

AGENDA
Regular Meeting of the
Prosper Planning & Zoning Commission
Prosper Town Hall
Council Chambers
250 W. First Street, Prosper, Texas
Tuesday, February 15, 2022, 6:00 p.m.

Notice Regarding Public Participation

Welcome to the Planning & Zoning Commission meeting. Individuals may attend the meeting in person, or access the meeting via videoconference, or telephone conference call.

To access the videoconference online, follow these instructions:

Join the Zoom Meeting by clicking on the following link: <https://us02web.zoom.us/j/86944373392>

Enter Meeting ID: 869 4437 3392

To request to speak, click on "Participants" at the bottom of the screen, and click "Raise Hand." The meeting moderator will acknowledge your request and allow you to speak.

To join the meeting by phone, dial any one of the following numbers: +1 346 248 7799

Enter Meeting ID: 869 4437 3392

To request to speak, enter *9. The meeting moderator will acknowledge your request and allow you to speak.

Addressing the Planning & Zoning Commission:

- Those wishing to address the Commission must complete the [Public Comment Request Form](#) located on the Town website or in Council Chambers.
- **If you are attending in person**, please submit this form to the Chair or a staff member prior to the meeting. When called upon, please come to the podium and state your name and address for the record.
- **If you are attending online/virtually**, please submit this form prior to 5:00 p.m. on the day of the meeting. Please ensure your full name appears on the screen and you are unmuted so the meeting moderator can recognize you and allow you to speak. The Chat feature is not monitored during the meeting. The Town assumes no responsibility for technical issues that are beyond our control.

If you encounter any problems joining or participating in the meeting, please call our help line at 972-569-1191 for assistance.

Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may address the Commission when the item is considered by the Planning & Zoning Commission.

1. Call to Order / Roll Call
2. Pledge of Allegiance

3. CONSENT AGENDA

(Items placed on the Consent Agenda are considered routine in nature and are considered non-controversial. The Consent Agenda can be acted upon in one motion. A Planning & Zoning Commissioner may remove any item for discussion and separate action. Planning & Zoning Commissioners may vote nay on any single item without comment and may submit written comments as part of the official record.)

- 3a.** Consider and act upon minutes from the February 1, 2022, Planning & Zoning Commission Regular meeting.
- 3b.** Consider and act upon a Final Plat for Star Trail, Phase 11, for 122 single family residential lots, and three (3) HOA/open space lots, on 36.2± acres, located west of Legacy Drive, south of Prosper Trail. The property is zoned Planned Development-66 (PD-66). (D21-0069).
- 3c.** Consider and act upon a Revised Preliminary Site Plan for Restaurant with Drive-Through Service in the Shops at Prosper Trail, on 1.1± acres, located on the east side of Preston Road, north of Prosper Trail. The property is zoned Planned Development-68 (PD-68). (D21-0126).
- 3d.** Consider and act upon a Site Plan for Prosper Center Office, on 5.6± acres, located on the northwest corner of Mahard Parkway and Prairie Drive. The property is zoned Office (O). (D21-0131).
- 3e.** Consider and act upon a Revised Preliminary Site Plan for Prosper Business Park, on 27.0± acres, located on the southeast corner of Cook Lane and Industry Way. The property is zoned Planned Development-26 (PD-26). (D22-0002).
- 3f.** Consider and act upon a Preliminary Plat for Windsong Ranch, Phases 6D & 6E, for 200 single family residential lots, and eight (8) HOA/open space lots, on 69.5± acres, located on the east side of Good Hope Road, south of Parvin Road. The property is zoned Planned Development-40 (PD-40). (D22-0004).

REGULAR AGENDA

If you wish to address the Planning & Zoning Commission, please fill out a "Public Meeting Appearance Card" and present it to the Chair, preferably before the meeting begins. Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Planning & Zoning Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may address the Commission when the item is considered by the Planning & Zoning Commission.

- 4.** Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.
- 5.** Adjourn.

Note: The order in which items are heard on the agenda is subject to change.

CERTIFICATION

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted at Prosper Town Hall, located at 250 W. First Street, Prosper, Texas 75078, a place convenient and readily accessible to the general public at all times, and said Notice was posted by 5:00 p.m., on Friday, February 11, 2022, and remained so posted at least 72 hours before said meeting was convened.

Michelle Lewis Sirianni, Town Secretary

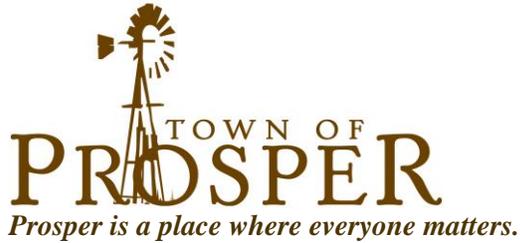
Date Notice Removed

Pursuant to Section 551.071 of the Texas Government Code, the Town Council reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

NOTICE

Pursuant to Town of Prosper Ordinance No. 13-63, all speakers other than Town of Prosper staff are limited to three (3) minutes per person, per item, which may be extended for an additional two (2) minutes with approval of a majority vote of the Town Council.

NOTICE OF ASSISTANCE AT PUBLIC MEETINGS: The Prosper Town Hall is wheelchair accessible. For special services or assistance, please contact the Town Secretary's Office at (972) 569-1011 at least 48 hours prior to the meeting time.



MINUTES
Regular Meeting of the
Prosper Planning & Zoning Commission
Prosper Town Hall
Council Chambers
250 W. First Street, Prosper, Texas
Tuesday, February 1, 2022, 6:00 p.m.

1. Call to Order/ Roll Call

The meeting was called to order at 6:01 p.m.

Commissioners present: Vice-Chair Sarah Peterson, Doug Charles, Sekou Harris, Damon Jackson, and Chris Kern.

Commissioners absent: Chair Brandon Daniel and Secretary Mike Pettis.

Staff present: Alex Glushko, Planning Manager and Evelyn Mendez, Planning Technician.

2. Recitation of the Pledge of Allegiance.

3. CONSENT AGENDA

3a. Consider and act upon minutes from the January 18, 2022, Planning & Zoning Commission Regular meeting.

3b. Consider and act upon a Final Plat for the Brookhollow Apartments Addition, on 21.8± acres, located on the north side of US 380, west of Custer Road. The property is zoned Planned Development-86 (PD-86). (D21-0104).

3c. Consider and act upon a Site Plan for a Restaurant with Drive-Through Service, in Windsong Ranch Marketplace, on 0.6± acres, located north of US 380, east of Gee Road. The property is zoned Planned Development-40 (PD-40). (D21-0128).

Motion by Charles, second by Jackson, to approve the Consent Agenda, subject to staff recommendations. Motion approved 5-0.

REGULAR AGENDA

4. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.

Glushko: Provided a summary of recent action taken by Town Council.

5. Adjourn.

Motion by Harris, second by Jackson, to adjourn. Motion approved 5-0 at 6:05 p.m.

Evelyn Mendez, Planning Technician

Michael Pettis, Secretary



PLANNING

To: Planning & Zoning Commission **Item No. 3b**
From: Evelyn Mendez, Planning Technician
Through: Alex Glushko, AICP, Planning Manager
Re: Planning & Zoning Commission Meeting – February 15, 2022

Agenda Item:

Consider and act upon a Final Plat for Star Trail, Phase 11, for 122 single family residential lots, and three (3) HOA/open space lots, on 36.2± acres, located west of Legacy Drive, south of Prosper Trail. The property is zoned Planned Development-66 (PD-66). (D21-0069).

Description of Agenda Item:

The Final Plat shows 122 single family residential lots, and three (3) HOA/open space lots. Access is provided from Cool River Trail and Starwood Drive. The Final Plat conforms to the PD-66 development standards.

Attached Documents:

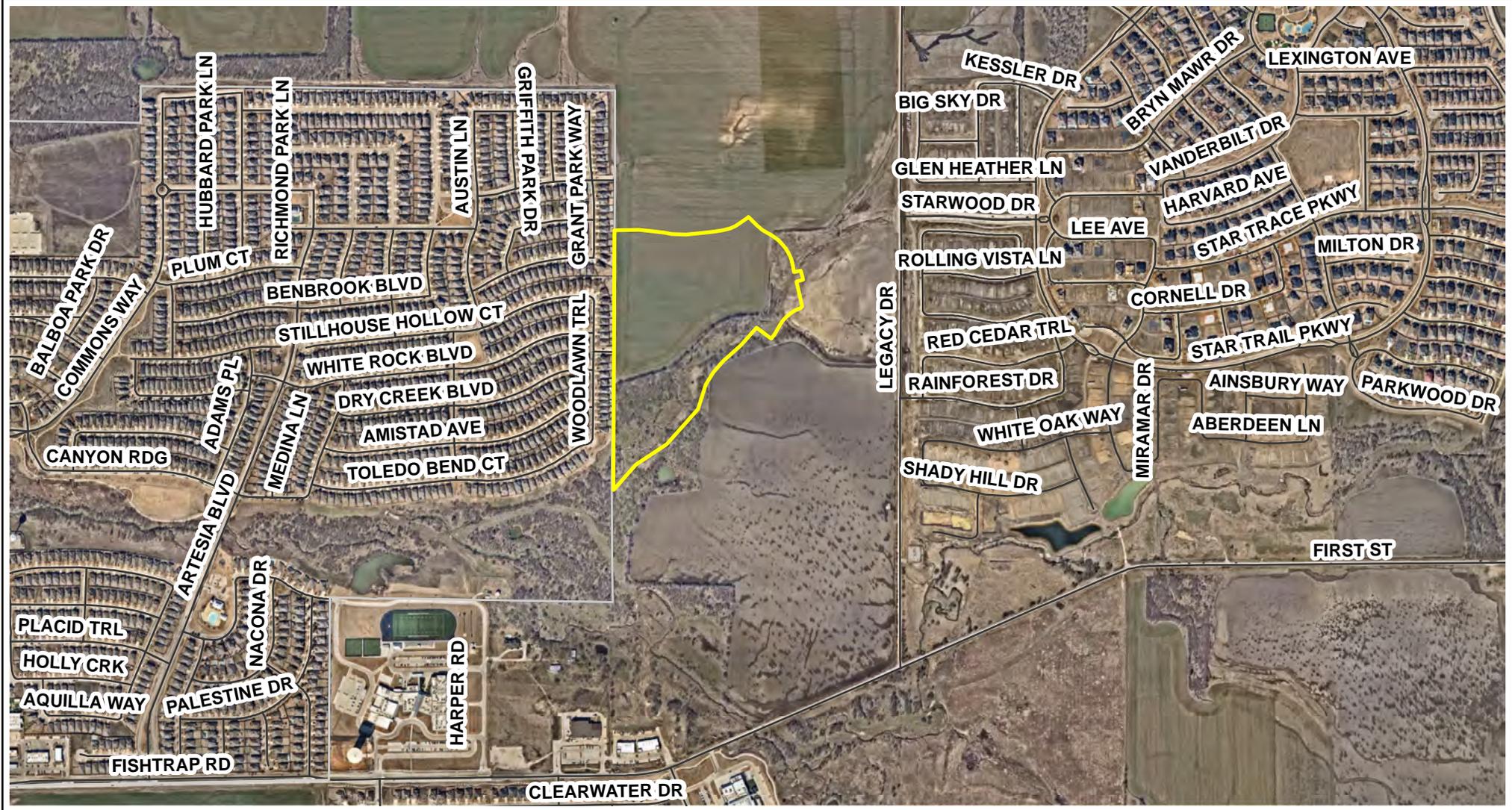
1. Location Map
2. Final Plat

Town Staff Recommendation:

Town staff recommends approval of the Final Plat subject to:

1. Town staff approval of all additions and/or alterations to the easements and dedications on the Final Plat.

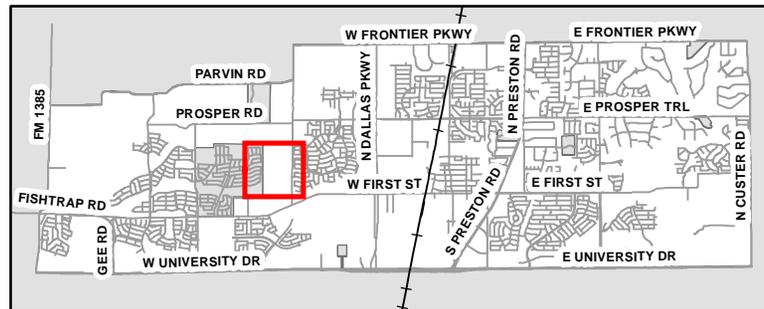
D21-0069 - Star Trail, Phase 11



This map is for illustration purposes only.

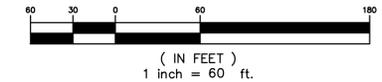


0 750 1,500 Feet



SEE PREVIOUS SHEET
(1 OF 4)

GRAPHIC SCALE



- BL = BUILDING LINE
- SBL = SIDE BUILDING LINE
- R.O.W. = RIGHT OF WAY
- AUDE = ACCESS, UTILITY AND DRAINAGE EASEMENT
- SSE = SANITARY SEWER EASEMENT
- WE = WATER EASEMENT
- DE = DRAINAGE EASEMENT
- SWE = SIDEWALK EASEMENT
- HOA = HOME OWNERS ASSOCIATION
- IRF = IRON ROD FOUND
- UE = UTILITY EASEMENT
- WME = WALL & WALL MAINTENANCE EASEMENT
- 10'x10' = 10'x10' UTILITY EASEMENT
- <CM> = CONTROL MONUMENT
- M.R.C.C.T. = MAP RECORDS, COLLIN COUNTY, TEXAS
- D.R.C.C.T. = DEED RECORDS, COLLIN COUNTY, TEXAS
- O.P.R.C.C.T. = OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET
- ◇ = DENOTES STREET NAME CHANGE
- ▼ = DENOTES FRONT OF LOT
- * = KEY LOT

122 RESIDENTIAL LOTS
3 COMMON AREA LOTS
36.215 ACRES
122 TYPE "A" LOTS OF 6,875 SF MIN.
PD-66; SINGLE FAMILY-ZONING ORDINANCE #14-31
D21-0061

FINAL PLAT
STAR TRAIL PHASE ELEVEN

AN ADDITION TO THE TOWN OF PROSPER
PART OF 243.808 ACRE TRACT OF LAND IN THE
LOUISA NEATHERLY SURVEY, ABSTRACT NO. 962,
IN THE
TOWN OF PROSPER,
DENTON COUNTY, TEXAS
APRIL 2021 SCALE: 1"=60'

OWNER/DEVELOPER
BLUE STAR ALLEN LAND, L.P.
8000 WARREN PARKWAY
BUILDING 1, SUITE 100
FRISCO, TEXAS 75034
FAX: 214-387-7781
CONTACT: SCOTT SHIPP
PH: 972-543-2412
PLANNER/ENGINEER

DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694
STATE REGISTRATION NUMBER: F-399

POINT OF BEGINNING
N: 7136437.79
E: 2474369.03
<CM>

SEE NEXT SHEET
(3 OF 4)

SEE PREVIOUS SHEET
(2 OF 4)

POINT OF BEGINNING
N: 7136437.79
E: 2474369.03
<CM>

DENTON COUNTY FRESH WATER SUPPLY
DISTRIBUTION SYSTEM
DOC. NO. 201400007938
O.R.D.C.T.

