

AGENDA
Regular Meeting of the
Prosper Planning & Zoning Commission
Prosper Town Hall
Council Chambers
250 W. First Street, Prosper, Texas
Tuesday, March 1, 2022, 6:00 p.m.

Notice Regarding Public Participation

Welcome to the Planning & Zoning Commission meeting. Individuals may attend the meeting in person, or access the meeting via videoconference, or telephone conference call.

To access the videoconference online, follow these instructions:

Join the Zoom Meeting by clicking on the following link: <https://us02web.zoom.us/j/81847978852>

Enter Meeting ID: 818 4797 8852

To request to speak, click on "Participants" at the bottom of the screen, and click "Raise Hand." The meeting moderator will acknowledge your request and allow you to speak.

To join the meeting by phone, dial any one of the following numbers: +1 346 248 7799

Enter Meeting ID: 818 4797 8852

To request to speak, enter *9. The meeting moderator will acknowledge your request and allow you to speak.

Addressing the Planning & Zoning Commission:

- Those wishing to address the Commission must complete the [Public Comment Request Form](#) located on the Town website or in Council Chambers.
- **If you are attending in person**, please submit this form to the Board Chair or a staff member prior to the meeting. When called upon, please come to the podium and state your name and address for the record.
- **If you are attending online/virtually**, please submit this form prior to 5:00 p.m. on the day of the meeting. Please ensure your full name appears on the screen and you are unmuted so the meeting moderator can recognize you and allow you to speak. The Chat feature is not monitored during the meeting. The Town assumes no responsibility for technical issues that are beyond our control.

If you encounter any problems joining or participating in the meeting, please call our help line at 972-569-1191 for assistance.

Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may address the Commission when the item is considered by the Planning & Zoning Commission.

1. Call to Order / Roll Call
2. Pledge of Allegiance

3. CONSENT AGENDA

(Items placed on the Consent Agenda are considered routine in nature and are considered non-controversial. The Consent Agenda can be acted upon in one motion. A Planning & Zoning Commissioner may remove any item for discussion and separate action. Planning & Zoning Commissioners may vote nay on any single item without comment and may submit written comments as part of the official record.)

- 3a.** Consider and act upon minutes from the February 15, 2022, Planning & Zoning Commission Regular meeting.
- 3b.** Consider and act upon a Preliminary Plat for Dominion at Brookhollow, for 154 townhome lots, and seven (7) HOA/open space lots, on 27.7± acres, located on the west side of Lakewood Drive, north of US 380. The property is zoned Planned Development-111 (PD-111). (D22-0003).
- 3c.** Consider and act upon a Site Plan for a multitenant retail/medical office building (Preston Commons), on 1.6± acres, located on the northwest corner of Preston Road and Broadway Street. The property is zoned Retail (R). (D22-0007).
- 3d.** Consider and act upon a Final Plat for Preston Commons, Block A, Lot 1, on 1.6± acres, located on the northwest corner of Preston Road and Broadway Street. The property is zoned Retail (R). (D22-0008).
- 3e.** Consider and act upon a Site Plan for a Golf Bay at Prosper High School, on 103.0± acres, located on the southwest corner of Frontier Parkway and Victory Way. The property is zoned Planned Development-22 (PD-22). (D22-0012).

REGULAR AGENDA

If you wish to address the Planning & Zoning Commission, please fill out a "Public Meeting Appearance Card" and present it to the Chair, preferably before the meeting begins. Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Planning & Zoning Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may address the Commission when the item is considered by the Planning & Zoning Commission.

- 4.** Consider and act upon a Site Plan, Landscape Plan, and Façade Plan for a restaurant with drive-through service (Salad and Go), in the Shops at Prosper Trail development, on 1.1± acres, located on the east side of Preston Road, north of Prosper Trail. The property is zoned Planned Development-68 (PD-68) and Specific Use Permit-39 (S-39). (D22-0011).
- 5.** Consider and act upon a Preliminary Site Plan for an office development (CHC Prosper Trail), including Solid Living Screening, on 4.0± acres, located on the north side of Prosper Trail, west of Shawnee Trail. The property is zoned Office (O). (D21-0136).
- 6.** Consider and act upon a Site Plan for a restaurant (Prosper Wine House), on 0.2± acres, located on the south side of Broadway Street, west of Main Street. The property is zoned Downtown Retail (DTR). (D22-0009).
- 7.** Conduct a Public Hearing and consider and act upon a request for a Specific Use Permit for a Restaurant with Drive-Through Service, in Victory at Frontier, on 1.6± acres, located on the south side of Frontier Parkway, west of Preston Road. The property is zoned Planned Development-10 (PD-10). (S22-0001).

8. Conduct a Public Hearing, and consider and act upon a request to amend Planned Development-94 (PD-94), for the Westside Development, on 64.5± acres, northeast corner of US 380 and FM 1385, regarding hotel uses and development standards. (Z22-0001).
9. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.
10. Adjourn.

Note: The order in which items are heard on the agenda is subject to change.

CERTIFICATION

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted at Prosper Town Hall, located at 250 W. First Street, Prosper, Texas 75078, a place convenient and readily accessible to the general public at all times, and said Notice was posted by 5:00 p.m., on Friday, February 25, 2022, and remained so posted at least 72 hours before said meeting was convened.

Michelle Lewis Sirianni, Town Secretary

Date Notice Removed

Pursuant to Section 551.071 of the Texas Government Code, the Town Council reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

NOTICE

Pursuant to Town of Prosper Ordinance No. 13-63, all speakers other than Town of Prosper staff are limited to three (3) minutes per person, per item, which may be extended for an additional two (2) minutes with approval of a majority vote of the Town Council.

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| NOTICE OF ASSISTANCE AT PUBLIC MEETINGS: The Prosper Town Hall is wheelchair accessible. For special services or assistance, please contact the Town Secretary's Office at (972) 569-1011 at least 48 hours prior to the meeting time. |
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MINUTES
Regular Meeting of the
Prosper Planning & Zoning Commission
Prosper Town Hall
Council Chambers
250 W. First Street, Prosper, Texas
Tuesday, February 15, 2022, 6:00 p.m.

1. Call to Order/ Roll Call

The meeting was called to order at 6:00 p.m.

Commissioners present: Chair Brandon Daniel, Secretary Mike Pettis, Doug Charles, Damon Jackson, and Chris Kern.

Commissioners absent: Vice-Chair Sarah Peterson and Sekou Harris.

Staff present: Alex Glushko, Planning Manager and Evelyn Mendez, Planning Technician.

