be followed.

1. The majority of off-street parking for new developments within the Tollway district shall be provided on the side or rear of the primary building.
2. Parking maximums between the building and the street are in accordance with the requirements of the subdistrict requirements in Section D, above.
3. Shared parking agreements for adjacent properties are acceptable where they include a business pursuant to the Town's vision as identified above in Section F and there is a written agreement between the property owners that clearly stipulates the terms of the joint use of the parking spaces and that such spaces are committed and available to the respective users on a non-conflicting basis.
4. Up to thirty (30) percent of the parking spaces required may be waived for a theatre or other place of evening dining and entertainment (after 6:00pm), and if used jointly by banks, offices and similar uses not normally open or operated during the evening hours.
5. Parking garages shall be located behind or to the side of the primary building. If a parking garage fronts on a public street, it shall have an architecturally finished façade facing the street(s), complementary to the surrounding buildings. Street front openings in parking structures should not exceed 55 percent of the façade area. This percentage excludes the top floor if the garage is unroofed. Where possible, the narrower façade of the parking garage should be oriented to the street in order to minimize the visual impact of the structure on the public right-of-way and pedestrian paths.

J. Residential Neighborhoods

Buffering existing neighborhoods through compatibility standards serves to integrate the existing neighborhoods into the community fabric and respects their essential value.

1. Commercial developments shall be planned to minimize increased use of adjacent neighborhood streets. Vehicular access to new development and parking requirements shall minimize the impact on neighborhood traffic flow and avoid major disturbances to the neighborhood character. Projects with frontage on a neighborhood street should limit public access from that street and limit business associated parking on that street to avoid significantly altering the residential character.
2. Buildings located within 150 feet of single-family zoned properties shall not exceed two (2) stories, and no greater than 40 feet in height.
3. Buildings which exceed two (2) stories or 40 feet, shall have an additional setback from single family zoned properties at the rate of one foot of setback, beyond the aforementioned 150 feet, for each additional foot of building exceeding two (2) stories and 40 feet.

4. When a new project is proposed, it is vital that communications occur with existing neighborhoods in proximity to the project site. This should be strongly encouraged.
5. Existing residential neighborhoods shall be buffered from the new Tollway development by open space and/or a linear network of greenways. Pedestrian and bicycle pathways can also be integrated to transform the buffer area into a passive recreational amenity while providing a low-intensity transitional use adjacent to the non-residential Tollway development. The Town of Prosper Bike and Trail Master Plan should be referenced in making decisions regarding locations of greenways, pedestrian and bicycle pathways.

K. Building Design

All building architecture and design shall be in accordance with the standards as identified in the Town of Prosper Zoning Ordinance Chapter 3, Section 8, entitled, "Non-Residential Design and Development."

1. Building the Pedestrian Realm

It is important that the materials and construction of streetscapes and buildings at the lower floors provide a level of detail and quality which creates a pedestrian-friendly environment that is warm and inviting.

- a. Ground floor facades facing the Dallas North Tollway and any intersecting thoroughfare must incorporate articulated entry areas, arcades, display windows, awnings, or other architectural variety features along no less than sixty percent (60%) of the facade. The entrance or entrances on all buildings shall be defined with strong architectural features.
- b. Storefronts on facade treatments that span multiple tenants shall use architecturally compatible materials, colors, details, awnings signage, and lighting fixtures. Retail ground floors shall have windows covering a minimum of 60% of the major street fronting facade(s). Other ground level uses shall have facade treatments appropriate to such uses(s).

2. Building Entrances

The design and location of building entrances in the Tollway District are important to help define the pedestrian environment and create retail-friendly environments.

1. Entrances should be easily identifiable as primary points of access to buildings. Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others, as appropriate. All building elements for entryways shall be compatible with the architectural style, materials, colors, and details of the building as a whole.

L. Service Equipment Areas

1. Loading docks, truck parking, trash collection, dumpsters, and other service functions shall be incorporated into the overall design of the building or placed behind or on the side of a building

and screened to not be seen from the rights-of-way. On corner lots, these areas shall be located behind the buildings.