S012'44"W 829.97'

PARCEL IV
CALLED 243.808 ACRES
BLUE STAR ALLEN LAND, L.P.
DOC. NO. 2011-60030
O.R.D.C.T.

BLOCK A, LOT 2
PROSPER SCHOOL CHURCH ADDITION
BLOCK A, LOTS 1, 2 & 3
DOC. NO. 2019-336
O.R.D.C.T.

S002'31"E 423.26'

POINT OF COMMENCING
N: 7135182.59
E: 2474364.95
<CM>

LOT AREA TABLE			
LOT	BLOCK	AREA (SF)	AREA (AC)
1	H	8152	0.19
2	H	7634	0.18
3	H	7684	0.18
4	H	7747	0.18
5	H	7633	0.18
6	H	6930	0.16
7	H	6930	0.16
8	H	7156	0.16
9	H	7103	0.16
10	H	7103	0.16
11	H	7103	0.16
12	H	7103	0.16
13	H	7103	0.16
14	H	7103	0.16
15	H	7103	0.16
16	H	6963	0.16
17	H	6878	0.16
18	H	8448	0.19
19	H	8276	0.19
20	H	7227	0.17
21	H	7033	0.16
22	H	7098	0.16
23	H	7105	0.16
24	H	7114	0.16
25	H	7117	0.16
26	H	7119	0.16
27	H	7120	0.16
28	H	7118	0.16
29	H	7114	0.16
30	H	7046	0.16
31	H	6930	0.16
32	H	7171	0.16
33	H	8621	0.20
34	H	8881	0.20
35	H	7931	0.18
36	H	9483	0.22
37	H	10499	0.24

LOT AREA TABLE			
LOT	BLOCK	AREA (SF)	AREA (AC)
1	G	7802	0.18
2	G	9051	0.21
3	G	8333	0.19
4	G	7067	0.16
5	G	7223	0.17
6	G	7414	0.17
7	G	7472	0.17
8	G	7404	0.17
9	G	7220	0.17
10	G	7135	0.16
11	G	7144	0.16
12	G	7087	0.16
13	G	6983	0.16
14	G	6980	0.16
15	G	8528	0.20
16	G	14933	0.34
17	G	12739	0.29
18	G	6776	0.16
19	G	6875	0.16
20	G	6875	0.16
21	G	6875	0.16
22	G	6875	0.16
23	G	6875	0.16
24	G	6875	0.16
25	G	6875	0.16
26	G	6875	0.16
27	G	6875	0.16
28	G	6875	0.16
29	G	6875	0.16
30	G	6875	0.16
31	G	6875	0.16
32	G	6875	0.16
33	G	6875	0.16
34	G	6875	0.16
35	G	6875	0.16
36	G	6875	0.16
37	G	6875	0.16
38	G	6875	0.16
39	G	6828	0.16
40	G	12051	0.28

LOT AREA TABLE			
LOT	BLOCK	AREA (SF)	AREA (AC)
1	Z	8120	0.19
2	Z	7314	0.17
3	Z	7317	0.17
4	Z	7314	0.17
5	Z	7308	0.17
6	Z	6937	0.16
7	Z	6968	0.16
8	Z	8212	0.19
9	Z	8045	0.18
10	Z	7050	0.16
11	Z	7046	0.16
12	Z	6958	0.16
13	Z	6878	0.16
14	Z	6875	0.16
15	Z	8270	0.19
16	Z	8434	0.19
17	Z	6985	0.16
18	Z	6980	0.16
19	Z	6986	0.16
20	Z	8956	0.21
21	Z	8283	0.19
24	Z	9277	0.21

LOT AREA TABLE			
LOT	BLOCK	AREA (SF)	AREA (AC)
1	I	8113	0.19
2	I	7079	0.16
3	I	7030	0.16
4	I	7031	0.16
5	I	7031	0.16
6	I	7053	0.16
7	I	7075	0.16
8	I	7093	0.16
9	I	7050	0.16
10	I	8491	0.19
11	I	8747	0.20
12	I	7332	0.17
13	I	7266	0.17
14	I	7271	0.17
15	I	7563	0.17
16	I	7624	0.18
17	I	7633	0.18
18	I	7623	0.18
19	I	7808	0.18
20	I	8217	0.19

HOA LOT AREA TABLE			
LOT	BLOCK	AREA (SF)	AREA (AC)
10X	G	1156	0.03
11X	H	2999	0.07

ROADWAY CURVE TABLE					
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C1	181°0'52"	1375.00'	220.01'	436.31'	N87°38'50"E 434.49'
C2	26°43'49"	275.00'	65.34'	128.30'	N65°11'29"E 127.14'
C3	19°56'54"	325.00'	57.16'	113.15'	N41°51'08"E 112.58'
C4	96°31'32"	45.00'	50.44'	75.81'	S48°28'30"W 67.16'
C5	7°40'15"	400.00'	26.82'	53.55'	S85°57'09"E 53.51'
C6	191°9'35"	1650.00'	280.95'	556.56'	N88°13'11"E 553.93'
C8	17°53'07"	400.00'	62.94'	124.86'	N62°52'14"E 124.36'
C9	5°29'56"	250.00'	12.01'	23.99'	S87°02'18"E 23.98'
C10	13°56'25"	1500.00'	183.38'	364.96'	N88°44'27"E 364.06'
C11	90°02'25"	45.00'	45.03'	70.72'	S36°45'02"W 63.66'
C12	5°29'56"	250.00'	12.01'	23.99'	S87°02'18"E 23.98'

ROADWAY LINE TABLE		
LINE	BEARING	DISTANCE
T1	S89°47'16"E	57.73'
T2	S82°07'01"E	42.24'
T3	S89°47'16"E	17.27'
T4	S89°47'16"E	31.78'
T17	S89°47'16"E	25.00'
T18	S05°42'40"W	25.00'

LOT CURVE TABLE					
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C13	96°31'32"	20.00'	22.42'	33.69'	N48°28'30"E 29.85'
C14	90°02'25"	20.00'	20.01'	31.43'	S36°45'02"W 28.29'
C15	144°51'37"	50.00'	157.91'	126.41'	S46°48'01"W 95.33'
C17	270°00'00"	50.00'	50.00'	235.62'	N50°42'40"E 70.71'
C18	90°02'25"	20.00'	20.01'	31.43'	N36°45'02"E 28.29'
C19	208°38'26"	50.00'	195.87'	182.07'	N14°31'57"E 96.89'

LOT LINE TABLE		
LINE	BEARING	LENGTH
T5	N44°47'16"W	14.14'
T6	N45°12'44"E	14.14'
T7	S52°45'23"E	14.27'
T8	N36°13'02"E	14.27'
T9	N44°44'00"W	14.16'
T10	N46°50'01"E	13.74'
T11	N45°16'43"E	14.13'
T12	N43°27'40"W	14.47'
T13	S59°53'37"E	13.57'
T14	S8°34'10"E	14.92'
T15	N77°07'47"E	14.47'
T16	S29°54'30"W	14.52'
T19	N68°21'35"W	25.00'
T20	N80°25'08"E	25.00'

122 RESIDENTIAL LOTS
3 COMMON AREA LOTS
36.215 ACRES
122 TYPE "A" LOTS OF 6,875 SF MIN.
PD-66; SINGLE FAMILY-ZONING ORDINANCE #14-31
D21-0069

FINAL PLAT
STAR TRAIL PHASE ELEVEN

AN ADDITION TO THE TOWN OF PROSPER
PART OF 243.808 ACRE TRACT OF LAND IN THE
LOUISA NEATHERLY SURVEY, ABSTRACT NO. 962,
IN THE
TOWN OF PROSPER,
DENTON COUNTY, TEXAS
APRIL 2021 SCALE: 1"=60'

OWNER/DEVELOPER
BLUE STAR ALLEN LAND, L.P.
8000 WARREN PARKWAY
BUILDING 1, SUITE 100
FRISCO, TEXAS 75034
FAX: 214-387-7781
CONTACT: SCOTT SHIPP
PH: 972-543-2412
PLANNER/ENGINEER

DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694
STATE REGISTRATION NUMBER: F-399

OWNERS CERTIFICATE

STATE OF TEXAS §
COUNTY OF DENTON §

BEING a tract of land in the LOUISA NEATHERLY SURVEY, ABSTRACT NO. 962, Denton County, Texas, and being part of that tract of land described as Parcel IV as conveyed in Deed to Blue Star Allen Land, L.P., according to the document of record filed in Document Number 2011-60030, Official Records, Denton County, Texas, and being more particularly described as follows:

COMMENCING at a 1/2" iron rod with a yellow cap stamped "ARTHUR SURVEYING" found in the east line of Block A, Lot 2, PROSPER SCHOOL CHURCH ADDITION BLOCK A, LOTS 1, 2 & 3, an Addition to the Town of Prosper, Denton County, Texas, according to the Plat of record filed in Document Number 2019-336, Official Records, Denton County, Texas, for the common most westerly southwest corner of said Parcel IV and the northwest corner of that tract of land conveyed in Deed to Prosper Professional Center, LLC., according to the document of record filed in Document Number 2019-83405, Official Records, Denton County, Texas;

THENCE N 00° 02' 31" W, with the west line of said Parcel IV, a distance of 423.26 feet to a 1/2" iron rod found;

THENCE N 00° 12' 44" E, continuing with said west line, a distance of 829.97 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set in the common west line of said Parcel IV and the east line of that tract of land conveyed in Deed to Denton County Fresh Water Supply District NO. 10, according to the document of record filed in Document Number 201400007938, Official Records, Denton County, Texas, for the POINT OF BEGINNING of the tract of land described herein;

THENCE Leaving the west line of said Parcel IV, over and across said Parcel IV, the following courses and distances:

N 88° 53' 37" E, a distance of 180.09 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 83° 19' 16" E, a distance of 184.71 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 82° 13' 41" E, a distance of 54.26 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 87° 11' 42" E, a distance of 107.78 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

N 83° 55' 01" E, a distance of 72.84 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

N 83° 36' 20" E, a distance of 130.01 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

N 81° 14' 23" E, a distance of 66.51 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

N 77° 45' 18" E, a distance of 55.01 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

N 66° 01' 04" E, a distance of 43.80 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

N 55° 35' 22" E, a distance of 103.59 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

N 43° 34' 09" E, a distance of 10.00 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 46° 25' 51" E, a distance of 85.63 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set at the beginning of a curve to the left having a central angle of 16° 20' 02", a radius of 400.00 feet and a chord bearing and distance of S 54° 35' 52" E, 113.65 feet;

With said curve to the left, an arc distance of 114.03 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set at the beginning of a reverse curve to the right having a central angle of 48° 13' 06", a radius of 325.00 feet and a chord bearing and distance of S 38° 39' 20" E, 265.51 feet;

With said reverse curve to the right, an arc distance of 273.51 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 12° 45' 20" E, a distance of 70.10 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

N 77° 17' 32" E, a distance of 50.00 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 12° 36' 10" E, a distance of 70.73 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 77° 17' 32" W, a distance of 50.00 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 12° 36' 10" E, a distance of 257.51 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 30° 11' 48" W, a distance of 14.67 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set at the beginning of a curve to the left having a central angle of 40° 51' 16", a radius of 275.00 feet and a chord bearing and distance of S 51° 31' 38" W, 191.96 feet;

With said curve to the left, an arc distance of 196.09 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 31° 06' 00" W, a distance of 83.61 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set at the beginning of a curve to the right having a central angle of 05° 47' 01", a radius of 225.00 feet and a chord bearing and distance of S 33° 59' 30" W, 22.70 feet;

With said curve to the right, an arc distance of 22.71 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 36° 53' 01" W, a distance of 17.18 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

N 53° 06' 59" W, a distance of 135.00 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 41° 41' 26" W, a distance of 173.09 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 48° 10' 59" W, a distance of 174.89 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 40° 06' 38" W, a distance of 107.61 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 32° 36' 48" W, a distance of 107.47 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 17° 27' 22" W, a distance of 184.85 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 41° 52' 55" W, a distance of 82.27 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 41° 52' 55" W, a distance of 260.37 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 55° 47' 34" W, a distance of 271.23 feet to a 1/2" iron rod with a yellow cap stamped "AG PROP COR" set;

S 41° 55' 31" W, a distance of 246.29 feet to the POINT OF BEGINNING, and containing 36.215 acres of land, more or less.

100 Year Floodplain Easement Restriction:

Construction within the floodplain may not occur until approved by the Town. (A request for construction within the floodplain easement must be accompanied with detailed engineering plans and studies indicating that no flooding will result, that no obstruction to the natural flow of water will result; and subject to all owners or the property affected by such construction becoming a party to the request.) Where construction is approved, all finished floor elevations shall be a minimum of one (1) foot above the 100-year flood elevation as determined by analyzing the ultimate build-out conditions of the entire drainage basin.

Existing creeks, lakes, reservoirs, or drainage channels traversing along or across portions of this addition, will remain as an open channel at all times and will be maintained by the individual owners of the lot or lots that are traversed by the drainage courses along or across said lots. The Town will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion. Each property owner shall keep the natural drainage channels traversing his/her property clean and free of debris, silt, or any substance that would result in unsanitary conditions. The Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions, which may occur. The Town is not obligated to maintain or assistance with maintenance of the area.

The natural drainage channel, as in the case of all natural drainage channels, are subject to storm water overflow and natural bank erosion. The Town shall not be liable for damages of any nature resulting from the occurrence of these natural phenomena, nor resulting from a failure of any structure(s) within the natural drainage channels. The natural drainage channel crossing each lot is shown by the Floodway easement line as shown on the plat. If a Subdivision alters the horizontal or vertical floodplain, a FEMA Floodway map revision may be required.

Floodplain Drainage Easement

The 100 year floodplain shall be dedicated as a drainage easement.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT BLUE STAR ALLEN LAND, L.P. acting herein by and through its duly authorized officers, does hereby certify and adopt this final plat designating the herein above described property as STAR TRAIL PHASE ELEVEN, an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. BLUE STAR ALLEN LAND, L.P. do herein certify the following:

- The streets and alleys are dedicated in fee simple for street and alley purposes.
- All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
- The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat.
- No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
- The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town of Prosper's use thereof.
- The Town of Prosper and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity of any time procuring permission from anyone.
- All modifications to this document shall be by means of plat and approved by the Town of Prosper.