2. Recitation of the Pledge of Allegiance.

3. CONSENT AGENDA

- 3a. Consider and act upon minutes from the February 1, 2022, Planning & Zoning Commission Regular meeting.**
- 3b. Consider and act upon a Final Plat for Star Trail, Phase 11, for 122 single family residential lots, and three (3) HOA/open space lots, on 36.2± acres, located west of Legacy Drive, south of Prosper Trail. The property is zoned Planned Development-66 (PD-66). (D21-0069).**
- 3c. Consider and act upon a Revised Preliminary Site Plan for Restaurant with Drive-Through Service in the Shops at Prosper Trail, on 1.1± acres, located on the east side of Preston Road, north of Prosper Trail. The property is zoned Planned Development-68 (PD-68). (D21-0126).**
- 3d. Consider and act upon a Site Plan for Prosper Center Office, on 5.6± acres, located on the northwest corner of Mahard Parkway and Prairie Drive. The property is zoned Office (O). (D21-0131).**
- 3e. Consider and act upon a Revised Preliminary Site Plan for Prosper Business Park, on 27.0± acres, located on the southeast corner of Cook Lane and Industry Way. The property is zoned Planned Development-26 (PD-26). (D22-0002).**
- 3f. Consider and act upon a Preliminary Plat for Windsong Ranch, Phases 6D & 6E, for 200 single family residential lots, and eight (8) HOA/open space lots, on 69.5± acres, located on the east side of Good Hope Road, south of Parvin Road. The property is zoned Planned Development-40 (PD-40). (D22-0004)..**

Motion by Charles, second by Pettis, to approve the Consent Agenda, subject to staff recommendations. Motion approved 5-0.

REGULAR AGENDA

- 4. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.**

Glushko: Provided a summary of recent action taken by Town Council.

- 5. Adjourn.**

Motion by Jackson, second by Pettis, to adjourn. Motion approved 5-0 at 6:03 p.m.

Evelyn Mendez, Planning Technician

Michael Pettis, Secretary



PLANNING

To: Planning & Zoning Commission

Item No. 3b

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – March 1, 2022

Agenda Item:

Consider and act upon a Preliminary Plat for Dominion at Brookhollow, for 154 townhome lots, and seven (7) HOA/open space lots, on 27.7± acres, located on the west side of Lakewood Drive, north of US 380. The property is zoned Planned Development-111 (PD-111). (D22-0003).

Description of Agenda Item:

Planned Development-111 was approved in September 2021, which allowed for the reallocation and reduction of total townhome lots to 225 located on the subject property. The proposed Preliminary Plat shows 154 townhomes lots and seven (7) HOA/open space lots. The townhome units in this development consist of two (2) attached units per building. Access is provided from Richland Boulevard and Lakewood Drive.

As shown below, ten (10) of the proposed townhome lots do not front on a public street, and instead front on a common area, also known as a mews, which is owned and maintained by the Homeowner's Association. The Subdivision Ordinance requires all lots to front on a public street; however, the ordinance also provides for a waiver to this requirement, either administratively or by Town Council. It is not uncommon for townhome lots to front onto a mews. The existing townhome development located in Windsong Ranch also includes the same condition. Staff is supportive of this request, and is recommending Planning & Zoning Commission approval of the plat, subject to approval of a waiver by the appropriately deemed authority.

HOA Common Area/Mews Frontage



Attached Documents:

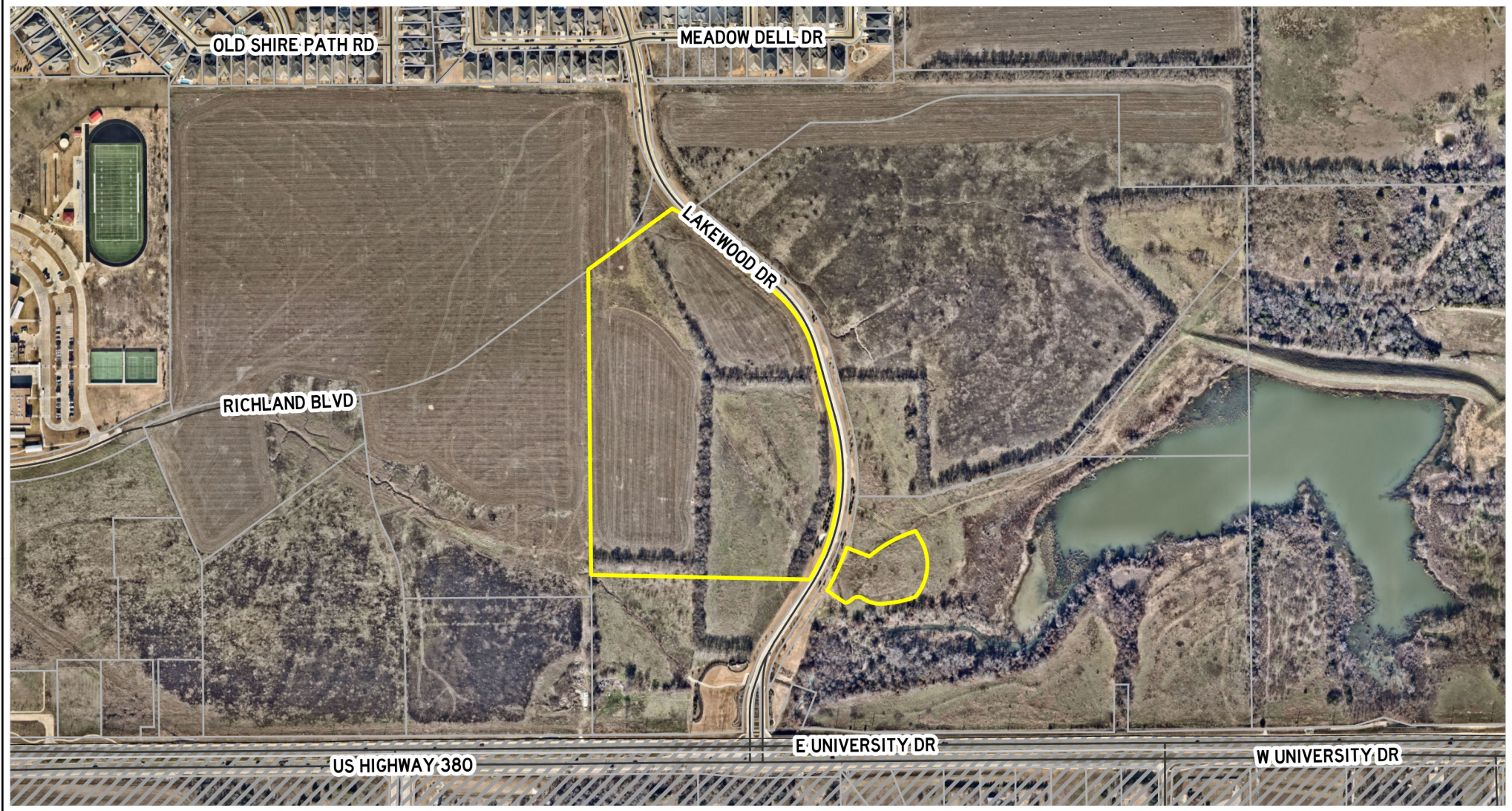
1. Location Map
2. Preliminary Plat

Staff Recommendation:

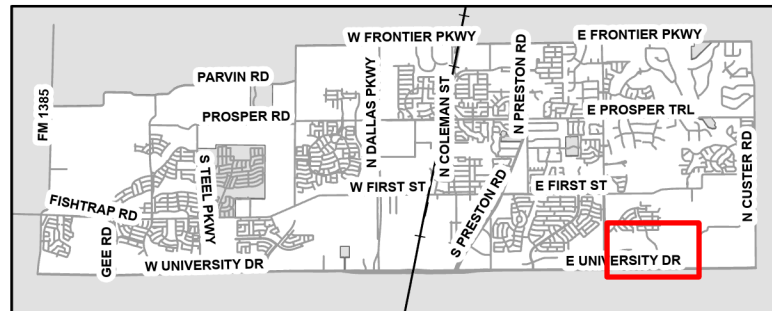
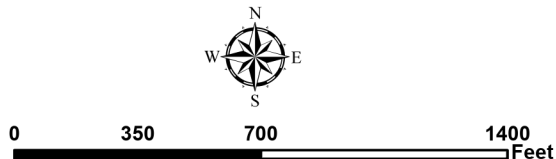
Staff recommends approval of the Preliminary Plat subject to:

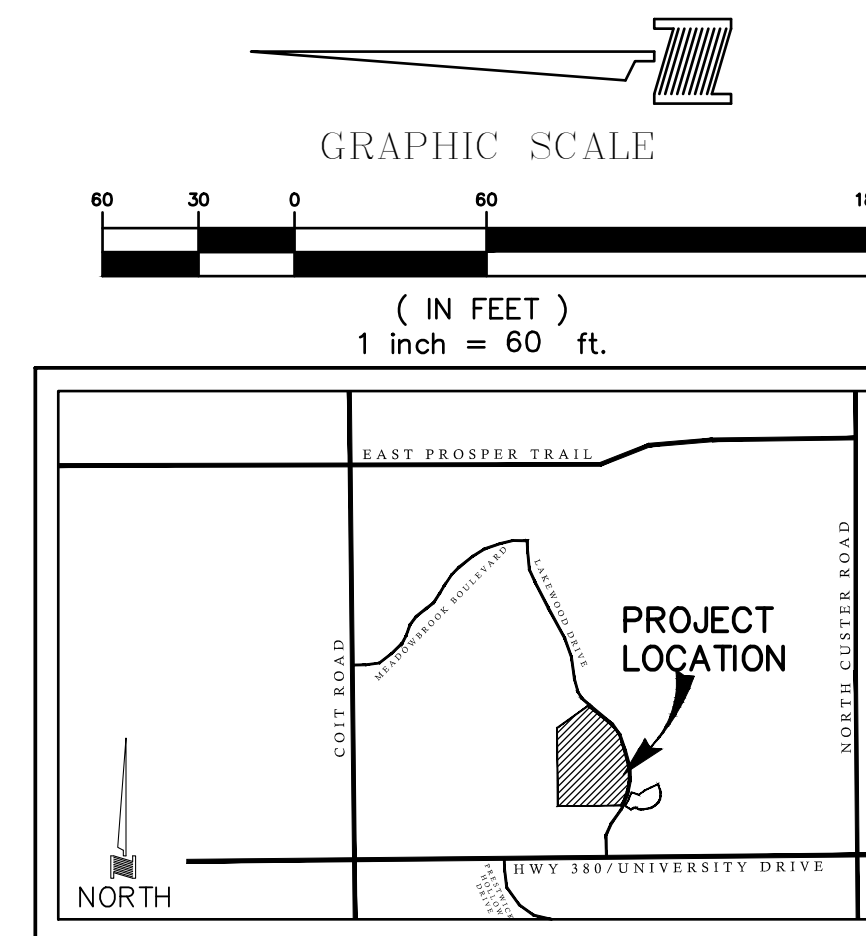
1. Approval of a subdivision waiver to allow lots to front on a mews in lieu of a public street.
2. Staff approval of all additions and/or alterations to the easements and dedications on the Preliminary Plat, including hike and bike trail easements on open space lots.
3. Staff approval of all preliminary water, sewer, and drainage plans.

D22-0003 - Dominion at Brookhollow



This map is for illustration purposes only.





- NOTES:**
1. DEVELOPER TO BUILD ALL SIDEWALKS WITHIN HOA LOTS.
 2. ALL DEVELOPMENT WILL COMPLY WITH ALL ZONING & SUBDIVISION ORDINANCE REQUIREMENTS.
 3. OPEN SPACE & COMMON AREA LOTS SHALL BE DEDICATED AS LANDSCAPING, TRAILS, & PEDESTRIAN ACCESS EASEMENTS TO BE OWNED AND MAINTAINED BY THE HOA.
 4. THE THOROUGHFARE ALIGNMENTS SHOWN ON THIS EXHIBIT ARE FOR ILLUSTRATION PURPOSES & DO NOT SET THE ALIGNMENT. THE ALIGNMENT IS DETERMINED AT TIME OF FINAL PLAN.
 5. SELLING A PORTION OF THIS MEETS & BOUNDS IS A VIOLATION OF TOWN ORDINANCE & STATE LAW & IS SUBJECT TO A FINE & WITHHOLDING OF UTILITIES & BUILDING PERMITS.
 6. ALL POSTS AND/OR SIGNS SHALL BE IDENTICAL TO THOSE ALREADY KNOWN. "NO PARKING" SIGNS TO BE INSTALLED ALONG THE LANDSCAPE/OPEN SPACE SIDE.
 7. BASIS OF BEARINGS DERIVED FROM THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, TEXAS NORTH CENTRAL ZONE (4202).
 8. ALL LOT CORNERS SHALL BE MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW STAINLESS CAP STAMPED TO UNLESS OTHERWISE NOTED.
 9. "X" CUTS SET IN CONCRETE STREET PAVING AT ALL INTERSECTIONS & POINTS OF CURVATURE.
 10. PROJECT WILL BE PLATED AS ONE PHASE.
 11. LANDSCAPE EASEMENT MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
 12. FENCING ALONG RESIDENTIAL THOROUGHFARE TO BE ORNAMENTAL OPEN FENCING IN ADDITION WITH MASONRY COLUMNS PER TOWN REQUIREMENTS.
 13. BERMS SHALL BE CONSTRUCTED WITHIN THE LANDSCAPE EASEMENT ALONG LAKEWOOD DRIVE AND RICHMOND BOULEVARD. THE BERMS SHALL BE CONSTRUCTED PER SUBDIVISION ORDINANCE AND SHALL NOT EXCEED A 3:1 SLOPE.