2. Roofs shall be designed and constructed in such a way that they acknowledge their visibility from other buildings and from the street. Rooftop mechanical equipment shall be adequately screened with durable material that is architecturally compatible with the building design.
3. All other requirements as identified in the Zoning Ordinance in Chapter 4, Section 5, entitled, "Screening, Fences and Walls," shall be followed.

M. Landscaping Standards

In addition to the requirements as described below, all other requirements as identified in the Town of Prosper Zoning Ordinance, Chapter 4, Section 2, entitled, "Landscaping," shall be adhered to.

1. A landscaped area consisting of living trees, turf, or other living ground cover and being at least thirty (30) feet in width measured from the property line interior to the property shall be provided adjacent to and outside of the right-of-way on all properties adjacent to the Dallas North Tollway, F.M. 1461, and US Hwy 380.
 - a. One (1) large tree, four (4) inch caliper minimum (at the time of planting) per twenty-five (25) feet of linear roadway frontage shall be planted within the required landscaped area.
 - b. The trees may be planted in groups with appropriate spacing for species.
 - c. Shrub plantings shall be provided at a minimum rate of 22 shrub plantings per thirty (30) linear feet which shall be a minimum of five (5) gallon shrubs (at the time of planting).
 - d. Parking abutting the landscaped area will be screened from the adjacent roadway. The required screening may be with shrubs or earthen berms.
 - e. During the review of development proposals, the Town Council may also require additional landscaping features such as berms or hardscape elements for enhanced beautification of the Tollway District.
2. A landscaped area consisting of living trees, turf, or other living ground cover and being at least twenty-five (25) feet in width measured from the property line interior to the property shall be provided adjacent to and outside of the right-of-way on all properties adjacent to a minor thoroughfare as defined by the Town of Prosper Thoroughfare and Circulation Design Standards.
 - a. One (1) large tree, four (4) inch caliper minimum (at the time of planting) per thirty (30) feet of linear roadway frontage shall be planted within the required landscaped area.
 - b. The trees may be planted in groups with appropriate spacing for species.
 - c. Shrub plantings shall be provided at a minimum rate of 20 ten (10) gallon shrubs per thirty (30) linear feet.
 - d. Parking abutting the landscaped area will be screened from the adjacent roadway. The required screening may be with shrubs or earthen berms.
 - e. During the review of development proposals, the Town Council may also require additional landscaping features such as berms or hardscape elements for enhanced beautification of the Tollway District.

3. Additional Requirements: For big box retail and grocery stores, one (1) tree planted for each one-hundred (100) linear feet. The trees shall be a minimum of 4" caliper and may be placed in planters.

N. Pedestrian Connectivity and Amenities

1. A minimum six (6) foot wide, paved pedestrian sidewalk shall connect the perimeter sidewalk to the building entry, if the building is set back from the perimeter sidewalk. This connecting sidewalk shall be handicapped accessible.
2. Sidewalks must be a minimum width of ten (10) feet wide adjacent to any four-lane or six-lane roadway. All other roadway adjacencies must have sidewalks of least 6 ft.
3. Large sites should create a pedestrian pathway system that links all buildings, parking areas and open spaces utilizing the pedestrian pathways that will connect to any nearby public sidewalks.
 - a. Linkages between the uses and the parking areas will also encourage activity at the pedestrian level and provide safety for the pedestrians. Pedestrian crosswalks shall be clearly marked and provided at all key street intersections.
4. Pedestrian pathways shall also be designed for the pedestrian's comfort. Shade trees shall be provided along pedestrian pathways to provide a comfortable walk, which will encourage people to use sidewalks and pathways.
5. Overhead covers shall extend from the sides of buildings that have adjacent sidewalks, offering adequate protection from the sun and rain.
 - a. Overhead protection should be located a minimum of 9 to 14 feet and projections may take the form of retractable or non-retractable awnings, or fixed non-fabric projected covers.
6. Streetscape amenities such as benches, trash receptacles, planters, bike racks and pedestrian-scale lighting support the public domain and will promote the use and vitality of pedestrian and bicycle pathways. The use of the amenities shall be encouraged, where applicable.
7. Amenities shall be placed in such locations as to not block pedestrian or emergency access.
8. A continuous pedestrian/bicycle route shall be constructed throughout the Tollway District. Locations of bike and trail connections as identified in the Town's Hike and Bike Trail Master Plan shall be considered in making development decisions.
9. This section supplements and does not replace any existing town requirement for sidewalk construction. All town ordinances and engineering requirements shall be adhered to.