LANDSCAPE EASEMENT

The undersigned covenants and agrees that the landscape easement and restrictions herein set forth shall run with the land and be binding on the owner(s) of the property in this subdivision, their successors and assigns, and all parties claiming by, through and under them. In the event a replat is requested on all or part of this property, the Town may require any similar or additional restrictions at its sole discretion. The sole responsibility for maintenance and replacement of landscape materials thereof shall be borne by any homeowners' association hereafter established for the owners of lots in this subdivision and/or the owners of the individual lots within this subdivision. Such maintenance and replacement shall be in conformance with the requirements, standards, and specifications of the Town of Prosper, as presently in effect or as may be hereafter amended. This provision may be enforced by specific performance or by any other remedy allowed by law. This Landscape Easement shall be void of utilities and other elements unless otherwise approved on the plat.

ACCESS EASEMENT

The undersigned covenants and agrees that the access easement(s) may be utilized by any person or the general public for ingress and egress to other real property, and for the purpose of general public vehicular and pedestrian use and access, and for the Fire Department, Police, and emergency use in along, upon, and across said premises, with the right and privilege at all times of the Town of Prosper, its agents, employees, workmen, and representatives having ingress, egress, and regress in, along, upon, and across said premises.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas.

WITNESS, my hand, this _____ day of _____, 20__.

BLUE STAR ALLEN LAND, LP.
a Texas limited partnership

By: Blue Star Investments, Inc.
a Texas corporation
its General Partner

By: _____

Name: _____

Title: _____

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE me the undersigned, a Notary Public, on this day personally appeared Joe Hickman, Vice President of Blue Star Investments, Inc. a Texas corporation, General Partner of Blue Star Allen Land, L.P., a Texas limited partnership known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 20__.

Notary Public in and for the State of Texas

SURVEYORS CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, _____, do hereby state that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Prosper, Texas.

Dated this _____ day of _____, 20__.

"PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSES AND SHALL NOT BE USED, VIEWED, OR RELIED UPON AS A FINAL SURVEY DOCUMENT" (RELEASE DATE: 01/20/2020)

Registered Professional Land Surveyor No. _____

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office this _____ day of _____, 20__.

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL

Approved this _____ day of _____, 20__ by the Planning and Zoning Commission of the Town of Prosper, Texas.

Town Secretary

Development Services Department

Engineering Department

122 RESIDENTIAL LOTS
3 COMMON AREA LOTS
36.215 ACRES
122 TYPE "A" LOTS OF 6,875 SF MIN.
PD-66; SINGLE FAMILY-ZONING ORDINANCE #14-31
D21-0069

**FINAL PLAT
STAR TRAIL PHASE ELEVEN**

AN ADDITION TO THE TOWN OF PROSPER
PART OF 243.808 ACRE TRACT OF LAND IN THE
LOUISA NEATHERLY SURVEY, ABSTRACT NO. 962,

IN THE
TOWN OF PROSPER,
DENTON COUNTY, TEXAS

APRIL 2021 SCALE: 1"=60'

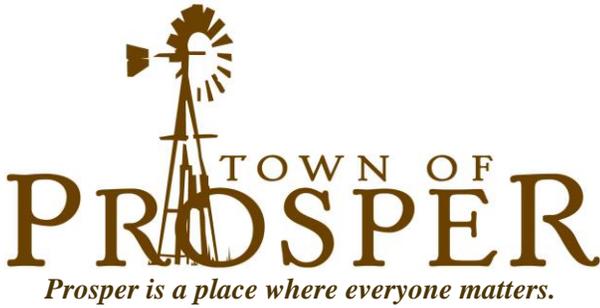
OWNER/DEVELOPER
BLUE STAR ALLEN LAND, L.P.

8000 WARREN PARKWAY
BUILDING 1, SUITE 100
FRISCO, TEXAS 75034
FAX: 214-387-7781
CONTACT: SCOTT SHIPP
PH: 972-543-2412

PLANNER/ENGINEER



DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694
STATE REGISTRATION NUMBER: F-399



To: Planning & Zoning Commission

Item No. 3c

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – February 15, 2022

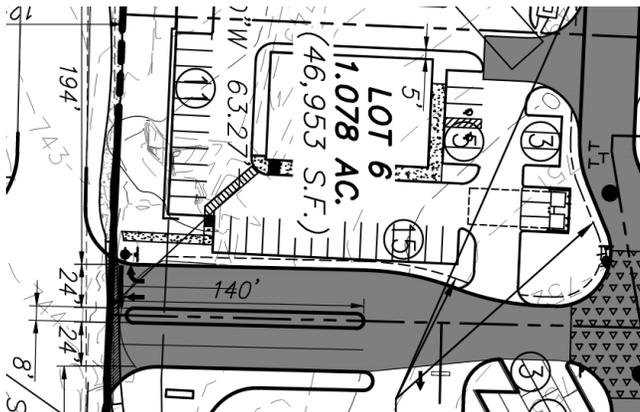
Agenda Item:

Consider and act upon a Revised Preliminary Site Plan for a Restaurant with Drive-Through Service in the Shops at Prosper Trail, on 1.1± acres, located on the east side of Preston Road, north of Prosper Trail. The property is zoned Planned Development-68 (PD-68). (D21-0126).

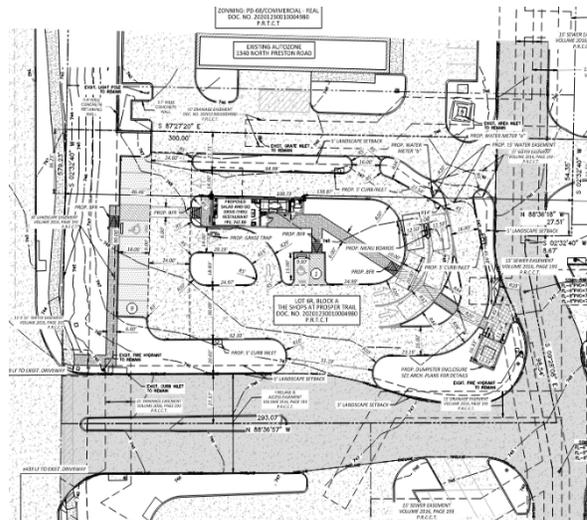
Description of Agenda Item:

A Preliminary Site Plan (D20-0059) for Shops at Prosper Trail was originally approved by the Planning & Zoning Commission on September 15, 2020. The purpose of the Revised Preliminary Site Plan is to redesign the site layout of Lot 6 to show a proposed Restaurant with Drive-Through Service. The Revised Preliminary Site Plan shows a restaurant with drive-through service totaling 750 square feet. Access is provided from Preston Road. The number of off-street parking spaces meets the minimum standards of the Zoning Ordinance. The Revised Preliminary Site Plan conforms to the PD-68 development standards.

Approved Preliminary Site Plan



Revised Preliminary Site Plan



Attached Documents:

1. Location Map
2. Revised Preliminary Site Plan

Town Staff Recommendation:

Town staff recommends approval of the Revised Preliminary Site Plan subject to:

1. Town staff approval of preliminary water, sewer, and drainage plans.
2. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

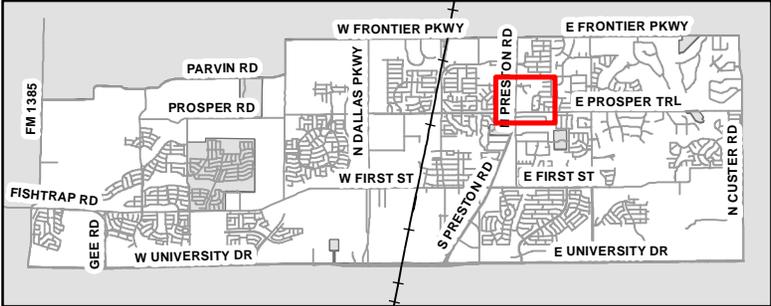
D21-0126 - Salad and Go



This map is for illustration purposes only.



0 250 500 Feet



SITE DATA BASED ON SALAD AND GO PROPOSED DEVELOPMENT ESTATES ABOVE WIMBLEDON, LOT 3R BLOCK 6, S21-0005	
GENERAL	
EXISTING ZONING:	PD-68/COMMERCIAL - REAL
PROPOSED ZONING:	SUP
FRONT SETBACK:	20 FEET
SIDE SETBACK:	NONE
REAR SETBACK:	NONE
LOT AREA:	46,948 SQUARE FEET (1.078 AC)
LOT COVERAGE ALLOWED:	N/A
BUILDING AREA:	DRIVE THRU RESTAURANT - 750 SQUARE FEET (0.017 AC)
PROPOSED BUILDING AREA:	750 SQUARE FEET
PROPOSED BUILDING HEIGHT:	1 STORY - 20 FEET
EXISTING USE:	VACANT LOT
PROPOSED USE:	RESTAURANT WITH DRIVE-THRU AND NO INDOOR DINING
PARKING REQUIRED:	10 SPACES (1/2 SPACE PER SQUARE FEET OF BUILDING)
PARKING PROVIDED:	10 SPACES
HANDICAP PARKING REQUIRED:	1 SPACES
HANDICAP PARKING PROVIDED:	2 SPACES
LANDSCAPE AREA REQUIRED:	3,286 SQUARE FEET (7%)
LANDSCAPE AREA PROVIDED:	9,749 SQUARE FEET
LOT COVERAGE PERCENTAGE:	0.02%
IMPERVIOUS AREA PERCENTAGE:	37,199 SQUARE FEET
FLOOR AREA RATIO:	0.02 : 1

OWNER
MQ PROSPER RETAIL, LLC
4622 MAPLE AVENUE,
SUITE 200
DALLAS, TEXAS 75129
TEL (972) 980-8789
CONTACT: DONALD L. SILVERMAN

APPLICANT
JONES | CARTER, INC.
4500 MERCANTILE PLAZA DRIVE
SUITE 210
FORT WORTH, TEXAS 76137
TEL (972) 265-7190
CONTACT: RYAN ALCALA, PE

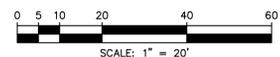
SURVEYOR
EAGLE SURVEYING, LLC
210 SOUTH ELM STREET
SUITE 104
DENTON, TEXAS 76201
TEL (940) 222-3009
CONTACT: MASON DECKER

LEGEND

- PROPERTY LINE
- EXIST. FIRELANE
- 5 ○ PARKING COUNTRY
- EXIST. FIRE HYDRANT TO REMAIN
- EXIST. CONCRETE DRIVE
- EXIST. CONCRETE SIDEWALK
- EXIST. FIRE LANE
- PROPOSED 4" REINFORCED CONCRETE SIDEWALK
- PROPOSED MENU BOARD
- PROP. BARRIER FREE RAMP
- PROP. WATER METER
- PROP. GREASE TRAP

NOTES

- ALL DIMENSIONS ARE SHOWN PERPENDICULAR AND TO THE FRONT OF THE CURB UNLESS OTHERWISE NOTED.
- ALL CURB IS PERMANENT UNLESS NOTED OTHERWISE.
- SEE ARCH. PLANS FOR EXACT BUILDING DIMENSIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO USE CARE NOT TO DISTURB EXISTING LANDSCAPING OUTSIDE DISTURBED AREA. IF DISTURB CONTRACTOR TO RESTORE TO ORIGINAL CONDITIONS OR BETTER.
- CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UTILITIES.



BENCHMARK
ALL ELEVATIONS AND BEARINGS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS UTILIZING THE ALLTERRA RTK NETWORK. NAVD (88) DATUM, (GEOID 12A)

TBM A
BEING AN "X" CUT ON TOP OF CURB INLET LOCATED ON THE WEST SIDE OF THE EASTERN PRIVATE DRIVE, APPROXIMATELY 14 FEET SOUTH AND 3 FEET EAST OF THE NORTHEAST CORNER NEAR THE PARKING DRIVE ASSE FOR KROGER SUPERMARKET. ELEVATION 747.40 FEET, NAVD 88 (2011 ADJUSTMENT).

100-YEAR FLOOD PLAIN
ACCORDING TO MAP NO. 48085C01201 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR COLLIN COUNTY DATED JUNE 2, 2009, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE "X"; DEFINED AS AREA OF MINIMAL FLOOD HAZARD.

WATER METER SERVICES			
ID	TYPE	METER SIZE	SERVICE SIZE
"a"	DOMESTIC METER AND SERVICE	1"	1 1/2"
"b"	IRRIGATION METER AND DDC	1"	1"

PRELIMINARY SITE PLAN NOTES

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED PER THE ZONING ORDINANCE.
 - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED PER THE ZONING ORDINANCE.
 - OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
 - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
 - ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
 - BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 - OCCUPANT NOTIFICATION PER THIS SECTION AND 907.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION, OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE, FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
 - FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
 - TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
 - SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
 - FIRE LANES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS.
 - AMENDMENT 503.1.1
 - THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE. AMENDMENT 503.2.1
 - BUILDINGS MORE THAN 30 FEET IN HEIGHT ARE REQUIRED TO HAVE A MINIMUM OF A 26-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIRE FIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE FIRE LANES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET. APPENDIX D105
 - THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
 - THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
 - DEAD-END FIRE LANES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.
 - FIRE HYDRANTS SHALL BE PROVIDED AT THE ENTRANCES AND INTERSECTIONS. AMENDMENT 507.5.1
 - AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET (300') FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R3. R-3 DEVELOPMENTS SHALL BE EVERY 500 FEET (500'). DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM HYDRANT-TO-HYDRANT, NOT AS THE "CROW FLIES." AMENDMENT 507.5.1
 - FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5" STORZ, 30-DEGREE DOWNWARD TURN WITH LOCKING CAP. AMENDMENT 507.5.1
 - FIRE HYDRANTS SHALL BE LOCATED 2 FOOT (2') TO 6 FOOT (6') BACK FROM THE CURB OR FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC. AMENDMENT 507.5.1
 - THERE SHALL BE A MINIMUM OF TWO (2) FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE PRESCRIBED DISTANCES LISTED ABOVE. A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT. AMENDMENT 507.5.1
 - A MINIMUM 30-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER. AMENDMENT 503.1.1
 - THE MAXIMUM DEAD-END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET (600') AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS. AMENDMENT 503.1.5
 - ONE-AND TWO-FAMILY DWELLINGS AUTOMATIC FIRE SYSTEMS. AUTOMATIC FIRE PROTECTION SYSTEMS PER NFPA 13D OR NFPA 13R SHALL BE PROVIDED IN ALL ONE-AND TWO-FAMILY DWELLINGS WITH A CONDITIONED FLOOR AREA OF 5,500 SQUARE FEET (511 M2) OR GREATER, DWELLINGS THREE (3) STORIES OR GREATER, OR DWELLINGS WITH ROOF HEIGHTS EXCEEDING THIRTY-FIVE FEET (35') FROM GRADE. IRC-2015 AMENDMENT R13.2
 - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
 - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
 - ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FAÇADE PLAN.
 - SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
 - ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW PER THE ZONING ORDINANCE.
 - ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
 - IMPACT FEES WILL BE ASSESSED PER THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE. HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
 - THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF APPROVAL BY THE PLANNING & ZONING COMMISSION. AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PORTION SHALL BE NULL AND VOID.