LEGEND

| | |
|--------|-------------------------|
| (X) | BLOCK DESIGNATION |
| LB | LANDSCAPE BUFFER |
| D.E. | DRAINAGE EASEMENT |
| S.S.E. | SANITARY SEWER EASEMENT |
| □ | 36.1' DUPLEX |
| △ | 40' DUPLEX |

| LOT COUNTS | |
|-------------------|-----|
| TYPE 36.1' DUPLEX | 16 |
| TYPE 40' DUPLEX | 138 |
| TOTAL LOTS | 154 |

TOTAL DENSITY 154 LOTS/27.701 ACRES
= 5.763 LOTS/ACRE
154 LOTS DEVELOPED TO
PD-90-ORD. NO. 2021.52-MIXED USE-TRACT A

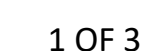
D22-0003
PRELIMINARY PLAT
THE DOMINION AT BROOKHOLLOW
154 TOTAL RESIDENTIAL LOTS
7 HOA LOTS
27.701 ACRES
5.763 LOT/ACRE DENSITY

I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948
AN ADDITION TO THE TOWN OF PROSPER,
COLLIN COUNTY, TEXAS
FEBRUARY 2022 SCALE: 1" = 60'

OWNER
55 PROSPER. L.P.
3794 UNIT C WEST HIGHWAY 67,
GLEN ROSE TX 76043,
CONTACT: AARON RICHARDS
PHONE: 254-897-7881



ENGINEER/APPLICANT
DOWDEY, ANDERSON & ASSOCIATES, INC.
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694
 STATE REGISTRATION NUMBER: F-399



| LOT AREA TABLE | | | |
|----------------|-------|-----------|-----------|
| LOT | BLOCK | AREA (SF) | AREA (AC) |
| 1A | A | 6016 | 0.14 |
| 1B | A | 4200 | 0.10 |
| 2A | A | 4200 | 0.10 |
| 2B | A | 4200 | 0.10 |
| 3A | A | 4200 | 0.10 |
| 3B | A | 4200 | 0.10 |
| 4A | A | 4200 | 0.10 |
| 4B | A | 4200 | 0.10 |
| 5A | A | 4200 | 0.10 |
| 5B | A | 4200 | 0.10 |
| 6A | A | 4200 | 0.10 |
| 6B | A | 4200 | 0.10 |
| 7A | A | 4200 | 0.10 |
| 7B | A | 4200 | 0.10 |
| 8A | A | 4200 | 0.10 |
| 8B | A | 4200 | 0.10 |
| 9A | A | 4200 | 0.10 |
| 9B | A | 4200 | 0.10 |
| 10A | A | 4200 | 0.10 |
| 10B | A | 3819 | 0.09 |

| LOT AREA TABLE | | | |
|----------------|-------|-----------|-----------|
| LOT | BLOCK | AREA (SF) | AREA (AC) |
| 1A | B | 6337 | 0.15 |
| 1B | B | 4200 | 0.10 |
| 2A | B | 4200 | 0.10 |
| 2B | B | 4200 | 0.10 |
| 3A | B | 4200 | 0.10 |
| 3B | B | 4200 | 0.10 |
| 4A | B | 4200 | 0.10 |
| 4B | B | 4200 | 0.10 |
| 5A | B | 4200 | 0.10 |
| 5B | B | 4200 | 0.10 |
| 6A | B | 4200 | 0.10 |
| 6B | B | 4200 | 0.10 |
| 7A | B | 4200 | 0.10 |
| 7B | B | 4200 | 0.10 |
| 8A | B | 4200 | 0.10 |
| 8B | B | 4200 | 0.10 |
| 9A | B | 4200 | 0.10 |
| 9B | B | 4200 | 0.10 |
| 10A | B | 4200 | 0.10 |
| 10B | B | 4428 | 0.10 |
| 11A | B | 4428 | 0.10 |
| 11B | B | 4200 | 0.10 |

| LOT AREA TABLE | | | |
|----------------|-------|-----------|-----------|
| LOT | BLOCK | AREA (SF) | AREA (AC) |
| 12A | B | 4200 | 0.10 |
| 12B | B | 4200 | 0.10 |
| 13A | B | 4200 | 0.10 |
| 13B | B | 4200 | 0.10 |
| 14A | B | 3790 | 0.09 |
| 14B | B | 3790 | 0.09 |
| 15A | B | 4200 | 0.10 |
| 15B | B | 4200 | 0.10 |
| 16A | B | 4200 | 0.10 |
| 16B | B | 4200 | 0.10 |
| 17A | B | 4200 | 0.10 |
| 17B | B | 4200 | 0.10 |
| 18A | B | 3790 | 0.09 |
| 18B | B | 3790 | 0.09 |
| 19A | B | 4200 | 0.10 |
| 19B | B | 4200 | 0.10 |
| 20A | B | 4200 | 0.10 |
| 20B | B | 4249 | 0.10 |
| 21A | B | 4414 | 0.10 |
| 21B | B | 4960 | 0.11 |

| LOT AREA TABLE | | | |
|----------------|-------|-----------|-----------|
| LOT | BLOCK | AREA (SF) | AREA (AC) |
| 1A | C | 5655 | 0.13 |
| 1B | C | 4305 | 0.10 |
| 2A | C | 4202 | 0.10 |
| 2B | C | 4200 | 0.10 |
| 3A | C | 4200 | 0.10 |
| 3B | C | 4200 | 0.10 |
| 4A | C | 4200 | 0.10 |
| 4B | C | 4200 | 0.10 |
| 5A | C | 4200 | 0.10 |
| 5B | C | 4200 | 0.10 |
| 6A | C | 4200 | 0.10 |
| 6B | C | 4200 | 0.10 |
| 7A | C | 4200 | 0.10 |
| 7B | C | 4200 | 0.10 |
| 8A | C | 4200 | 0.10 |
| 8B | C | 4200 | 0.10 |
| 9A | C | 4200 | 0.10 |
| 9B | C | 4200 | 0.10 |
| 10A | C | 4200 | 0.10 |
| 10B | C | 4200 | 0.10 |
| 11A | C | 4200 | 0.10 |
| 11B | C | 4200 | 0.10 |

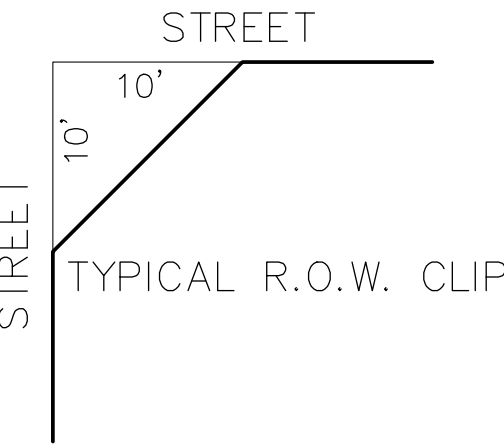
| LOT AREA TABLE | | | |
|----------------|-------|-----------|-----------|
| LOT | BLOCK | AREA (SF) | AREA (AC) |
| 12A | C | 5655 | 0.13 |
| 12B | C | 4200 | 0.10 |
| 13A | C | 4200 | 0.10 |
| 13B | C | 4200 | 0.10 |
| 14A | C | 4200 | 0.10 |
| 14B | C | 3790 | 0.09 |
| 15A | C | 3791 | 0.09 |
| 15B | C | 3790 | 0.09 |
| 16A | C | 4200 | 0.10 |
| 16B | C | 4200 | 0.10 |
| 17A | C | 4200 | 0.10 |
| 17B | C | 4200 | 0.10 |
| 18A | C | 3791 | 0.09 |
| 18B | C | 3790 | 0.09 |
| 19A | C | 4200 | 0.10 |
| 19B | C | 4200 | 0.10 |
| 20A | C | 3790 | 0.09 |
| 20B | C | 3790 | 0.09 |
| 21A | C | 4200 | 0.10 |
| 21B | C | 4200 | 0.10 |
| 22A | C | 4112 | 0.09 |
| 22B | C | 4023 | 0.09 |