O. Public Parks and Open Spaces

Publicly accessible parks and open space organize and reinforce neighborhood structure. They offer a wide variety of passive and active recreational experiences ranging in size and type, but together, they create an integrated system enhancing livability, natural appearance, and ecological values while providing gathering places and interaction opportunities for the community.

1. Public parks and open spaces shall be visible and easily accessible from public areas such as building entrances and adjacent streets and sidewalks.
2. Within these parks, ample seating shall be provided, including walls, ledges, and other raised surfaces which can serve a similar purpose.
3. Active uses such as retail, cafes, restaurants, higher density residential and office uses which provide pedestrian traffic should be considered as appropriate uses to line parks and open spaces.
4. Development plans shall take the goals and objectives of the Town's Bike and Trail Master Plan into consideration when planning for new parks and open space amenities.

P. Signage

1. A comprehensive sign package shall be developed for each project and shall be approved by the Planning & Zoning Commission and Town Council.
2. The immediate area around a monument sign shall be landscaped with plantings of an appropriate height not to block or obscure the sign.
3. Signage shall enhance the pedestrian character of the districts by providing signs that are pedestrian in scale and located so as to be legible from the sidewalks.
4. Businesses are encouraged to create individually styled signage that distinguishes their establishment. However, multi-tenant developments shall have signage that is uniform in style, type, material and lighting.
5. Directory signs may be provided to help direct the public to different businesses and services in the Gateway sub-districts. These may be provided at prominent locations in the sub-districts.
6. Signs may be lit by external light sources as long as such sources are not visually intrusive as determined with the project's comprehensive sign package.