LOT 7R1, BLOCK A
THE SHOPS AT PROSPER TRAIL
OWNER: AUTO ZONE
LAND USE: RETAIL
ZONNING: PD-68/COMMERCIAL - REAL
DOC. NO. 20201230010004980
P.R.T.C.T

LOT 10, BLOCK A
THE SHOPS AT PROSPER TRAIL
OWNER: KROGER
LAND USE: RETAIL
ZONNING: PD-68/COMMERCIAL - REAL
DOC. NO. 2016-193
P.R.T.C.T

LOT 6R, BLOCK A
THE SHOPS AT PROSPER TRAIL
DOC. NO. 20201230010004980
P.R.T.C.T

LOT 1, BLOCK A
THE SHOPS AT PROSPER TRAIL
OWNER: KROGER
LAND USE: RETAIL
ZONNING: PD-68/COMMERCIAL - REAL
DOC. NO. 2016-193
P.R.T.C.T

LOT 2, BLOCK A
THE SHOPS AT PROSPER TRAIL
OWNER: KROGER
LAND USE: RETAIL
ZONNING: PD-68/COMMERCIAL - REAL
DOC. NO. 2016-193
P.R.T.C.T

EXISTING KROGER FUEL CENTER
1252 NORTH PRESTON ROAD

PRELIM CASE NO. D21-0126

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

TEXAS811 NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
www.texas811.org
Texas811 or 1-800-545-6005

REVISIONS

No. Date

App.

JONES CARTER
Texas Board of Professional Engineers Registration No. F-439
4350 Lockhill-Spring Road, Suite 100 • San Antonio, Texas 78249 • 210.494.5311

DESIGNED BY: ACH
CHECKED BY: RJA
DRAWN BY: RBZ

SCALE: AS SHOWN
DATE: FEBRUARY 2022
JOB NO.: 17007-0033-00

INTERIM REVIEW
Not intended for construction, bidding or permit purposes.
Engineer: RYAN J. ALCALA, P.E.
P.E. Serial No.: 137823
Date: FEBRUARY 2022

SALAD AND GO - PROSPER - PRESTON AND PROSPER TRAIL
1300 NORTH PRESTON ROAD - PROSPER, TEXAS 75078

PRELIMINARY SITE PLAN
LOT 6R, BLOCK A
THE SHOPS AT PROSPER TRAIL
ABSTRACT NUMBER: 172
1.078 ACRES
PREPARATION DATE: 1/20/2022

SHEET NO. **1**



PLANNING

To: Planning & Zoning Commission

Item No. 3d

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – February 15, 2022

Agenda Item:

Consider and act upon a Site Plan for Prosper Center Office, on 5.6± acres, located on the north side of Prairie Drive, west Mahard Parkway. The property is zoned Office (O). (D21-0131).

Description of Agenda Item:

The Site Plan is for one (1) lot containing five (5) single-story office buildings totaling 21,885 square feet. Access will be provided from Mahard Parkway and Prairie Drive. The Site Plan conforms to the Office (O) development standards.

The Preliminary Site Plan (D21-0044) containing 16 single-story office buildings was approved by the Planning & Zoning Commission on June 1, 2021.

Attached Documents:

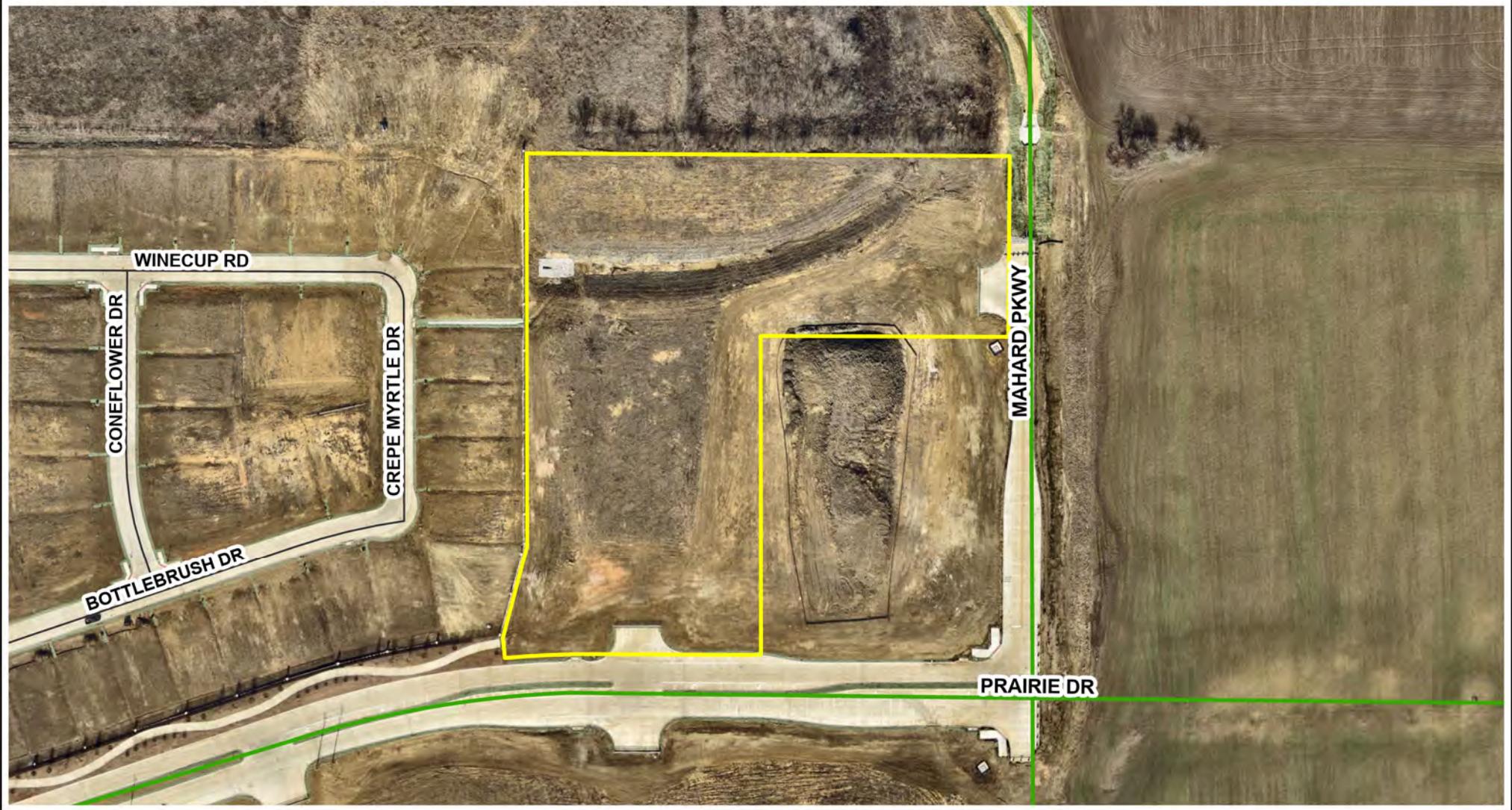
1. Location Map
2. Site Plan

Staff Recommendation:

Staff recommends approval of the Site Plan subject to:

1. Planning & Zoning Commission approval of a Final Plat.
2. Town staff approval of civil engineering, irrigation plan, open space plan, façade, and address plan.
3. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

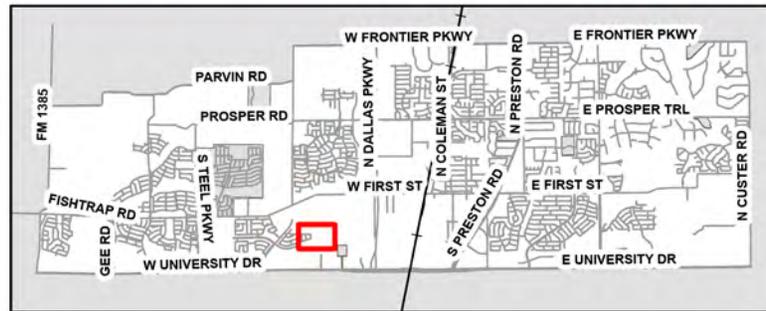
D21-0131 - Prosper Center Office, Phase 1

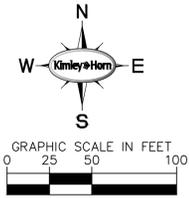


This map is for illustration purposes only.



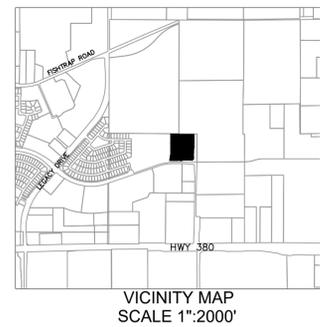
0 110 220 440 Feet





WATER METER SCHEDULE			
ID.	TYPE	SIZE	NO.
1	DOMESTIC	1"	5
2	IRRIGATION	2"	1

LEGEND	
---	PROPERTY LINE
FL	PROPOSED FIRE LANE ACCESS, DRAINAGE, AND UTILITY EASEMENT (F.A.D.U.E.)
---	PROPOSED EASEMENT LINE
---	SETBACK LINE
---	EXISTING CONTOUR
⊕	PROPOSED FIRE HYDRANT
⊙	PROPOSED SEWER MANHOLE
⊕	PROPOSED FIRE DEPT. CONNECTION
⊙	PROPOSED WATER METER
⊕	PROPOSED CURB INLET
---	PROPOSED RETAINING WALL
⊕	EX. LIGHT POLE
⊙	EX. WATER METER
⊕	EX. FIRE HYDRANT (FH)
⊙	EX. STORM MANHOLE
⊕	EX. STORM INLET
⊙	EX. SAN. SWR. MANHOLE
▶	FACE OF WALL
⊕	10' WIDE F.O.C. - F.O.C. LANDSCAPE ISLAND
V.M.A.	VISIBILITY, ACCESS AND MAINTENANCE EASEMENT

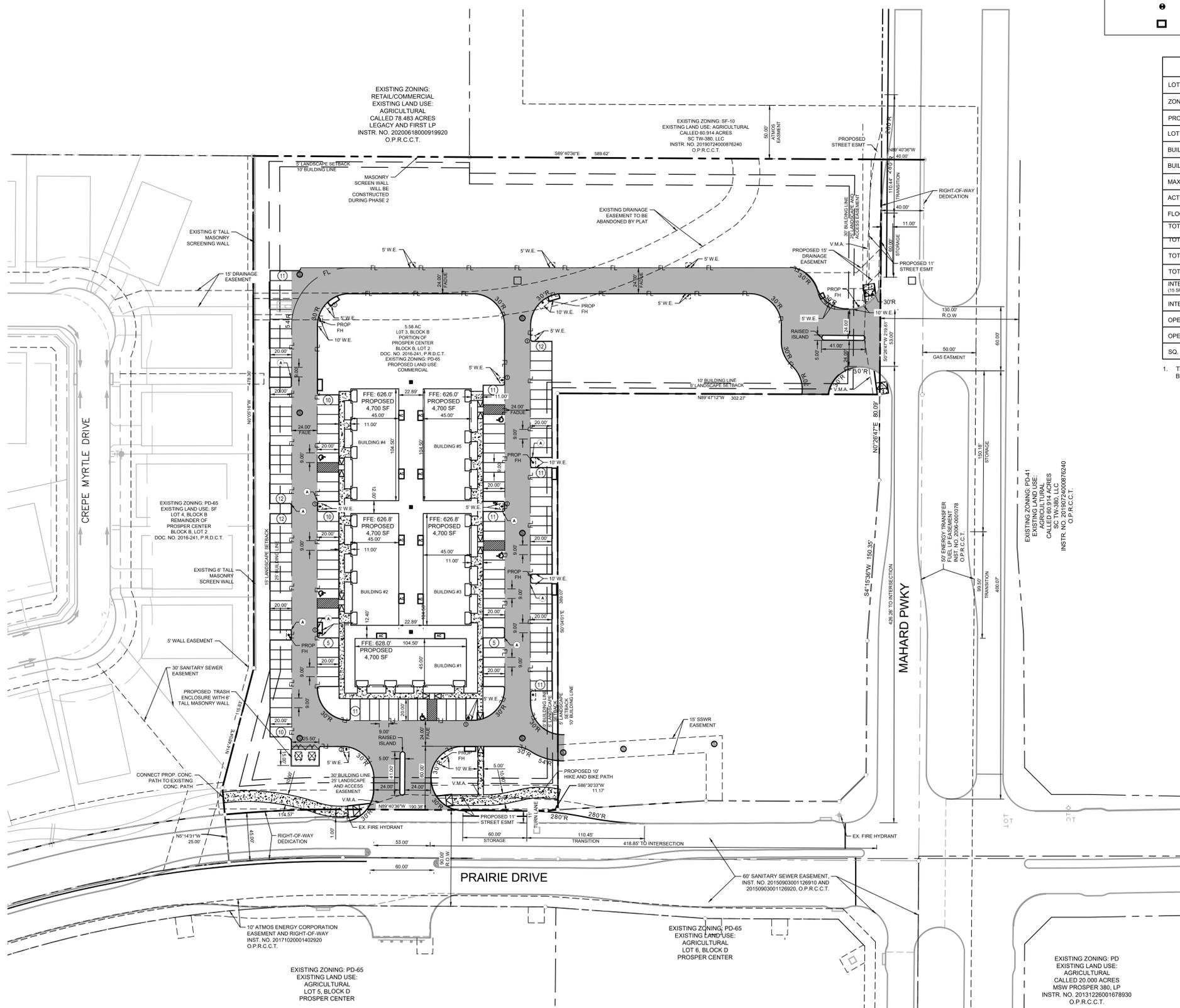


SITE DATA SUMMARY TABLE	
LOT DESIGNATION	BLOCK A, LOT 2R
ZONING	O - OFFICE
PROPOSED USE	MEDICAL OFFICE
LOT AREA / SQ. FT. AND AC	243,123 SF 5.58 AC
BUILDING FOOTPRINT	21,885 SF
BUILDING HEIGHT	1-STORY, 23 FT. MAX
MAX. ALLOWABLE LOT COVERAGE	40%
ACTUAL LOT COVERAGE	9%
FLOOR AREA RATIO	0.09:1
TOTAL PARKING REQUIRED	88 SPACES
TOTAL HANDICAP REQUIRED	4 SPACES
TOTAL HANDICAP PROVIDED	5 SPACES
TOTAL PARKING PROVIDED	142 SPACES
INTERIOR LANDSCAPING REQUIRED (15 SF FOR EACH PARKING SPACE)	2,130 SQ. FT.
INTERIOR LANDSCAPING PROVIDED	3,893 SQ. FT.
OPEN SPACE REQUIRED	17,019 SF (7%)
OPEN SPACE PROVIDED	20,005 SQ. FT. (8%) - NOTE 1
SQ. FT. IMPERVIOUS SURFACE	104,971 SQ. FT.