| LOT AREA TABLE | | | |
|----------------|-------|-----------|-----------|
| LOT | BLOCK | AREA (SF) | AREA (AC) |
| 1A | D | 4158 | 0.10 |
| 1B | D | 4200 | 0.10 |
| 2A | D | 4200 | 0.10 |
| 2B | D | 4200 | 0.10 |
| 3A | D | 4200 | 0.10 |
| 3B | D | 4200 | 0.10 |
| 4A | D | 3790 | 0.09 |
| 4B | D | 3791 | 0.09 |
| 5A | D | 4200 | 0.10 |
| 5B | D | 4200 | 0.10 |
| 6A | D | 4200 | 0.10 |
| 6B | D | 4200 | 0.10 |
| 7A | D | 3791 | 0.09 |
| 7B | D | 3791 | 0.09 |
| 8A | D | 3790 | 0.09 |
| 8B | D | 4200 | 0.10 |
| 9A | D | 4200 | 0.10 |
| 9B | D | 4200 | 0.10 |
| 10A | D | 4200 | 0.10 |
| 10B | D | 4428 | 0.10 |

| LOT AREA TABLE | | | |
|----------------|-------|-----------|-----------|
| LOT | BLOCK | AREA (SF) | AREA (AC) |
| 11A | D | 4428 | 0.10 |
| 11B | D | 4200 | 0.10 |
| 12A | D | 4200 | 0.10 |
| 12B | D | 4200 | 0.10 |
| 13A | D | 4200 | 0.10 |
| 13B | D | 4200 | 0.10 |
| 14A | D | 4200 | 0.10 |
| 14B | D | 4200 | 0.10 |
| 15A | D | 4200 | 0.10 |
| 15B | D | 4200 | 0.10 |
| 16A | D | 4200 | 0.10 |
| 16B | D | 4200 | 0.10 |
| 17A | D | 4200 | 0.10 |
| 17B | D | 4200 | 0.10 |
| 18A | D | 4204 | 0.10 |
| 18B | D | 4304 | 0.10 |
| 19A | D | 4602 | 0.11 |
| 19B | D | 5658 | 0.13 |

| LOT AREA TABLE | | | |
|----------------|-------|-----------|-----------|
| LOT | BLOCK | AREA (SF) | AREA (AC) |
| 1A | E | 4255 | 0.10 |
| 1B | E | 4562 | 0.10 |
| 2A | E | 4200 | 0.10 |
| 2B | E | 4477 | 0.10 |
| 3A | E | 4200 | 0.10 |
| 3B | E | 4478 | 0.10 |
| 4A | E | 4200 | 0.10 |
| 4B | E | 4478 | 0.10 |
| 5A | E | 4419 | 0.10 |
| 5B | E | 4477 | 0.10 |

| HOA LOT AREA TABLE | | | |
|--------------------|-------|-----------|-----------|
| LOT | BLOCK | AREA (SF) | AREA (AC) |
| 1X | A | 3610 | 0.08 |
| 1X | B | 12613 | 0.29 |
| 1X | C | 11149 | 0.26 |
| 1X | D | 13427 | 0.31 |
| 1X | E | 99776 | 2.29 |
| 1X | F | 86074 | 1.98 |
| 1X | G | 16761 | 0.38 |



| LOT LINE TABLE | | |
|----------------|-------------|--------|
| LINE | BEARING | LENGTH |
| T1 | S81°40'04"W | 15.52' |
| T2 | N67°42'07"W | 15.52' |
| T3 | S71°03'33"W | 15.81' |
| T4 | N77°59'01"E | 16.05' |
| T5 | S59°59'32"E | 16.09' |
| T6 | S45°30'22"E | 14.14' |
| T7 | S17°55'44"W | 15.81' |
| T8 | S18°56'27"E | 15.81' |
| T9 | S44°29'38"W | 14.14' |
| T10 | S81°01'11"E | 16.07' |
| T11 | N56°33'24"E | 15.72' |
| T12 | S71°03'33"W | 15.81' |
| T13 | S45°30'22"E | 14.14' |
| T14 | S17°55'44"W | 15.81' |
| T15 | S18°56'27"E | 15.81' |
| T16 | S44°29'38"W | 14.14' |
| T17 | S86°19'06"E | 18.88' |
| T18 | S77°42'51"E | 13.85' |
| T19 | S72°04'16"E | 15.81' |
| T20 | N71°03'33"E | 15.81' |
| T21 | S72°04'16"E | 15.81' |
| T22 | N71°03'33"E | 15.81' |
| T23 | S72°04'16"E | 15.81' |
| T24 | N71°03'33"E | 15.81' |
| T25 | N0°43'01"W | 13.81' |
| T26 | S87°16'20"W | 14.78' |
| T29 | N11°54'40"W | 11.29' |
| T30 | N19°34'39"W | 65.66' |
| T31 | N12°45'54"W | 27.05' |
| T32 | N3°31'58"E | 50.48' |

| LOT LINE TABLE | | |
|----------------|-------------|---------|
| LINE | BEARING | LENGTH |
| T33 | N12°27'35"E | 40.01' |
| T34 | N24°49'00"E | 26.42' |
| T36 | N46°11'56"E | 33.01' |
| T37 | N54°59'15"E | 33.11' |
| T38 | N64°13'57"E | 25.87' |
| T39 | N72°09'57"E | 28.99' |
| T40 | N78°12'49"E | 31.48' |
| T41 | N82°35'30"E | 41.23' |
| T44 | S86°51'35"W | 16.18' |
| T42 | N86°46'01"E | 22.99' |
| T43 | S70°28'43"E | 26.16' |
| T44 | S86°51'35"W | 16.18' |
| T45 | N44°45'21"E | 15.88' |
| T46 | S60°21'17"E | 10.07' |
| T47 | S47°46'35"E | 7.53' |
| T48 | N71°17'00"W | 100.42' |
| T49 | N89°29'38"E | 20.19' |
| T50 | S77°46'26"E | 14.39' |
| T51 | N9°04'32"E | 12.80' |
| T52 | N29°20'49"E | 14.14' |
| T53 | S60°39'11"E | 14.14' |
| T55 | S48°09'34"E | 13.87' |
| T56 | N62°21'28"E | 14.29' |
| T57 | S25°43'02"E | 13.35' |