EXHIBIT 1

Town of Prosper Future Land Use Plan Map

Dallas North Tollway District

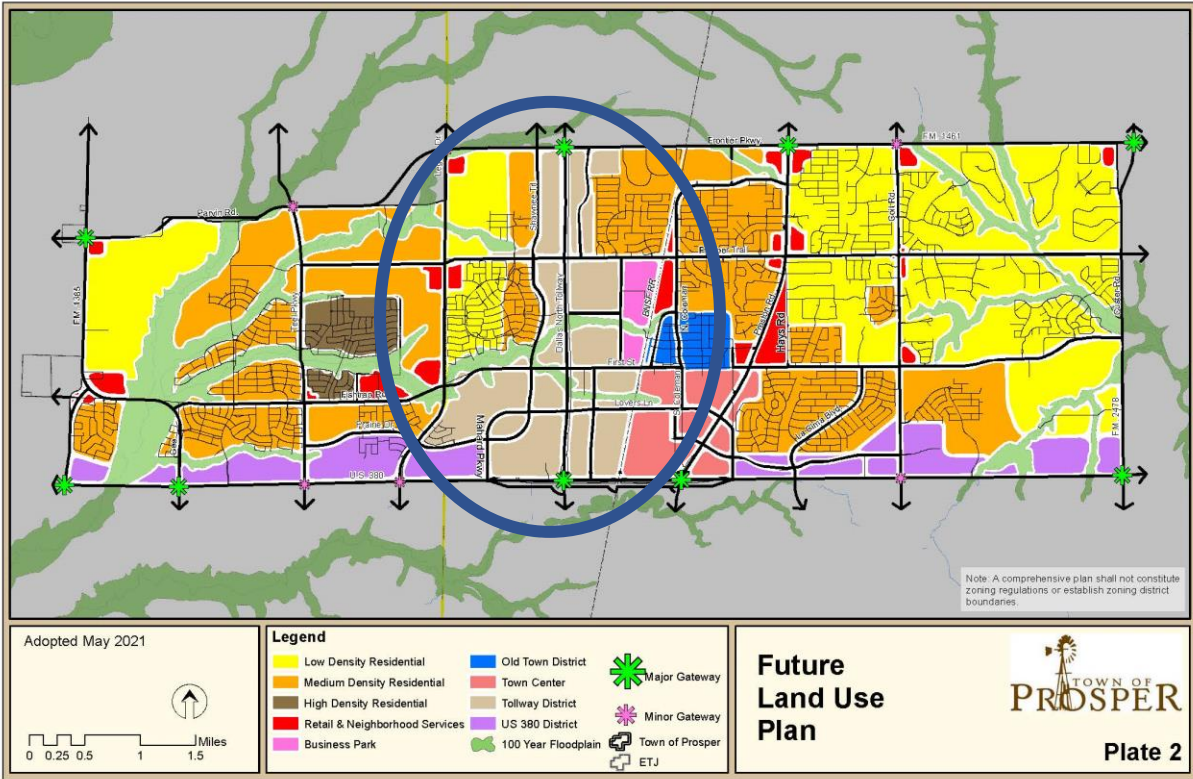
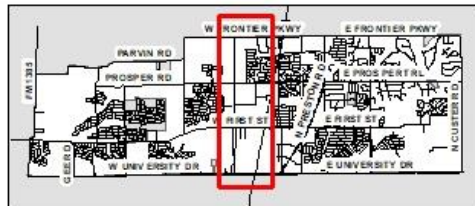
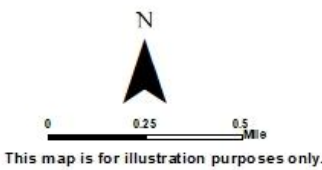
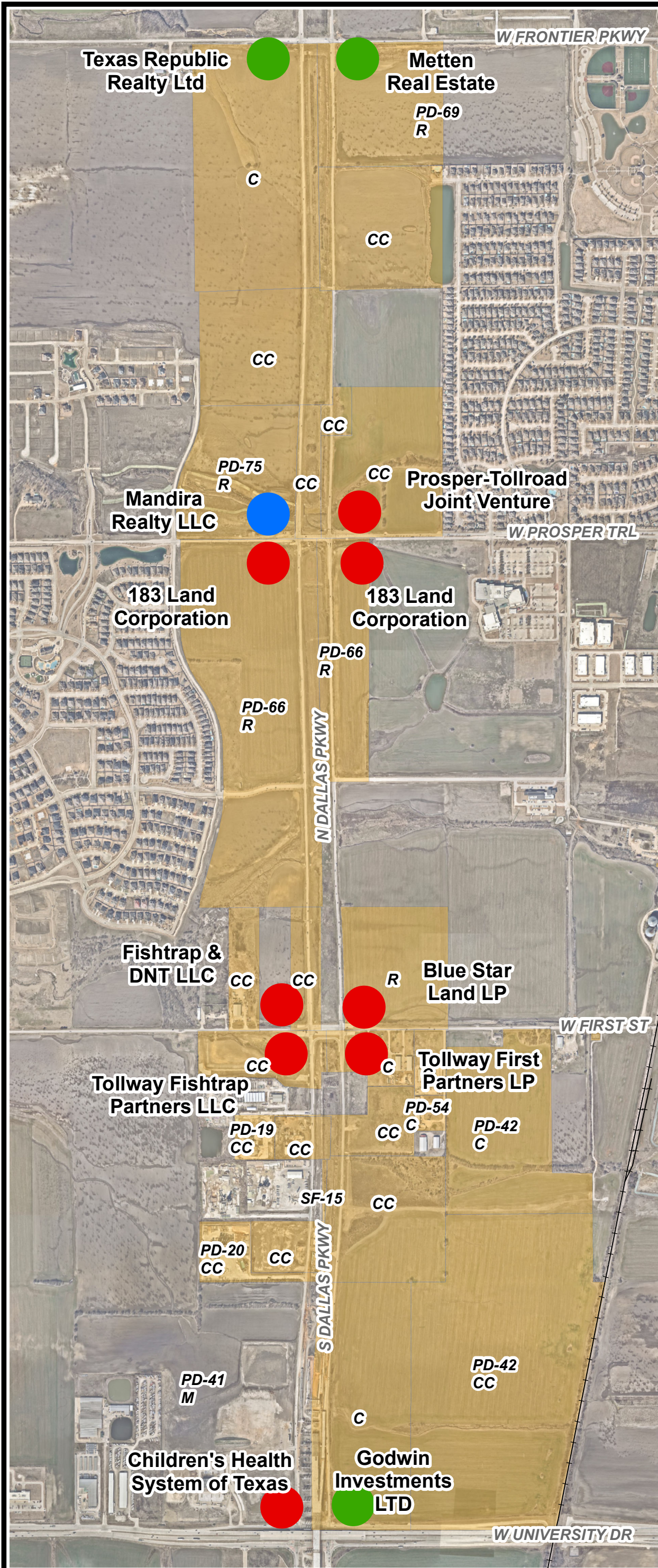