TOWN OF PROSPER SITE PLAN NOTES

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
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 - OCCUPANT NOTIFICATION PER THIS SECTION AND 907.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE. FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
 - FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
 - TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
 - SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
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 - THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE. AMENDMENT 503.2.1
 - BUILDINGS MORE THAN 30 FEET IN HEIGHT ARE REQUIRED TO HAVE A MINIMUM OF A 26-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIREFIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE FIRE LANES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET. APPENDIX D105
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 - A MINIMUM 10-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER. AMENDMENT 503.1.1
 - THE MAXIMUM DEAD-END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET (600') AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS. AMENDMENT 503.1.5
 - ONE-AND TWO-FAMILY DWELLINGS AUTOMATIC FIRE SYSTEMS, AUTOMATIC FIRE PROTECTION SYSTEMS PER NFPA 13D OR NFPA 13R SHALL BE PROVIDED IN ALL ONE-AND TWO-FAMILY DWELLINGS WITH A CONDITIONED FLOOR AREA OF 5,000 SQUARE FEET (511 M2) OR GREATER, DWELLINGS THREE (3) STORIES OR GREATER, OR DWELLINGS WITH ROOF HEIGHTS EXCEEDING THIRTY-FIVE FEET (35') FROM GRADE. IRC-2015 AMENDMENT R313.2
 - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
 - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE PRELIMINARY SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
 - ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
 - SIDWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMP AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
 - APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING SERVICES DEPARTMENT.
 - SITE PLAN APPROVAL IS REQUIRED BEFORE THE GRADING RELEASE.
 - ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
 - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
 - THE APPROVAL OF A SITE PLAN SHALL BE EFFECTIVE FOR EIGHTEEN (18) MONTHS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION. AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE ENGINEERING PLANS AND BUILDING PERMITS. IF THE ENGINEERING PLANS AND BUILDING PERMITS ARE NOT APPROVED, THE SITE PLAN APPROVAL, TOGETHER WITH ANY PRELIMINARY SITE PLAN FOR THE PROPERTY, IS NULL AND VOID.

TREE SURVEY NOTE
NO TREES ARE LOCATED ON-SITE AT THE TIME OF THIS SITE PLAN SUBMITTAL.



IMAGES: XREF: 02/04/2021 10:58:41 AM - XREF: 02/04/2021 10:58:41 AM
 NOTES: XREF: 02/04/2021 10:58:41 AM - XREF: 02/04/2021 10:58:41 AM
 DWG: XREF: 02/04/2021 10:58:41 AM - XREF: 02/04/2021 10:58:41 AM
 LAST: XREF: 02/04/2021 10:58:41 AM - XREF: 02/04/2021 10:58:41 AM

NO.
REVISIONS
DATE

© 2022 KIMLEY-HORN
6160 WARREN PKWY, SUITE 210, FRISCO, TX 75034
PHONE: 972-335-3580 FAX: 972-335-3779
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM F-928

PROSPER CONDO OFFICE - PHASE 1
LOT 3, BLOCK B
TOWN OF PROSPER, COLLIN COUNTY, TX

KHA PROJECT: 63251000
DATE: 02/01/2022
SCALE: AS SHOWN
DESIGNED BY: KTW
DRAWN BY: KTW
CHECKED BY: GAK

FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley Horn
Engineering: CAROLYN KOCH
P.E. No. 127109 Date: 02/01/22

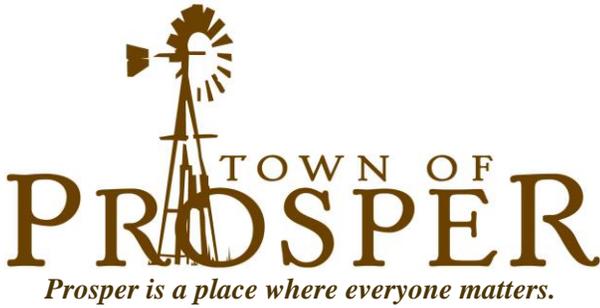
PROSPER CONDO OFFICE - PHASE 1
LOT 3, BLOCK B
TOWN OF PROSPER, COLLIN COUNTY, TX

SHEET NUMBER
1 OF 1

SITE PLAN - PHASE 1
PROSPER CENTER
LOT 3, BLOCK B
CASE # D21-0131
5.58 ACRES
COLLIN COUNTY SCHOOL LAND SURVEY ABSTRACT NO. 147
TOWN OF PROSPER, COLLIN COUNTY, TEXAS
PREPARATION DATE: 01/04/2021

ENGINEER / SURVEYOR / APPLICANT
KIMLEY-HORN AND ASSOCIATES, INC.
6160 WARREN PARKWAY, SUITE 210
FRISCO, TX 75034
PHONE: (972) 335-3580
FAX: (972) 335-3779
CONTACT: CAROLYN KOCH, P.E.

OWNER
VILLAGES AT LEGACY, LLC
10950 RESEARCH ROAD,
FRISCO, TX 75033
PHONE: (214) 387-3993
COURRY@TXLANDRESOURCES.COM
CONTACT: CLINT RICHARDSON



To: Planning & Zoning Commission

Item No. 3e

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – February 15, 2022

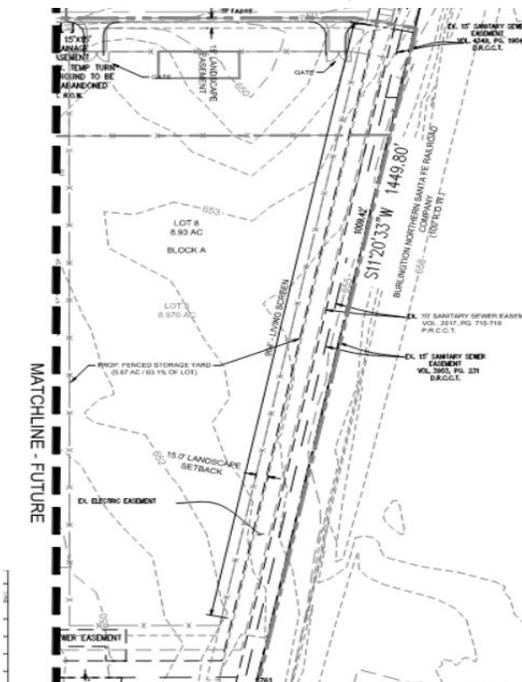
Agenda Item:

Consider and act upon a Revised Preliminary Site Plan for Prosper Business Park, on 27.0± acres, located on the southeast corner of Cook Lane and Industry Way. The property is zoned Planned Development-26 (PD-26). (D22-0002).

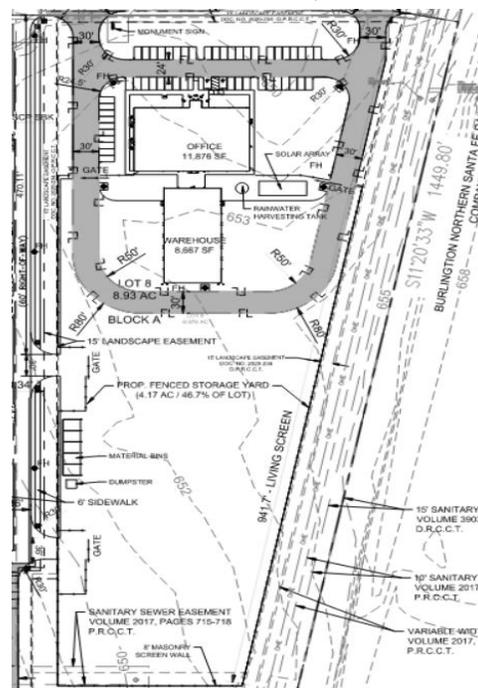
Description of Agenda Item:

The Planning & Zoning Commission originally approved a Preliminary Site Plan for Prosper Business Park, on November 6, 2018, and a Revised Preliminary Site Plan was approved on January 5, 2021. The purpose of this revision is to modify Lot 8 to include an office/warehouse. The depicted number of off-street parking spaces meets the minimum standards of the Zoning Ordinance. Access is provided from Industry Way, Cook Lane, and Technology Way. The Revised Preliminary Site Plan conforms to the PD-26 development standards.

Approved Preliminary Site Plan



Revised Preliminary Site Plan



Attached Documents:

1. Location Map
2. Revised Preliminary Site Plan

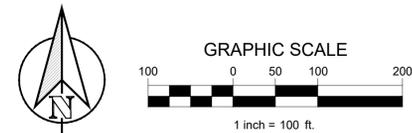
Town Staff Recommendation:

Town staff recommends approval of the Revised Preliminary Site Plan subject to:

1. Town staff approval of preliminary water, sewer, and drainage plans.
2. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

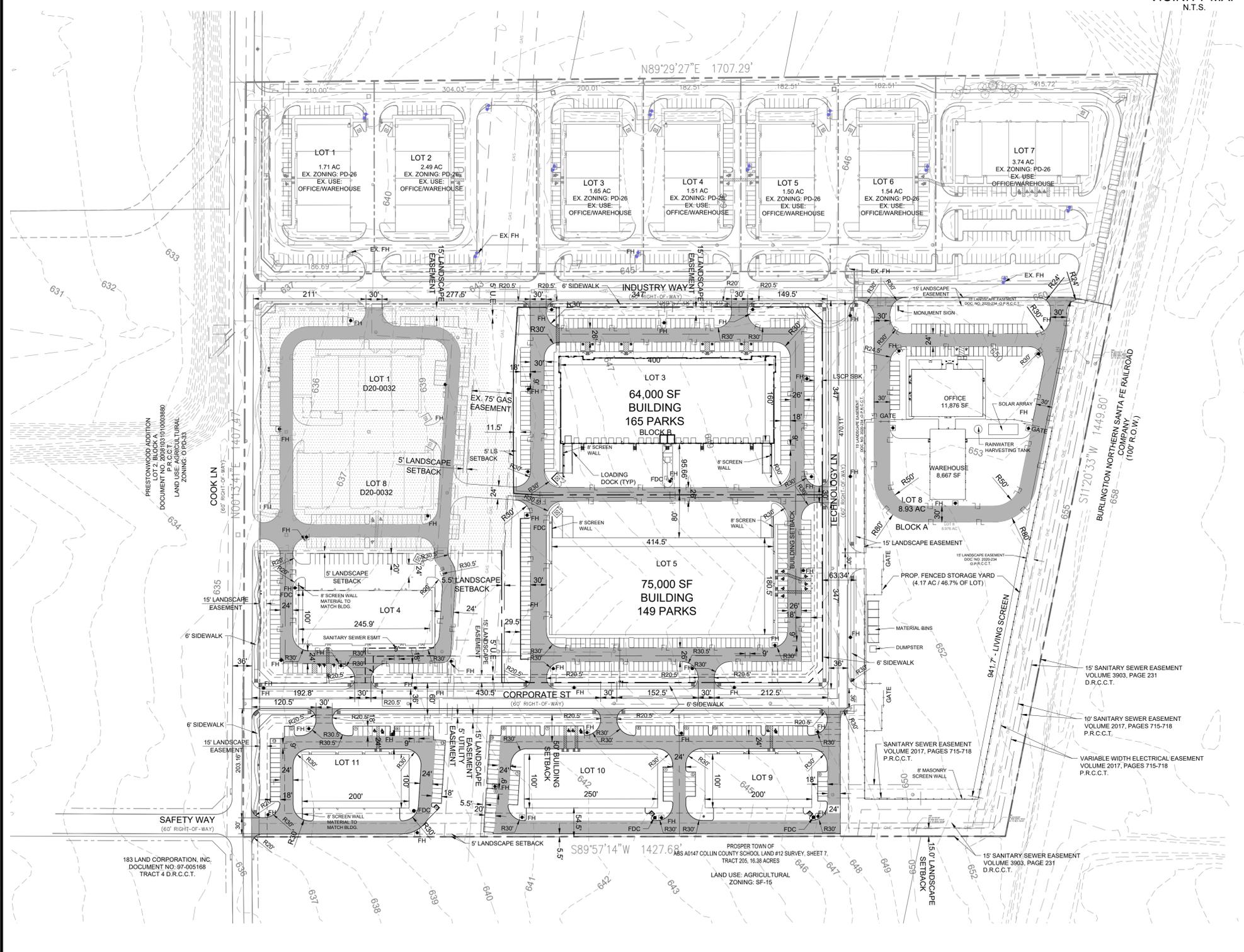
SITE DATA SUMMARY

LOT	ZONING	PROPOSED USE	LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	BUILDING AREA (SQ. FT.)	BLDG HGT. (FT.# ST.)	LOT COVERAGE		FLR AREA RATIO		PARKING				HANDICAP SP.		PARKING LOT LANDSCAPING		OPEN SPACE	
							REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.
3	PD-26	OFFICE/WAREHOUSE	4.60	211,567	64,000	26' - 1 STORY	50% MAX	30.3%	0.5:1 MAX	0.079:1	1 SPACE / 1000 SF (Warehouse)				6	9	2,475	4,160	14,810	19,570
4	PD-26	OFFICE/WAREHOUSE	2.62	114,308	25,000	26' - 1 STORY	50% MAX	21.9%	0.5:1 MAX	0.079:1	1 SPACE / 350 SF (Office) 1 SPACE / 1000 SF (Warehouse)				39	62	930	1,310	8,002	20,483
5	PD-26	OFFICE/WAREHOUSE	4.75	207,186	75,000	26' - 1 STORY	50% MAX	36.2%	0.5:1 MAX	0.079:1	1 SPACE / 1000 SF (Warehouse)				75	149	2,235	2,320	14,503	15,881
8	PD-26	OFFICE/WAREHOUSE	8.93	388,955	20,543	26' - 1 STORY	50% MAX	5.3%	0.5:1 MAX	0.079:1	1 SPACE / 350 SF (Office) 1 SPACE / 1000 SF (Warehouse)				44	52	780	2,155	27,227	31,133
9	PD-26	OFFICE/WAREHOUSE	2.27	98,701	20,000	26' - 1 STORY	50% MAX	20.3%	0.5:1 MAX	0.079:1	1 SPACE / 350 SF (Office) 1 SPACE / 1000 SF (Warehouse)				31	34	510	1,704	6,909	10,078
10	PD-26	OFFICE/WAREHOUSE	1.96	85,263	25,000	26' - 1 STORY	50% MAX	29.3%	0.5:1 MAX	0.079:1	1 SPACE / 350 SF (Office) 1 SPACE / 1000 SF (Warehouse)				39	56	840	1,860	5,968	7,006
11	PD-26	OFFICE/WAREHOUSE	1.59	69,116	20,000	26' - 1 STORY	50% MAX	28.9%	0.5:1 MAX	0.079:1	1 SPACE / 350 SF (Office) 1 SPACE / 1000 SF (Warehouse)				31	40	600	1,465	4,838	18,440