| LOT CURVE TABLE | | | | | |
|-----------------|------------|---------|---------|---------|---------------------|
| CURVE | DELTA | RADIUS | TANGENT | LENGTH | CHORD |
| C2 | 90°00'00" | 40.00' | 40.00' | 62.83' | S45°30'22"E 56.57' |
| C3 | 62°38'15" | 50.00' | 30.42' | 54.66' | N58°10'31"E 51.98' |
| C4 | 19°52'25" | 71.00' | 12.44' | 24.63' | N16°55'11"E 24.50' |
| C5 | 19°52'25" | 89.00' | 15.59' | 30.87' | S16°55'11"W 30.72' |
| C7 | 90°00'00" | 40.00' | 40.00' | 62.83' | N45°30'22"W 56.57' |
| C8 | 9°31'31" | 71.00' | 5.92' | 11.80' | N4°15'24"E 11.79' |
| C9 | 2°11'48" | 250.00' | 4.79' | 9.58' | S81°03'25"W 9.58' |
| C10 | 5°05'23" | 250.00' | 11.11' | 22.21' | S77°24'50"W 22.20' |
| C13 | 8°37'01" | 268.00' | 20.19' | 40.30' | N82°53'40"E 40.27' |
| C14 | 3°43'02" | 268.00' | 8.70' | 17.39' | N76°43'39"E 17.38' |
| C15 | 13°21'43" | 100.00' | 11.71' | 23.32' | N81°33'00"E 23.27' |
| C16 | 1°15'46" | 100.00' | 1.10' | 2.20' | N88°51'45"E 2.20' |
| C17 | 90°00'00" | 40.00' | 40.00' | 62.83' | S45°30'22"E 56.57' |
| C18 | 2°17'28" | 268.00' | 5.36' | 10.72' | N88°20'54"E 10.72' |
| C19 | 85°48'20" | 40.00' | 37.17' | 59.90' | N54°56'31"W 54.46' |
| C21 | 11°57'19" | 582.50' | 60.99' | 121.54' | S56°51'28"W 121.32' |
| C22 | 106°38'10" | 40.00' | 53.70' | 74.45' | N36°10'33"E 64.16' |
| C23 | 48°44'33" | 50.00' | 22.65' | 42.54' | N72°14'50"E 41.26' |
| C24 | 30°41'39" | 50.00' | 13.72' | 26.79' | N63°13'23"E 26.47' |
| C25 | 12°48'08" | 860.00' | 96.48' | 192.16' | S24°15'35"W 191.76' |
| C28 | 2°37'55" | 325.00' | 7.47' | 14.93' | N75°25'30"W 14.93' |
| C29 | 3°07'37" | 275.00' | 7.51' | 15.01' | N76°27'09"W 15.01' |
| C30 | 2°39'13" | 325.00' | 7.53' | 15.05' | S83°31'19"W 15.05' |
| C31 | 11°07'57" | 89.00' | 8.67' | 17.29' | S32°46'37"E 17.27' |
| C32 | 10°18'58" | 71.00' | 6.41' | 12.78' | S33°11'07"E 12.77' |
| C33 | 2°12'04" | 89.00' | 16.66' | 32.93' | N27°44'34"W 32.75' |
| C34 | 2°12'04" | 71.00' | 13.29' | 26.27' | N27°44'34"W 26.12' |
| C49 | 2°38'56" | 325.00' | 7.51' | 15.02' | N60°27'10"E 15.02' |

| STREET CURVE TABLE | | | | | |
|--------------------|-----------|---------|---------|---------|---------------------|
| CURVE | DELTA | RADIUS | TANGENT | LENGTH | CHORD |
| C1 | 31°51'13" | 300.00' | 85.61' | 166.79' | S73°34'02"W 164.65' |
| C6 | 15°08'49" | 300.00' | 39.89' | 79.31' | S81°55'14"W 79.08' |
| C20 | 18°01'38" | 300.00' | 47.59' | 94.39' | N81°29'33"W 94.00' |
| C26 | 15°33'23" | 300.00' | 40.98' | 81.45' | S78°59'09"W 81.20' |
| C27 | 18°17'11" | 300.00' | 48.28' | 95.75' | N80°21'03"E 95.34' |
| C50 | 23°17'16" | 450.00' | 92.73' | 182.90' | N56°15'14"E 181.65' |
| C51 | 13°15'02" | 450.00' | 52.27' | 104.07' | N61°16'21"E 103.84' |

| ALLEY CURVE TABLE | | | | | |
|-------------------|------------|---------|---------|--------|--------------------|
| CURVE | DELTA | RADIUS | TANGENT | LENGTH | CHORD |
| C35 | 19°52'25" | 80.00' | 14.02' | 27.75' | N16°55'11"E 27.61' |
| C36 | 62°38'15" | 59.00' | 35.90' | 64.50' | N58°10'31"E 61.34' |
| C37 | 90°00'00" | 49.00' | 49.00' | 76.97' | S45°30'22"E 69.30' |
| C38 | 33°55'22" | 22.00' | 6.71' | 13.03' | S16°27'19"W 12.84' |
| C39 | 90°00'00" | 49.00' | 49.00' | 76.97' | N45°30'22"W 69.30' |
| C40 | 90°00'00" | 49.00' | 49.00' | 76.97' | N45°30'22"W 69.30' |
| C41 | 85°48'20" | 49.00' | 45.54' | 73.38' | N54°56'31"W 66.71' |
| C42 | 7°17'11" | 259.00' | 16.49' | 32.94' | S78°30'43"W 32.92' |
| C43 | 14°37'30" | 109.00' | 13.99' | 27.82' | N82°10'53"E 27.75' |
| C44 | 90°00'00" | 49.00' | 49.00' | 76.97' | S45°30'22"E 69.30' |
| C45 | 33°56'34" | 22.00' | 6.71' | 13.03' | S16°27'55"W 12.84' |
| C46 | 106°38'10" | 49.00' | 65.78' | 91.20' | N36°10'33"E 78.59' |
| C47 | 21°12'04" | 80.00' | 14.97' | 29.60' | N27°44'34"W 29.43' |
| C48 | 14°21'07" | 80.00' | 10.07' | 20.04' | S31°10'03"E 19.99' |

LEGAL DESCRIPTION
27.701 ACRES

TRACT ONE — 25.725 ACRES

BEING a tract of land located in the I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948, Collin County, Texas, and being part of that tract of land described in Deed to 55 Prosper, L.P., recorded in Document Number 20120111000035080, Official Public Records, Collin County, Texas (O.P.R.C.C.T.), and being more particularly described as follows:

COMMENCING at a 1/2" iron rod with yellow cap stamped "SPIARS" found at the common northeast corner of that tract of land described in Deed to Cothran Malibu LP, recorded in Document Number 20150402000365680, O.P.R.C.C.T. and the southeast corner of that tract of land described in Deed to Prosper Four Friends Group, LLC, recorded in Document Number 20151208001532990, O.P.R.C.C.T.;

THENCE N 00° 30' 20" W, along the east line of said Prosper Four Friends Group, LLC tract, a distance of 81.98 feet to the POINT OF BEGINNING of the tract of land described herein;

THENCE N 00° 30' 22" W, continuing along said east line, a distance of 1,165.00 feet to a 1/2" iron rod found at the northeast corner of said Prosper Four Friends Group, LLC tract;

THENCE N 54° 06' 11" E, over and across said 55 Prosper, L.P. tract, a distance of 435.03 feet to a point on the west right-of-way line of Lakewood Drive, an existing 60' right-of-way, and being on a curve to the left having a central angle of 07° 20' 57", a radius of 530.00 feet and a chord bearing and distance of S 46° 42' 56" W, 67.93 feet;