EXHIBIT 2

Future Land Use Plan Tollway District Designation



Convenience Store With Gas Pumps & Zoning Districts that Permit Alcoholic Beverage Sales

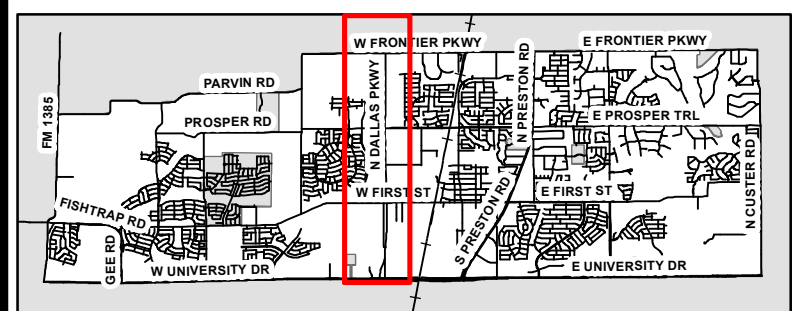
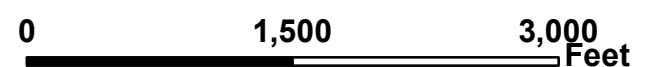


Legend

- Convenience Store Prohibited
- Convenience Store Permitted by SUP
- Convenience Store Permitted with Conditional Development Standards
- Zoning Districts That Permit Alcoholic Beverage Sales



Conditions for Approval Include:

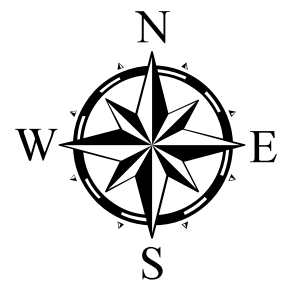
1. Permitted within designated districts only within two hundred feet (200') of the right-of-way lines of intersecting major thoroughfares;
2. Gas Pumps are permitted at a maximum of two (2) corners at an intersection of two (2) major thoroughfares;
3. All buildings, gasoline pump islands, vacuums, outdoor speakers, gasoline or fuel storage tanks, air and water dispensers, and other structures in conjunction with any automotive use shall be located a minimum of two hundred (200') feet from any residential Zoning District.