TOWN OF PROSPER PRELIMINARY SITE PLAN GENERAL NOTES:

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LEGEND

---	PROPERTY LINE
- - -	EASEMENT/SETBACK (AS NOTED)
▬	FIRE LANE
◻	PREVIOUSLY APPROVED
●	FIRE HYDRANT
D	FDC

FLOODPLAIN NOTE
NO PORTION OF THIS TRACT LIES WITHIN A 100-YEAR FLOOD PLAIN, OR IN A FLOOD HAZARD AREA ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP NUMBER 48085C025J5, WITH EFFECTIVE DATE OF JUNE 2, 2009

PROSPER BUSINESS PARK

CASE #: D22-0002

OWNER:
CROSSLAND TEXAS INDUSTRIAL
861 N. COLEMAN ST
PROSPER, TX 75078
PH: 972.347.5659

CONTACT NAME: ROCKY HUSSMAN

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572

CONTACT NAME: MATT MOORE

LEGAL DESCRIPTION:
LOT 8-11, BLOCK A, LOT 8, BLOCK B, PROSPER BUSINESS PARK AN ADDITION TO THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS AND BEING A PORTION OF THE COLLIN COUNTY SCHOOL SURVEY, ABSTRACT NUMBER 147, COLLIN COUNTY TEXAS

CITY: TOWN OF PROSPER STATE: TEXAS

COUNTY: COLLIN SURVEY: COLLIN COUNTY SCHOOL ABSTRACT NO: 147

TEXAS FIRM #14190
CLAYMOORE ENGINEERING
1903 CENTRAL DR. SUITE #406
BEDFORD, TX 76021
PHONE: 817.281.0572
WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer: MATT MOORE
P.E. No. 38351, Date: 2/9/2022

PROSPER BUSINESS PARK
PROSPER, TEXAS

No.	DATE	REVISION

PRELIMINARY SITE PLAN

SHEET
SP-1

DESIGN: CWP
DRAWN: CWP
CHECKED: MAM
DATE: 2/9/2022

File No: D21-0030

PLOTTED BY: DAN CABALLERO
PLOT DATE: 2/9/2022 2:13 PM
LOCATION: Z:\PROJECTS\PROJECTS\2020-057_CROSSLAND PROSPER PH 3\CADD\SHEETS\PRELIMINARY ENGINEERING\PSF.DWG
LAST SAVED: 2/4/2022 11:38 AM



PLANNING

To: Planning & Zoning Commission

Item No. 3e

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – February 15, 2022

Agenda Item:

Consider and act upon a Preliminary Plat for Windsong Ranch, Phases 6D & 6E, for 200 single family residential lots, and eight (8) HOA/open space lots, on 69.5± acres, located on the east side of Good Hope Road, south of Parvin Road. The property is zoned Planned Development-40 (PD-40). (D22-0004).

Description of Agenda Item:

The Preliminary Plat shows 200 single family residential lots and eight (8) HOA/open space lots. Access is provided from Good Hope Road & Bridges Drive. The Preliminary Plat conforms to the Planned Development-40 (PD-40) development standards.

Attached Documents:

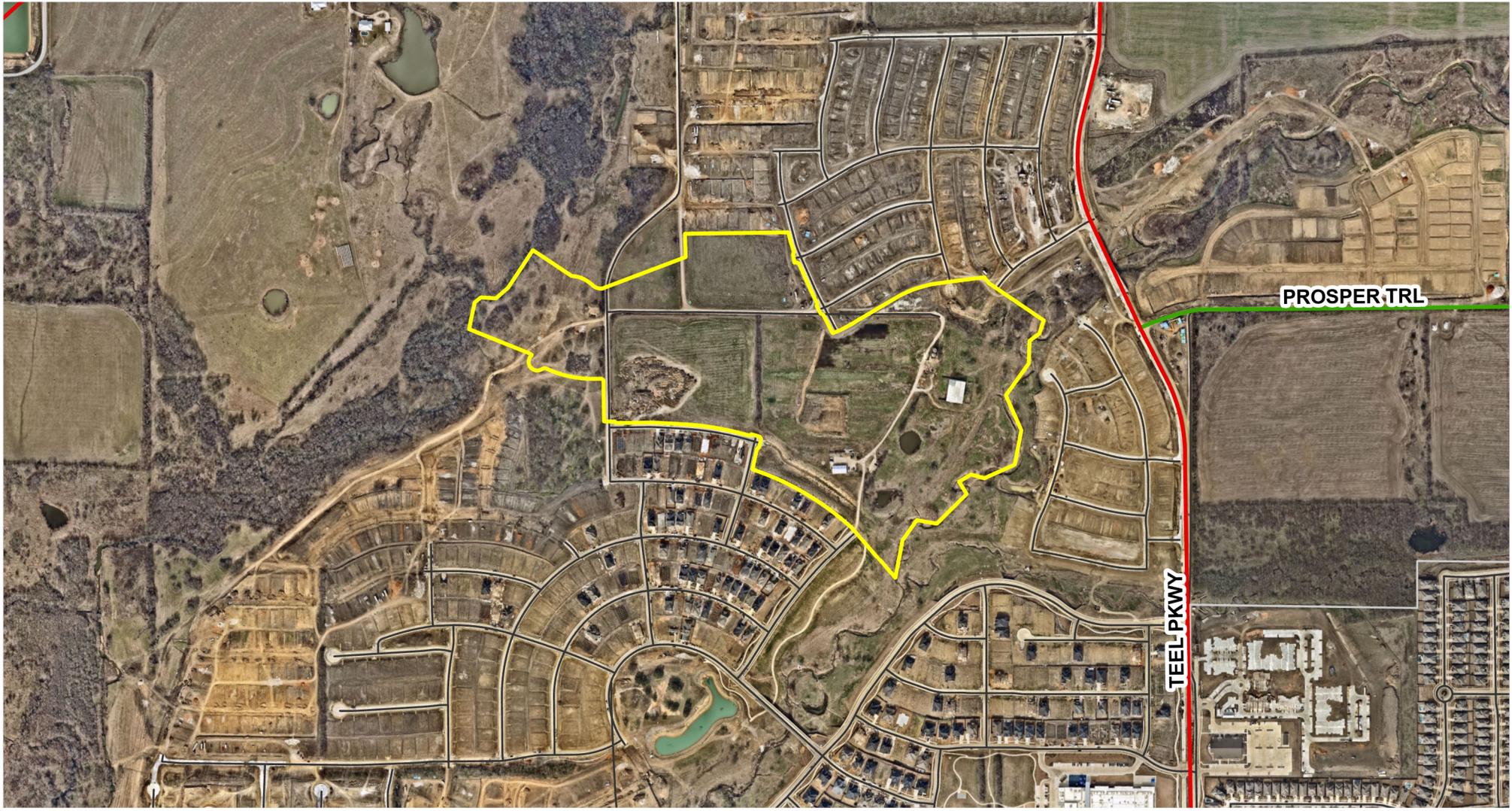
1. Location Map
2. Preliminary Plat

Staff Recommendation:

Staff recommends approval of the Preliminary Plat subject to:

1. Staff approval of all additions and/or alterations to the easements and dedications on the Preliminary Plat, including hike and bike trail easements on open space lots.
2. Staff approval of all preliminary water, sewer, and drainage plans.

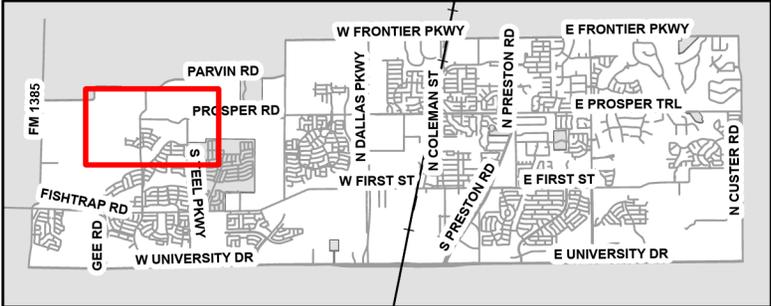
D22-0004 - Windsong Ranch Phase 6D & 6E



This map is for illustration purposes only.



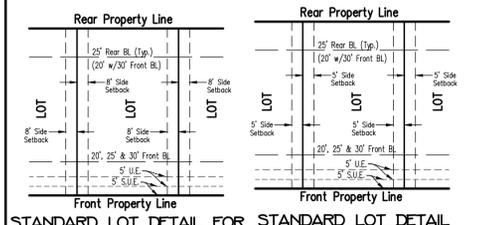
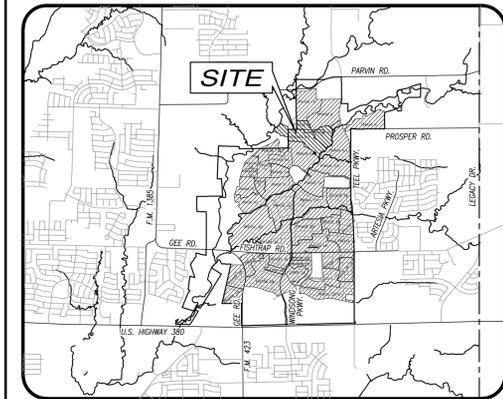
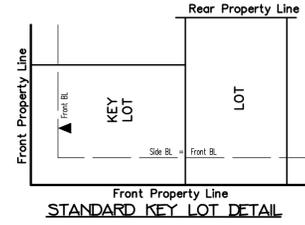
0 500 1000 2000 Feet





PHASES 6D & 6E
 200 LOTS DEVELOPED TO PD-40 STANDARDS
 69.537 ACRES (2.88 UNITS/ACRE)
 AVERAGE LOT SIZE = 8,712 SF

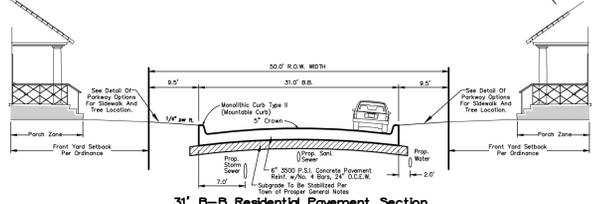
Lot Summary	6D	6E	Total
Type A (Min. 8,000 SF)	73	0	73
Type B (Min. 9,000 SF)	0	30	30
Type E (Min. 6,000 SF)	54	43	97
Total	127	73	200



- NOTES:**
- Selling a portion of this addition by metes and bounds is a violation of Town ordinance and state law and is subject to fines and withholding of utilities and building permits.
 - All corners are 1/2 inch iron rods with red plastic caps stamped "SPIARS ENG RPLS 5252" unless otherwise noted.
 - All development will comply with Town of Prosper PD-40 Requirements.
 - All open space areas, Lots 1-8, Block X, to be owned and maintained by the H.O.A.
 - Front yard setbacks are staggered per requirements of PD-40 and Zoning Ordinance Section 9.3.F.
 - Lots 1-8, Block X to be used for sidewalks, trails, and landscaping. Easements for these uses are granted by this plat. Lot 1, Block X and Lot 8, Block X to be Drainage and Floodway Easements, also Hike & Bike Trails.
 - No transformers or utility pedestals shall be allowed in the sidewalk and utility easement or landscape easements.
 - This property is subject to the Windsong Ranch license agreement between VP Windsong Operations LLC (governing the installation & maintenance of street trees) and the Town of Prosper.
 - This plat is subject to the additional residential zoning standards outlined in ordinance 15.55
 - All landscape easements must be exclusive of any other type of easement, with the exception of perpendicular crossings, unless otherwise approved by Town Council.
 - Flood plain reclamation subject to engineering approval of flood study, wetland delineation study, habitat study, and vegetative study at time of Final Plat submittal.
 - Key Lot fencing restrictions exist on this plat.
 - Finished floor elevation shall be at least 2' above the 100-year floodplain.
 - Lots backing to the floodplain shall have a 25' minimum rear setback.
 - Lots siding to the floodplain shall have a 15' minimum side setback adjacent to the floodplain.
 - 13.471 acres of right-of-way being dedicated by this plat in fee simple.
 - The thoroughfare alignment(s) shown on this exhibit are for illustration purposes and does not set the alignment. The alignment is determined at time of final plat.
 - Residential lots that are allowed to back or side to the Base Floodplain and/or open space lot shall have an ornamental open metal fence along the rear and side of the lots. The lot owner is responsible for the maintenance of the fence.