THENCE Southerly, along the west right-of-way line of said Lakewood Drive, the following courses and distances:

Along said curve to the left, an arc distance of 67.98 feet to a point for corner;

S 50° 23' 24" E, a distance of 412.61 feet to a point for corner at the beginning of a curve to the right having a central angle of 34° 44' 11", a radius of 470.00 feet and a chord bearing and distance of S 33° 01' 17" E, 280.60 feet;

Along said curve to the right, an arc distance of 284.94 feet to a point for corner;

S 15° 39' 11" E, a distance of 270.43 feet to a point for corner at the beginning of a curve to the right having a central angle of 46° 54' 02", a radius of 770.00 feet and a chord bearing and distance of S 07° 47' 50" W, 612.85 feet;

Along said curve to the right, an arc distance of 630.30 feet to a point for corner;

THENCE S 89° 29' 38" W, leaving the west right-of-way line of said Lakewood Drive, over and across said 55 Prosper, L.P. tract, a distance of 852.21 feet to the POINT OF BEGINNING, and containing 25.725 acres of land, more or less.

TRACT TWO — 1.976 ACRES

BEING a tract of land located in the I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948, Collin County, Texas, and being part of that tract of land described in Deed to 55 Prosper L.P., recorded in Document Number 20120111000035080, Official Public Records, Collin County, Texas, (O.P.R.C.C.T.), and being more particularly described as follows:

COMMENCING at the southeast corner of that tract of land described in Deed to Prosper Independent School District (Prosper ISD), recorded in Document Number 2020030600329040, O.P.R.C.C.T., and being on a curve to the right having a central angle of 12° 51' 41", a radius of 860.00 feet and a chord bearing and distance of S 11° 25' 52" W, 192.53 feet;

THENCE Southerly, along the east line of that tract of land described in Deed to Prosper ISD, recorded in Document Number 2020030600329060, O.P.R.C.C.T., and along said curve to the right, an arc distance of 200.20 feet to the POINT OF BEGINNING of the tract of land described herein;

THENCE Leaving the east line of said Prosper ISD tract, over and across said 55 Prosper, L.P. tract, the following courses and distances:

S 71° 17' 00" E, a distance of 100.42 feet to a point for corner at the beginning of a non-tangent curve to the right having a central angle of 16° 24' 34", a radius of 582.50 feet and a chord bearing and distance of N 59° 05' 06" E, 166.26 feet;

Northeasterly, along said curve to the right, an arc distance of 166.83 feet to a point for corner;

N 67° 17' 23" E, a distance of 101.40 feet to a point for corner;

S 11° 54' 40" E, a distance of 11.29 feet to a point for corner;

S 19° 34' 39" E, a distance of 65.66 feet to a point for corner;

S 12° 45' 54" E, a distance of 27.05 feet to a point for corner;

S 03° 31' 58" W, a distance of 50.48 feet to a point for corner;

S 12° 27' 35" W, a distance of 40.01 feet to a point for corner;

S 24° 49' 00" W, a distance of 26.42 feet to a point for corner;

S 36° 45' 31" W, a distance of 29.84 feet to a point for corner;

S 46° 11' 56" W, a distance of 33.01 feet to a point for corner;

S 54° 59' 15" W, a distance of 33.11 feet to a point for corner;

S 64° 13' 57" W, a distance of 25.87 feet to a point for corner;

S 72° 09' 57" W, a distance of 28.99 feet to a point for corner;

S 78° 12' 49" W, a distance of 31.48 feet to a point for corner;

S 82° 35' 30" W, a distance of 41.23 feet to a point for corner;

S 86° 46' 01" W, a distance of 22.99 feet to a point for corner;

N 86° 19' 06" W, a distance of 18.88 feet to a point for corner;

N 77° 42' 51" W, a distance of 13.85 feet to a point for corner;

N 70° 28' 43" W, a distance of 26.16 feet to a point for corner;

N 60° 21' 17" W, a distance of 10.07 feet to a point for corner;

N 47° 46' 35" W, a distance of 7.53 feet to a point for corner at the beginning of a non-tangent curve to the left having a central angle of 48° 44' 33", a radius of 50.00 feet and a chord bearing and distance of S 72° 14' 50" W, 41.26 feet;

Southwesterly, along said curve to the left, an arc distance of 42.54 feet to a point for corner at the beginning of a reverse curve to the right having a central angle of 30° 41' 39", a radius of 50.00 feet and a chord bearing and distance of S 63° 13' 23" W, 26.47 feet;

Southwesterly, along said curve to the right, an arc distance of 26.79 feet to a point for corner;

N 56° 15' 58" W, a distance of 82.88 feet to a point for corner on the east line of the above mentioned Prosper ISD tract (Document Number 2020030600329060), and being on a non-tangent curve to the left having a central angle of 12° 48' 08", a radius of 860.00 feet and a chord bearing and distance of N 24° 15' 35" E, 191.76 feet;

THENCE Northerly, along the east line of said Prosper ISD tract and said curve to the left, an arc distance of 192.16 feet to the POINT OF BEGINNING, and containing 1.976 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT 55 PROPSPER L.P. acting herein by and through its duly authorized officers, does hereby certify and adopt this plat designating the herein above described property as THE DOMINION AT BROOKHOLLOWS, an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. 55 PROPSPER L.P. do herein certify the following:

1. The streets and alleys are dedicated in fee simple for street and alley purposes.
2. All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
3. The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat.
4. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
5. The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
6. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town of Prosper's use thereof.
7. The Town of Prosper and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
8. The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
9. All modifications to this document shall be by means of plat and approved by the Town of Prosper.

LANDSCAPE EASEMENT

The undersigned covenants and agrees that the landscape easement and restrictions herein set forth shall run with the land and be binding on the owner(s) of the property in this subdivision, their successors and assigns, and all parties claiming by, through and under them. In the event a replat is requested on all or part of this property, the Town may require any similar or additional restrictions at its sole discretion. The sole responsibility for maintenance and replacement of landscape materials thereof shall be borne by any 'homeowners' association hereafter established for the owners of lots in this subdivision and/or the owners of the individual lots within this subdivision. Such maintenance and replacement shall be in conformance with the requirements, standards, and specifications of the Town of Prosper, as presently in effect or as may be hereafter amended. This provision may be enforced by specific performance or by any other remedy allowed by law. This Landscape Easement shall be void of utilities and other elements unless otherwise approved on the plat.

ACCESS EASEMENT

The undersigned covenants and agrees that the access easement(s) may be utilized by any person or the general public for ingress and egress to other real property, and for the purpose of general public vehicular and pedestrian use and access, and for the Fire Department, Police, and emergency use in along, upon, and across said premises, with the right and privilege at all times of the Town of Prosper, its agents, employees, workmen, and representatives having ingress, egress, and regress in, along, upon, and across said premises.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas.

WITNESS, my hand, this the _____ day of _____, 20____.