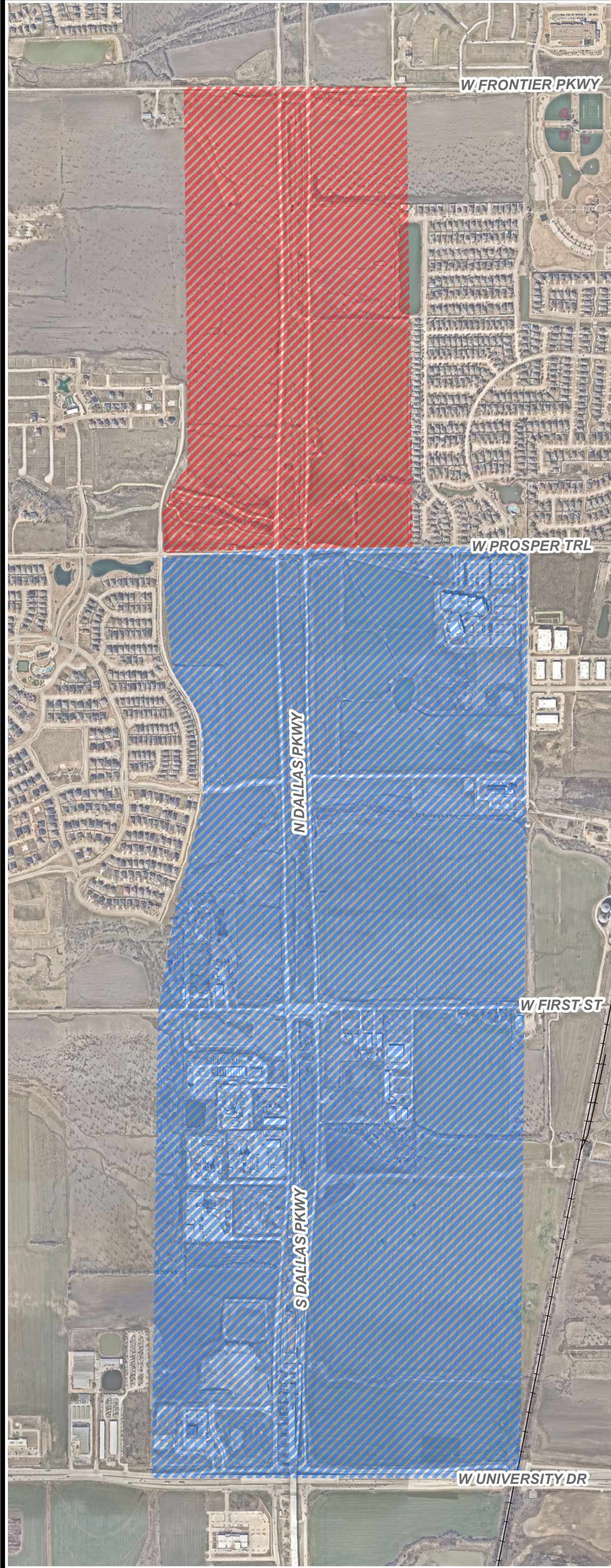
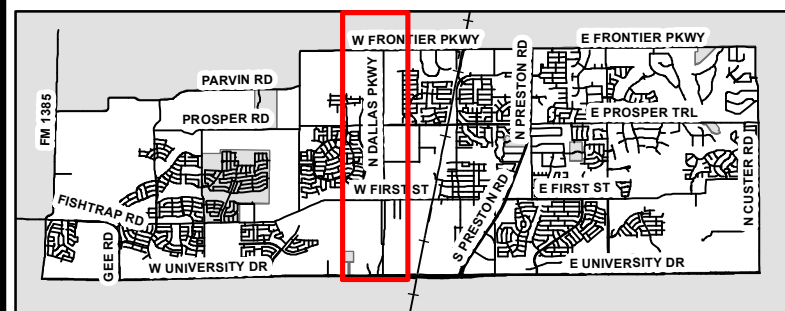
**Dallas North Tollway
Water
&
Sanitary Sewer
Availability**

Legend

-  Sewer Unavailable
-  Water & Sewer Access Available



0 1,500 3,000 Feet





Prosper is a place where everyone matters.