LEGEND
 (Not all items may be applicable)

IRF	IRON ROD FOUND
CIRF	CLIPPED IRON ROD FOUND
CM	CONTROL MONUMENT
DE	DRAINAGE EASEMENT
UE	UTILITY EASEMENT
WE	WATER EASEMENT
SSE	SANITARY SEWER EASEMENT
SSE	SIDEWALK AND UTILITY EASEMENT - See Note 8
WME	WALL MAINTENANCE EASEMENT
HE	HOA EASEMENT
AE	ACCESS EASEMENT
BT	BY THIS PLAT
R.O.W.	RIGHT-OF-WAY
BL	BUILDING LINE
HOA	HOME OWNERS ASSOCIATION
SC	STREET NAME CHANGE
BD	BLOCK DESIGNATION
CT	10/410' TRANSFORMER EASEMENT
CM	CLUSTER MAILBOX LOCATION - Per Revised SLP
LF	LOT FRONT
KL	KEY LOT
ND	NO DRIVE ACCESS
DRDCT	DEED RECORDS, DENTON COUNTY, TEXAS
PRDCT	PLAT RECORDS, DENTON COUNTY, TEXAS
OPDCT	OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS



D22-004
 PRELIMINARY PLAT
WINDSONG RANCH PHASES 6D & 6E

69.537 GROSS ACRES
 13.471 ACRES R.O.W.
 56.066 ACRES NET OUT OF THE
 J. TEETER SURVEY ABST. NO. 1262, THE
 H. RUE SURVEY ABST. NO. 1111, THE
 B. RUE SURVEY ABST. NO. 1113, THE
 A. ROBERTS ABST. NO. 1115, AND THE
 L. NETHERLY SURVEY ABST. NO. 962
 TOWN OF PROSPER
 DENTON COUNTY, TEXAS

OWNER / APPLICANT
 VP WINDSONG OPERATIONS LLC
 130 N Preston Road, Suite 130
 Prosper, Texas 75078
 Telephone (469) 532-0681
 Contact: David Blom

ENGINEER / SURVEYOR
 Spiars Engineering, Inc.
 765 Custer Road, Suite 100
 Plano, TX 75075
 Telephone: (972) 422-0077
 TPELS No. F-2121
 Contact: Matt Dorsett
 SFL Job No. 21-273

Scale: 1" = 100'
 February, 2022

Printed by: csmth, Plot Date: 2/17/2022 10:12 AM

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS, VP Windsong Operations LLC is the owner of a tract of land situated in the J. Tetter Survey Abst. No. 1262, the H. Rue Survey Abst. No. 1111, the B. Rue Survey Abst. No. 1113, and the L. Netherly Survey Abst. No. 962 in the Town of Prosper, Denton County, Texas, according to the deed recorded in Document No. 2018-84666, Document No. 2020-104234 and Document No. 2018-142926 of the Deed Records, Denton County, Texas, the subject tract being more particularly described as follows:

BEGINNING at a point on the North East corner of lot 23 Block H Windsong Ranch Phase B, from which a 1/2" iron rod with plastic cap stamped "SPIARSENG" found on the southern line of Bridges Drive of the southern corner clip of the intersection between Bridges Drive, a 60' right-of-way with Teel Parkway, a Variable width right-of-way bears N 61°01'01" E, 617.82 feet;

THENCE S 55°54'03" E, 380.85 feet;

THENCE S 18°22'17" W, 79.15 feet;

THENCE S 52°55'25" W, 70.80 feet;

THENCE S 01°53'55" W, 128.85 feet;

THENCE S 35°45'01" W, 225.57 feet;

THENCE S 23°54'39" E, 219.25 feet;

THENCE S 10°54'01" W, 200.32 feet;

THENCE S 65°59'58" W, 191.60 feet;

THENCE N 74°06'06" W, 78.75 feet;

THENCE S 59°34'07" W, 80.83 feet;

THENCE S 32°11'26" E, 83.37 feet;

THENCE S 45°18'52" W, 241.94 feet;

THENCE N 80°07'38" W, 116.97 feet;

THENCE S 35°14'16" W, 142.08 feet;

THENCE S 10°38'28" W, 222.20 feet;

THENCE N 40°45'07" W, 321.90 feet;

THENCE N 40°45'07" W, 60.00 feet;

THENCE around a non-tangent curve to the left having a central angle of 24°05'43", a radius of 1590.00 feet, a chord of N 59°31'54" W - 663.74 feet, an arc length of 668.66 feet;

THENCE around a non-tangent curve to the left having a central angle of 03°12'39", a radius of 1025.00 feet, a chord of N 12°06'37" E - 57.43 feet, an arc length of 57.44 feet;

THENCE around a reverse curve to the right having a central angle of 03°43'03", a radius of 975.01 feet, a chord of N 12°21'49" E - 63.25 feet, an arc length of 63.26 feet;

THENCE N 61°19'54" E, 13.61 feet;

THENCE N 18°17'48" E, 50.04 feet;

THENCE around a non-tangent curve to the left having a central angle of 00°06'55", a radius of 1773.32 feet, a chord of N 71°39'23" W - 3.57 feet, an arc length of 3.57 feet;

THENCE N 28°58'43" W, 14.63 feet;

THENCE N 72°58'15" W, 50.11 feet;

THENCE S 59°54'06" W, 13.84 feet;

THENCE around a non-tangent curve to the left having a central angle of 12°52'20", a radius of 1770.00 feet, a chord of N 80°31'20" W - 396.82 feet, an arc length of 397.65 feet;

THENCE N 86°57'30" W, 154.18 feet;

THENCE around a tangent curve to the left having a central angle of 03°51'24", a radius of 525.01 feet, a chord of N 88°53'12" W - 35.33 feet, an arc length of 35.34 feet;

THENCE S 89°11'05" W, 185.25 feet;

THENCE N 45°49'03" W, 14.14 feet;

THENCE S 89°11'05" W, 60.17 feet;

THENCE N 00°50'53" W, 235.00 feet;

THENCE N 45°49'54" W, 14.15 feet;

THENCE S 89°11'05" W, 43.25 feet;

THENCE around a non-tangent curve to the right having a central angle of 25°59'26", a radius of 630.00 feet, a chord of N 77°49'14" W - 283.34 feet, an arc length of 285.78 feet;

THENCE around a non-tangent curve to the left having a central angle of 61°06'36", a radius of 20.00 feet, a chord of S 83°54'20" W - 20.33 feet, an arc length of 21.33 feet;

THENCE around a non-tangent curve to the right having a central angle of 177°24'24", a radius of 50.00 feet, a chord of N 37°56'39" W - 99.97 feet, an arc length of 154.82 feet;

THENCE N 55°48'19" W, 18.33 feet;

THENCE N 68°12'10" W, 372.30 feet;

THENCE N 12°00'00" E, 156.06 feet;

THENCE N 51°00'00" E, 46.11 feet;

THENCE S 86°30'00" E, 86.67 feet;

THENCE N 49°00'00" E, 92.68 feet;

THENCE N 33°30'00" E, 257.92 feet;

THENCE S 56°30'00" E, 266.60 feet;

THENCE around a non-tangent curve to the right having a central angle of 40°25'20", a radius of 184.92 feet, a chord of S 66°42'43" E - 127.77 feet, an arc length of 130.46 feet;

THENCE around a non-tangent curve to the left having a central angle of 50°47'20", a radius of 72.31 feet, a chord of S 68°41'15" E - 62.02 feet, an arc length of 64.10 feet;

THENCE around a non-tangent curve to the left having a central angle of 01°24'37", a radius of 573.77 feet, a chord of S 05°36'44" W - 14.12 feet, an arc length of 14.12 feet;

THENCE S 00°46'16" E, 120.50 feet;

THENCE S 89°48'08" E, 490.37 feet;

THENCE N 01°47'00" W, 450.92 feet;

THENCE N 89°11'27" E, 593.90 feet;

THENCE S 14°45'14" E, 58.47 feet;

THENCE around a tangent curve to the left having a central angle of 06°35'40", a radius of 525.00 feet, a chord of S 18°03'04" E - 60.39 feet, an arc length of 60.43 feet;

THENCE S 28°41'56" W, 12.70 feet;

THENCE S 09°56'36" E, 50.00 feet;

THENCE around a non-tangent curve to the left having a central angle of 01°38'01", a radius of 425.00 feet, a chord of N 79°14'23" E - 12.12 feet, an arc length of 12.12 feet;

THENCE S 63°03'06" E, 15.50 feet;

THENCE S 23°51'12" E, 152.79 feet;

THENCE around a non-tangent curve to the left having a central angle of 03°36'29", a radius of 1025.00 feet, a chord of S 25°39'28" E - 64.54 feet, an arc length of 64.55 feet;

THENCE S 27°27'43" E, 35.41 feet;

THENCE S 22°18'32" W, 12.92 feet;

THENCE S 15°10'31" E, 50.03 feet;

THENCE N 72°18'01" E, 10.78 feet;

THENCE S 68°08'52" E, 15.17 feet;

THENCE S 27°27'43" E, 120.81 feet;

THENCE N 67°57'05" E, 50.22 feet;

THENCE around a non-tangent curve to the left having a central angle of 09°06'46", a radius of 673.80 feet, a chord of N 60°33'27" E - 107.06 feet, an arc length of 107.17 feet;

THENCE N 59°38'50" E, 270.07 feet;

THENCE around a non-tangent curve to the right having a central angle of 24°44'45", a radius of 674.17 feet, a chord of N 73°06'26" E - 288.91 feet, an arc length of 291.17 feet;

THENCE N 82°39'44" E, 224.08 feet;

THENCE around a non-tangent curve to the left having a central angle of 03°43'34", a radius of 655.00 feet, a chord of S 37°25'33" E - 42.59 feet, an arc length of 42.60 feet, to the POINT OF BEGINNING with the subject tract containing 3,029,014 square feet or 69.537 acres of land.

ACCESS EASEMENT

The undersigned covenants and agrees that the access easement(s) may be utilized by any person or the general public for ingress and egress to other real property, and for the purpose of general public vehicular and pedestrian use and access, and for the Fire Department, Police, and emergency use in along, upon, and across said premises, with the right and privilege at all times of the Town of Prosper, its agents, employees, workmen, and representatives having ingress, egress, and regress in, along, upon, and across said premises.

LANDSCAPE EASEMENT

The undersigned covenants and agrees that the landscape easement and restrictions herein set forth shall run with the land and be binding on the owner(s) of the property in this subdivision, their successors and assigns, and all parties claiming by, through and under them. In the event a replat is requested on all or part of this property, the Town may require any similar or additional restrictions at its sole discretion. The sole responsibility for maintenance and replacement of landscape materials thereof shall be borne by any homeowners' association hereafter established for the owners of lots in this subdivision and/or the owners of the individual lots within this subdivision. Such maintenance and replacement shall be in conformance with the requirements, standards, and specifications of the Town of Prosper, as presently in effect or as may be hereafter amended. This provision may be enforced by specific performance or by any other remedy allowed by law. This Landscape Easement shall be void of utilities and other elements unless otherwise approved on the plat.

DRAINAGE AND FLOODWAY EASEMENT

This plat is hereby adopted by the Owners and approved by the Town of Prosper (Called "Town") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors and assigns: The Portions of Lots 1 and 3, Block X, as shown on the plat is called "Drainage and Floodway Easement" and is the natural drainage channel crossing each lot. The existing creek or creeks traversing along the Drainage and Floodway Easement within the limits of this addition, will remain as an open channel at all times and will be maintained by the owners of the lot or lots that are traversed by or adjacent to the drainage courses in the Drainage and Floodway Easement. The Town will not be responsible for the maintenance and operation of said creek or creeks or for any damage to private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of storm water run-off shall be permitted by construction of any type of building, fence, or any other structure within the Drainage and Floodway Easement or the natural drainage channels, as herein above defined. Provided it is understood that in the event it becomes necessary for the Town to erect or consider erecting any type of drainage structure in order to improve the storm drainage that may be occasioned by streets and alleys in or adjacent to the subdivision, then in such event, the Town shall have the right to enter upon the Drainage and Floodway Easement at any point, or points, to investigate, survey or to erect, construct, and maintain any drainage facility deemed necessary for drainage purposes. Each property owner shall keep the natural drainage channels traversing or adjacent to his property clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage through the Drainage and Floodway Easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent which cannot be definitely defined. The Town shall not be held liable for any damages of any nature resulting from the occurrence of these natural phenomena, or resulting from the failure of any structure or structures, within the natural drainage channels. Building areas outside the Drainage and Floodway Easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor elevation for each lot shall be as shown on the plat.

SURVEYOR'S CERTIFICATE

That I, Darren K. Brown, of Spiars Engineering, Inc., do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Prosper, Texas.

Dated this the ____ day of _____, 2022.

DARREN K. BROWN, R.P.L.S. NO. 5252



STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Darren K. Brown, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2022.

Notary Public, State of Texas

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT we, VP Windsong Operations LLC, acting herein by and through its duly authorized officers, does hereby certify and adopt this plat designating the herein above described property as WINDSONG RANCH PHASE 6D-6E, an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. VP Windsong Operations LLC does herein certify the following:

- 1. The streets and alleys are dedicated for street and alley purposes.
2. All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
3. The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat.
4. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
5. The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
6. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town of Prosper's use thereof.
7. The Town of Prosper and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
8. The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
9. All modifications to this document shall be by means of plat and approved by the Town of Prosper.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas.

Witness our hands at Denton County, Texas, this ____ day of _____, 2022.

VP Windsong Operations LLC
A Delaware Limited Liability Company

By: _____

Name: David R. Blom
Title: Vice President

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared DAVID R. BLOM, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2022.

Notary Public, State of Texas

CERTIFICATE OF APPROVAL

Approved this _____ day of _____, 2022 by the Planning & Zoning Commission of the Town of Prosper, Texas.

_____ Town Secretary

_____ Engineering Department

_____ Planning Department

LIEN HOLDER:

TEXAS CAPITAL BANK, a Texas state bank formerly known as Texas Capital Bank, N.A.

By: _____
Misty Lieb-Bannatyne, Sr. Vice President

STATE OF TEXAS §
COUNTY OF HARRIS §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Misty Lieb-Bannatyne, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2022

Notary Public, State of Texas

D22-0004
PRELIMINARY PLAT
WINDSONG RANCH PHASES 6D & 6E
69.537 GROSS ACRES
13.471 ACRES R.O.W.
56.066 ACRES NET OUT OF THE
J. TEETER SURVEY ABST. NO. 1262, THE
H. RUE SURVEY ABST. NO. 1111, THE
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TOWN OF PROSPER
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OWNER / APPLICANT
VP WINDSONG OPERATIONS LLC
130 N Preston Road, Suite 130
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Telephone (469) 532-0681
Contact: David Blom

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Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPELS No. F-2121
Contact: Matt Dorsett

Lot Area Table				
Lot #	Block #	Square Feet	Acres	Lot Type
23	H	23,816	0.547	B

Lot Area Table				
Lot #	Block #	Square Feet	Acres	Lot Type
10	K	11,406	0.262	B
11	K	10,657	0.245	B
12	K	10,636	0.244	B
13	K	10,110	0.232	B
14	K	9,880	0.227	B
15	K	9,880	0.227	B
16	K	9,867	0.227	B
17	K	11,403	0.262	B

Lot Area Table				
Lot #	Block #	Square Feet	Acres	Lot Type
1	L	11,413	0.262	B
2	L	12,160	0.279	B
3	L	11,959	0.275	B
4	L	11,404	0.262	B
5	L	10,553	0.242	B
6	L	14,414	0.331	B
7	L	14,090	0.323	B
8	L	11,759	0.270	B
9	L	13,411	0.308	B
10	L	12,524	0.288	B
11	L	12,429	0.285	B
12	L	12,425	0.285	B
13	L	14,357	0.330	B

Lot Area Table				
Lot #	Block #	Square Feet	Acres	Lot Type
1	M	10,673	0.245	B
2	M	9,987	0.229	B
3	M	10,133	0.233	B
4	M	10,130	0.233	B
5	M	10,125	0.232	B
6	M	10,126	0.232	B
7	M	9,918	0.228	B
8	M	9,992	0.229	B
9	M	14,888	0.342	A
10	M	9,350	0.215	A
11	M	13,191	0.303	A
12	M	12,017	0.276	A
13	M	8,613	0.198	A
14	M	8,654	0.199	A
15	M	8,726	0.200	A
16	M	8,140	0.187	A
17	M	8,117	0.186	A
18	M	8,133	0.187	A
19	M	8,117	0.186	A
20	M	8,105	0.186	A
21	M	8,612	0.198	A