RESULTS

Agenda

Prosper Town Council Meeting
Council Chambers
Prosper Town Hall
250 W. First Street, Prosper, Texas
Tuesday, August 10, 2021
5:45 PM

Notice Regarding Public Participation

Governor Greg Abbott has granted a temporary suspension of certain rules to allow for telephone or videoconference public meetings in an effort to reduce in-person meetings that assemble large groups of people, due to the COVID-19 public health emergency.

Individuals may attend the Prosper Town Council meeting in person, or access the meeting via videoconference, or telephone conference call.

Join the Zoom Meeting by clicking on the following link:

<https://us02web.zoom.us/j/87189889684>

Enter Meeting ID: 87189889684

To request to speak, click on “Participants” at the bottom of the screen, and click “Raise Hand.” The meeting moderator will acknowledge your request and allow you to speak.

To join the meeting by phone, dial (346) 248-7799

Enter Meeting ID: 87189889684

To request to speak, enter *9, and *6 to mute/unmute yourself. The meeting moderator will acknowledge your request and allow you to speak.

If you encounter any problems joining or participating in the meeting, please call our help line at 972-569-1191 for assistance.

Call to Order/ Roll Call.

Invocation, Pledge of Allegiance and Pledge to the Texas Flag.

Announcements of recent and upcoming events.

CONSENT AGENDA: APPROVED 7-0

Items placed on the Consent Agenda are considered routine in nature and non-controversial. The Consent Agenda can be acted upon in one motion. Items may be removed from the Consent Agenda by the request of Council Members or staff.

1. Consider and act upon the minutes from the July 27, 2021 Town Council Meeting. (RB)
2. Consider and act upon an ordinance establishing the 2021 certified appraisal roll. (BP)

3. Consider and act upon scheduling a Public Hearing on the FY 2021-2022 Proposed Budget. (BP)
4. Consider and act upon scheduling a Public Hearing for the FY 2021-2022 proposed tax rate. (BP)
5. Consider accepting submission of the 2021 no-new-revenue tax rate of \$0.481842 per \$100 taxable value and the voter-approval tax rate of \$0.539436 per \$100 taxable value. (BP)
6. Receive the June financial report. (BP)
7. Receive the Quarterly Investment Report. (BP)
8. Consider and act upon a resolution approving a negotiated settlement between the Atmos Cities Steering Committee (“ACSC”) and Atmos Energy Corp., Mid-Tex Division regarding the company’s 2021 rate review mechanism filing. (BP)
9. Consider and act upon a resolution authorizing the placement of orders for the purchase of replacement vehicles in FY 2021-2022 to realize current incentives related to said purchase with payment to be made from the Town’s Vehicle Equipment and Replacement Fund (VERF) in FY 2021-2022. (BP)
10. Consider and act upon ratifying an emergency purchase expenditure to Prime Controls, Inc. related to the Town’s Supervisory Control and Data Acquisition (SCADA) System. (FJ)
11. Consider and act upon an ordinance renaming a segment of a Prosper Road to Prosper Trail, located between Teel Parkway and Legacy Drive. (MD21-0004) (AG)
12. Consider and act upon whether to direct staff to submit a written notice of appeal on behalf of the Town Council to the Development Services Department, pursuant to Chapter 4, Section 1.5(C)(7) and 1.6(B)(7) of the Town’s Zoning Ordinance, regarding action taken by the Planning & Zoning Commission on any Site Plan or Preliminary Site Plan, including Gates of Prosper Multifamily, Prosper Business Park, and Rheas Mill Baptist Church. (AG)

CITIZEN COMMENTS

The public is invited to address the Council on any topic. However, the Council is unable to discuss or take action on any topic not listed on this agenda. Please complete a “Public Meeting Appearance Card” and present it to the Town Secretary prior to the meeting, or request to address the Council via videoconference or telephone.

REGULAR AGENDA:

If you wish to address the Council, please fill out a “Public Meeting Appearance Card” and present it to the Town Secretary, preferably before the meeting begins, or request to address the Council via videoconference or telephone. Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Council for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may either address the Council during the Citizen Comments portion of the meeting or when the item is considered by the Town Council.

Items for Individual Consideration:

13. Conduct a Public Hearing, and consider and act upon a request to amend a portion of Planned Development-40 (PD-40), on 16.9± acres, Windsong Ranch Marketplace, located on the north side of US 380, east of Gee Road, in order to facilitate the development of two (2) drive-through restaurants. (Z21-0007). (AG) **APPROVED 6-1**
14. Conduct a Public Hearing, and consider and act upon a request to rezone 163.2± acres, from Planned Development-90 (PD-90) to Planned Development (PD), to facilitate the development of a single family residential subdivision with private social club, located on the north side of First Street, east of Coit Road. (Z20-0021). (AG) **TABLED TO 8-24 MEETING**
15. Consider all matters incident and related to the issuance and sale of the Town of Prosper, Texas Combination Tax and Surplus Revenue Certificates of Obligation, Series 2021, including the adoption of an ordinance appointing a representative of the Town and delegating to the representative certain matters with respect to the sale of the Certificates; establishing parameters for the approval of such delegated matters; approving the use of a Paying Agent/Registrar Agreement and an engagement letter of Bond Counsel; ordering the levy of an annual ad valorem tax and the pledge of utility revenues for the payment of the Certificates; and enacting other provisions relating to the issuance and sale of Certificates. (BP)
16. Consider all matters incident and related to the issuance and sale of the Town of Prosper, Texas General Obligation Bonds, Series 2021, including the adoption of an ordinance appointing a representative of the Town and delegating to the representative certain matters with respect to the sale of the Bonds; establishing parameters for the approval of such delegated matters; approving the use of a Paying Agent/Registrar Agreement; ordering the levy of an annual ad valorem tax for the payment of the Bonds; and enacting other provisions relating to the issuance and sale of the Bonds. (BP)
17. Submission of the FY 2021-2022 Proposed Budget and Budget Message by the Town Manager.(BP)
18. Consider and act upon a proposed FY 2021-2022 property tax rate. (BP)
19. Central Fire Station & Fire Administration 100% Design Development Project Update. (SB)

Possibly direct Town staff to schedule topic(s) for discussion at a future meeting.

20. Update on Town Hall Honor Walls. (DR)

EXECUTIVE SESSION:

Recess into Closed Session in compliance with Section 551.001 et seq. Texas Government Code, as authorized by the Texas Open Meetings Act, to deliberate regarding:

Section 551.087 – To discuss and consider economic development incentives.

Section 551.072 – To discuss and consider purchase, exchange, lease or value of real property for municipal purposes and all matters incident and related thereto.

Section 551.074 – To discuss and consider personnel matters and all matters incident and related thereto.

Section 551.071 – Consultation with Town Attorney regarding Town of Prosper v. C.W. Young Construction Co., L.P., et al., Cause No. 17-7725-367, pending in the 431st Judicial District Court of Denton County, Texas.

Reconvene in Regular Session and take any action necessary as a result of the Closed Session.

Adjourn.

CERTIFICATION

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted at Prosper Town Hall, located at 250 W. First Street, Prosper, Texas 75078, a place convenient and readily accessible to the general public at all times, and said Notice was posted by 5:00 p.m., on Friday, August 6, 2021, and remained so posted at least 72 hours before said meeting was convened.

Khara Sherrill, Senior Administrative Assistant

Date Notice Removed

Pursuant to Section 551.071 of the Texas Government Code, the Town Council reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

NOTICE

Pursuant to Town of Prosper Ordinance No. 13-63, all speakers other than Town of Prosper staff are limited to three (3) minutes per person, per item, which may be extended for an additional two (2) minutes with approval of a majority vote of the Town Council.

NOTICE OF ASSISTANCE AT PUBLIC MEETINGS: The Prosper Town Council meetings are wheelchair accessible. For special services or assistance, please contact the Town Secretary's Office at (972) 569-1011 at least 48 hours prior to the meeting time.