Lot Area Table				
Lot #	Block #	Square Feet	Acres	Lot Type
1	N	9,794	0.225	A
2	N	8,176	0.188	A
3	N	8,204	0.188	A
4	N	8,182	0.188	A
5	N	8,142	0.187	A
6	N	8,165	0.187	A
7	N	8,023	0.184	A
8	N	7,991	0.183	A
9	N	8,252	0.189	A
10	N	8,843	0.203	A
11	N	10,277	0.236	A
12	N	10,996	0.252	A
13	N	9,379	0.215	A
14	N	11,165	0.256	A
15	N	10,849	0.249	A
16	N	9,694	0.223	A
17	N	9,271	0.213	A
18	N	10,538	0.242	A
19	N	11,669	0.268	A
20	N	11,182	0.257	A
21	N	9,756	0.224	A
22	N	9,223	0.212	A
23	N	8,868	0.204	A
24	N	8,689	0.199	A
25	N	8,661	0.199	A
26	N	8,668	0.199	A
27	N	8,669	0.199	A
28	N	8,666	0.199	A
29	N	9,747	0.224	A

Lot Area Table				
Lot #	Block #	Square Feet	Acres	Lot Type
12	D	10,219	0.235	A
13	D	8,756	0.201	A
14	D	8,756	0.201	A
15	D	8,756	0.201	A
16	D	8,756	0.201	A
17	D	8,756	0.201	A
18	D	8,756	0.201	A
19	D	8,756	0.201	A
20	D	8,594	0.197	A
21	D	9,100	0.209	A

Lot Area Table				
Lot #	Block #	Square Feet	Acres	Lot Type
10	E	10,880	0.250	E
11	E	6,827	0.157	E
12	E	6,827	0.157	E
13	E	6,827	0.157	E
14	E	6,827	0.157	E
15	E	6,827	0.157	E
16	E	6,827	0.157	E
17	E	6,827	0.157	E
18	E	6,827	0.157	E
19	E	6,827	0.157	E
20	E	6,932	0.159	E

Lot Area Table				
Lot #	Block #	Square Feet	Acres	Lot Type
1	Q	10,524	0.242	E
2	Q	6,915	0.159	E
3	Q	6,612	0.152	E
4	Q	6,550	0.150	E
5	Q	6,550	0.150	E
6	Q	6,550	0.150	E
7	Q	6,550	0.150	E
8	Q	6,550	0.150	E
9	Q	6,550	0.150	E
10	Q	6,550	0.150	E
11	Q	6,550	0.150	E
12	Q	8,616	0.198	E
13	Q	9,009	0.207	E
14	Q	6,550	0.150	E
15	Q	6,550	0.150	E
16	Q	6,550	0.150	E
17	Q	6,550	0.150	E
18	Q	6,550	0.150	E
19	Q	6,550	0.150	E
20	Q	6,550	0.150	E
21	Q	6,550	0.150	E
22	Q	6,550	0.150	E
23	Q	6,605	0.152	E
24	Q	7,218	0.166	E
25	Q	10,707	0.246	E

Open Space Area Table		
Lot #	Block #	Acres
1	X	4.666
2	X	0.079
3	X	0.067
4	X	1.886
5	X	0.132
6	X	0.139
7	X	0.139
8	X	8.770

Lot Area Table				
Lot #	Block #	Square Feet	Acres	Lot Type
1	R	9,417	0.216	A
2	R	8,197	0.188	A
3	R	7,985	0.183	A
4	R	7,571	0.174	A
5	R	7,634	0.175	A
6	R	7,775	0.178	A
7	R	8,378	0.192	A
8	R	12,207	0.280	A
9	R	11,162	0.256	A
10	R	10,742	0.247	A
11	R	10,533	0.242	A
12	R	11,150	0.256	A
13	R	13,048	0.300	A

Lot Area Table				
Lot #	Block #	Square Feet	Acres	Lot Type
1	S	8,452	0.194	E
2	S	7,100	0.163	E
3	S	7,102	0.163	E
4	S	7,103	0.163	E
5	S	7,105	0.163	E
6	S	7,106	0.163	E
7	S	7,108	0.163	E
8	S	7,109	0.163	E
9	S	7,111	0.163	E
10	S	7,112	0.163	E
11	S	7,114	0.163	E
12	S	7,115	0.163	E
13	S	7,117	0.163	E
14	S	7,119	0.163	E
15	S	8,513	0.195	E
16	S	8,021	0.184	E
17	S	6,723	0.154	E
18	S	6,725	0.154	E
19	S	6,726	0.154	E
20	S	6,745	0.155	E
21	S	6,818	0.157	E
22	S	6,898	0.158	E
23	S	6,977	0.160	E
24	S	7,057	0.162	E
25	S	7,104	0.163	E
26	S	7,107	0.163	E
27	S	7,109	0.163	E
28	S	7,110	0.163	E
29	S	7,112	0.163	E
30	S	8,482	0.195	E

Lot Area Table				
Lot #	Block #	Square Feet	Acres	Lot Type
1	T	13,371	0.307	A
2	T	9,566	0.220	A
3	T	9,846	0.226	A
4	T	11,285	0.259	A
5	T	8,558	0.196	E
6	T	7,108	0.163	E
7	T	6,887	0.158	E
8	T	6,714	0.154	E
9	T	6,631	0.152	E
10	T	6,591	0.151	E
11	T	6,574	0.151	E
12	T	6,562	0.151	E
13	T	6,577	0.151	E
14	T	6,738	0.155	E
15	T	9,396	0.216	E
16	T	7,699	0.177	E
17	T	7,280	0.167	E
18	T	9,388	0.216	E
19	T	7,750	0.178	E
20	T	7,011	0.161	E
21	T	6,544	0.150	E
22	T	6,619	0.152	E
23	T	6,716	0.154	E
24	T	7,001	0.161	E
25	T	7,093	0.163	E
26	T	7,225	0.166	E
27	T	7,395	0.170	E
28	T	8,753	0.201	E

Lot Area Table				
Lot #	Block #	Square Feet	Acres	Lot Type
1	U	12,145	0.279	A
2	U	11,246	0.258	A
3	U	9,808	0.225	A
4	U	10,039	0.230	A
5	U	10,089	0.232	A
6	U	10,436	0.240	A
7	U	9,053	0.208	A
8	U	8,605	0.198	A
9	U	8,607	0.198	A
10	U	8,607	0.198	A
11	U	9,207	0.211	A

Boundary Line Table		
Line #	Length	Direction
BL1	380.85'	N 55°54'03" W
BL2	79.15'	S 18°22'17" W
BL3	70.80'	S 52°55'25" W
BL4	128.85'	S 01°53'55" W
BL5	225.57'	S 35°45'01" W
BL6	219.25'	S 23°54'39" E
BL7	200.32'	S 10°54'01" W
BL8	191.60'	S 65°59'58" W
BL9	177.75'	N 74°06'06" W
BL10	80.83'	S 59°34'07" W
BL11	83.37'	S 32°11'26" E
BL12	241.94'	S 45°18'52" W
BL13	116.97'	N 80°07'38" W
BL14	142.08'	S 35°14'16" W
BL15	222.20'	S 10°38'28" W
BL16	321.90'	N 40°45'07" W
BL17	60.00'	N 40°45'07" W
BL18	13.61'	N 61°19'54" E
BL19	50.04'	N 18°17'48" E
BL20	14.63'	N 28°58'43" W
BL21	50.11'	N 72°58'15" W
BL22	13.84'	S 59°54'06" W
BL23	154.18'	N 86°57'30" W
BL24	185.25'	S 89°11'05" W
BL25	14.14'	N 45°49'03" W
BL26	60.17'	S 89°11'05" W
BL27	235.00'	S 00°50'53" E
BL28	14.15'	S 45°49'54" E
BL29	43.25'	N 89°11'05" E
BL30	18.33'	S 55°48'19" E
BL31	372.30'	N 68°12'10" W
BL32	156.06'	N 12°00'00" E
BL33	46.11'	N 51°00'00" E
BL34	86.67'	S 86°30'00" E
BL35	92.68'	N 49°00'00" E
BL36	257.92'	N 33°30'00" E
BL37	266.60'	S 56°30'00" E
BL38	120.50'	S 00°46'16" E
BL39	490.37'	S 89°48'08" E
BL40	450.92'	N 01°47'00" W
BL41	593.90'	N 89°11'27" E
BL42	58.47'	S 14°45'14" E
BL43	12.70'	S 28°41'56" W
BL44	50.00'	S 09°56'36" E
BL45	15.50'	S 63°03'06" E
BL46	152.79'	S 23°51'12" E
BL47	35.41'	S 27°27'43" E
BL48	12.92'	S 22°18'32" W
BL49	50.03'	S 15°10'31" E
BL50	10.78'	N 72°18'01" E
BL51	15.17'	S 68°08'52" E
BL52	120.81'	S 27°27'43" E
BL53	50.22'	N 67°57'05" E
BL54	270.07'	N 59°3



Prosper is a place where everyone matters.

RESULTS

Agenda

Prosper Town Council Meeting
Council Chambers
Prosper Town Hall
250 W. First Street, Prosper, Texas
Tuesday, February 08, 2022
5:45 PM

Notice Regarding Public Participation

Welcome to the Prosper Town Council. Individuals may attend the meeting in person, or access the meeting via videoconference, or telephone conference call.

Join the Zoom Meeting by clicking on the following link: <https://us02web.zoom.us/j/87189889684>

To join the meeting by phone, dial (346) 248-7799

Enter Meeting ID: 8718 988 9684

Addressing the Town Council:

Those wishing to address the Town Council must complete the [Public Comment Request Form](#) located on the Town website or in Council Chambers.

If you are attending in person, please submit this form to the Town Secretary prior to the meeting. When called upon, please come to the podium and state your name and address for the record.

If you are attending online/virtually, please submit this form to the Town Secretary prior to 5:00 p.m. on the day of the meeting. Please ensure your full name appears on the screen and you are unmuted so the meeting moderator can recognize you and allow you to speak. The Chat feature is not monitored during the meeting. The Town assumes no responsibility for technical issues that are beyond our control.

If you encounter any problems joining or participating in the meeting, please call our help line at 972-569-1191 for assistance.

Call to Order/ Roll Call.

Invocation, Pledge of Allegiance and Pledge to the Texas Flag.

Announcements of recent and upcoming events.

CONSENT AGENDA: APPROVED 7-0

Items placed on the Consent Agenda are considered routine in nature and non-controversial. The Consent Agenda can be acted upon in one motion. Items may be removed from the Consent Agenda by the request of Council Members or staff.

1. Consider and act upon the minutes from the January 25, 2022, Town Council meeting. (MLS)
2. Receive the December Financial Report. (BP)

3. Receive the Quarterly Investment Report. (BP)
4. Consider and act upon an ordinance ordering a General Election to be held on May 7, 2022, for the purpose of electing a Mayor; Councilmember Place 1 and Councilmember Place 4; Designating location of polling places; Ordering notices of election to be given as prescribed by law and authorizing the Town Manager to execute joint election contracts with Collin County and Denton County Election Departments, and the Prosper Independent School District. (MLS)
5. Consider and act upon authorizing the Town Manager to execute a Professional Services Agreement between D&S Engineering Labs, LLC, (D&S), and the Town of Prosper, Texas, related to construction materials testing for the Central Fire Station and Fire Administration Facility project. (SB)
6. Consider and act upon an ordinance amending Section 12.09.003 "Speed Limits on Specific Streets" of Chapter 12 "Traffic and Vehicles" of the Town's Code of Ordinances by modifying the prima facie speed limits on certain streets. (HW)
7. Consider and act upon an ordinance for a Specific Use Permit (SUP) for a Restaurant with Drive-Through Service in the Shops at Prosper Trail, on 1.1± acres, located on the east side of Preston Road, north of Prosper Trail. The property is zoned Planned Development-68 (PD-68). (S21-0005). (AG)
8. Consider and act upon authorizing the Town Manager to execute a Development Agreement between And Go Concepts, LLC, and the Town of Prosper, Texas, related to the Shops at Prosper Trail development. (AG)
9. Consider and act upon an ordinance to update the Implementation Plan in the Comprehensive Plan to include Sub-Objective 1.3.1 and add Appendix, Exhibit One, which contains the Dallas North Tollway (DNT) Design Guidelines. (KD)
10. Consider and act upon whether to direct staff to submit a written notice of appeal on behalf of the Town Council to the Development Services Department, pursuant to Chapter 4, Section 1.5(C)(7) and 1.6(B)(7) of the Town's Zoning Ordinance, regarding action taken by the Planning & Zoning Commission on any Site Plan or Preliminary Site Plan, including Swig in Windsong Ranch Marketplace. (AG)

CITIZEN COMMENTS

The public is invited to address the Council on any topic. However, the Council is unable to discuss or take action on any topic not listed on this agenda. Please complete a "Public Comment Request Form" and present it to the Town Secretary prior to the meeting.

REGULAR AGENDA:

If you wish to address the Council, please fill out a "Public Comment Request Form" and present it to the Town Secretary, preferably before the meeting begins. Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Council for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may either address the Council during the Citizen Comments portion of the meeting or when the item is considered by the Town Council.

Possibly direct Town staff to schedule topic(s) for discussion at a future meeting.

11. Discuss the Town Logo and Rebranding project. (RB)

12. Receive an update regarding the Development and Infrastructure Services Departments Customer Service Survey conducted by Matrix Consulting Group. (RZ)

EXECUTIVE SESSION:

Recess into Closed Session in compliance with Section 551.001 et seq. Texas Government Code, as authorized by the Texas Open Meetings Act, to deliberate regarding:

Section 551.087 – To discuss and consider Economic Development Incentives and all matters incident and related thereto.

Section 551.072 – To discuss and consider purchase, exchange, lease or value of real property for municipal purposes and all matters incident and related thereto.

Section 551.074 – To discuss and consider personnel matters and all matters incident and related thereto.

Section 551.074 - To discuss and consider the Town Manager's performance review.

Section 551.071 - To consult with the Town Attorney regarding intergovernmental agreement between the Town and the US Government, and all matters incident and related thereto.

Reconvene in Regular Session and take any action necessary as a result of the Closed Session.

Adjourn.

CERTIFICATION

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted at Prosper Town Hall, located at 250 W. First Street, Prosper, Texas 75078, a place convenient and readily accessible to the general public at all times, and said Notice was posted by 5:00 p.m., on Friday, February 4, 2022, and remained so posted at least 72 hours before said meeting was convened.

Michelle Lewis Sirianni, Town Secretary

Date Notice Removed

Pursuant to Section 551.071 of the Texas Government Code, the Town Council reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

NOTICE

Pursuant to Town of Prosper Ordinance No. 13-63, all speakers other than Town of Prosper staff are limited to three (3) minutes per person, per item, which may be extended for an additional two (2) minutes with approval of a majority vote of the Town Council.

NOTICE OF ASSISTANCE AT PUBLIC MEETINGS: The Prosper Town Council meetings are wheelchair accessible. For special services or assistance, please contact the Town Secretary's Office at (972) 569-1011 at least 48 hours prior to the meeting time.