55 PROPSPER L.P.
a Texas limited partnership

By: 55 PROPSPER L.P.
a Texas corporation
its General Partner

By: _____

Name: _____

Title: _____

STATE OF TEXAS §
COUNTY OF _____§

BEFORE me the undersigned, a Notary Public, on this day personally appeared _____, _____ of 55 PROPSPER L.P. a Texas corporation, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 20____.

Notary Public in and for the State of Texas

SURVEYORS CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, _____, do hereby state that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were property placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Prosper, Texas.

Dated this the _____ day of _____, 20____.

"PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED
FOR ANY PURPOSES AND SHALL NOT BE USED, VIEWED, OR
RELIED UPON AS A FINAL SURVEY DOCUMENT" (RELEASE DATE: 00/00/0000)

Registered Professional Land Surveyor No. _____

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas on this day personally appeared _____, _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office this _____ day of _____, 20____.

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL

Approved this _____ day of _____, 20____ by the Planning and Zoning Commission of the Town of Prosper, Texas.

Town Secretary

Development Services Department

Engineering Department

TOTAL DENSITY 154 LOTS/27.701 ACRES
= 5.763 LOTS/ACRE
154 LOTS DEVELOPED TO
PD-90-ORD. NO. 2021.52-MIXED USE-TRACT A

D22-0003
PRELIMINARY PLAT
THE DOMINION AT BROOKHOLLOW
154 TOTAL RESIDENTIAL LOTS
7 HOA LOTS
27.701 ACRES
5.763 LOT/ACRE DENSITY

I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948
AN ADDITION TO THE TOWN OF PROSPER,
COLLIN COUNTY, TEXAS
FEBRUARY 2022 SCALE: 1" = 60"

OWNER
55 PROSPER. L.P.
3794 UNIT C WEST HIGHWAY 67,
GLEN ROSE TX 76043,
CONTACT: AARON RICHARDS
PHONE: 254-897-7881



ENGINEER/APPLICANT
DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694
STATE REGISTRATION NUMBER: F-399

CONTACT: AARON HUNSAKER



PLANNING

To: Planning & Zoning Commission

Item No. 3c

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – March 1, 2022

Agenda Item:

Consider and act upon a Site Plan for a multitenant retail/medical office building (Preston Commons), on 1.6± acres, located on the northwest corner of Preston Road and Broadway Street. The property is zoned Retail (R). (D22-0007).

Description of Agenda Item:

The Site Plan shows a single-story multitenant retail/medical office building, totaling 9,005 square feet. Access is provided from Preston Road. The depicted number of off-street parking spaces meets the minimum standards of the Zoning Ordinance. The Site Plan conforms to the Retail (R) development standards.

As a companion item, the Final Plat (D22-0008), for Preston Commons, Block A, Lot 1, is on the March 1, 2022 agenda.

Attached Documents:

1. Location Map
2. Site Plan

Staff Recommendation:

Staff recommends approval of the Site Plan subject to:

1. Town staff approval of civil engineering, irrigation plan, open space plan, façade, and address plan.
2. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

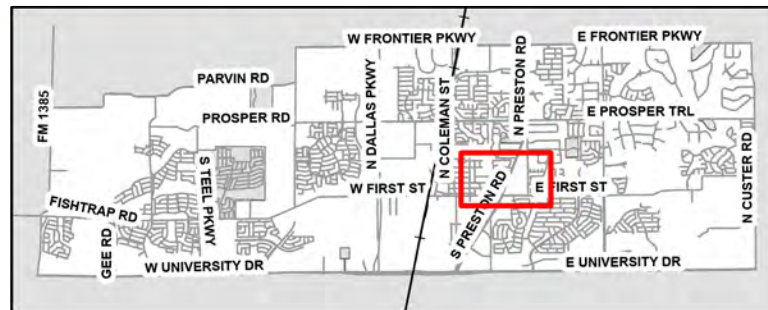
D22-0007 - Preston Commons

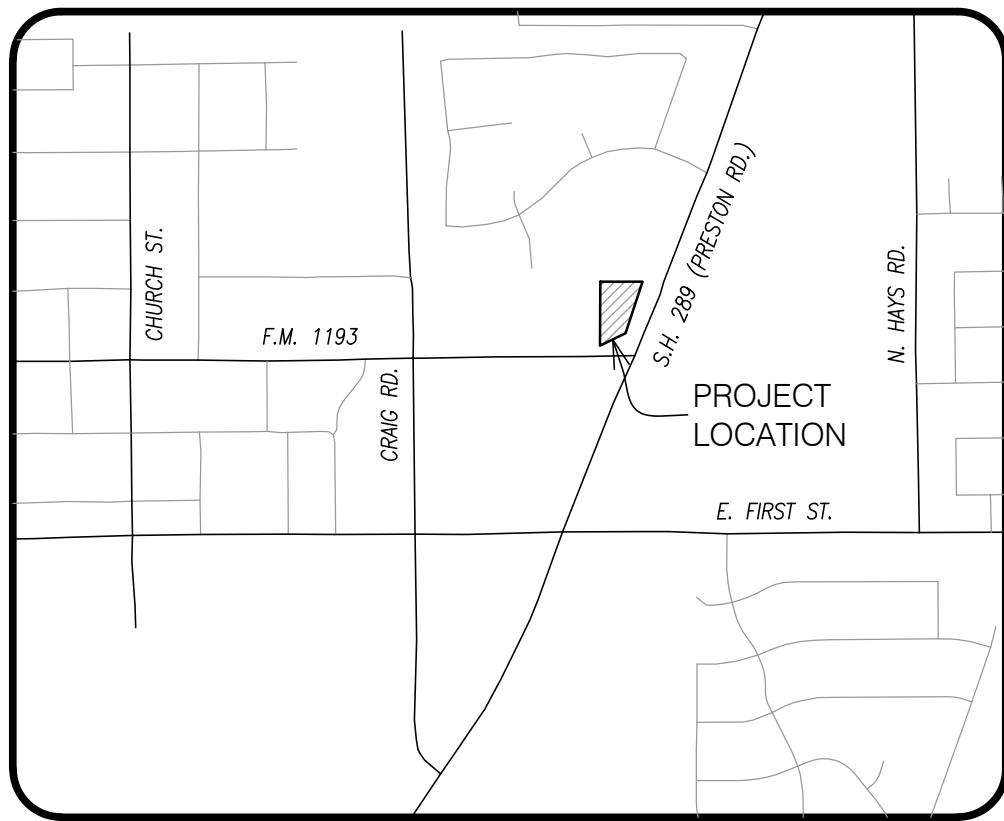


This map is for illustration purposes only.



0 337.5 675 1350 Feet





LOCATION MAP
1" = 1000'

| Water Meter Schedule | | | | | |
|----------------------|------------|------|-----|-------|----------|
| I.D. | Type | Size | No. | Sewer | Remarks |
| ① | Domestic | 2" | 1 | 6" | Proposed |
| ② | Irrigation | 2" | 1 | N/A | Proposed |

SITE DATA

| | |
|-----------------------------|--------------------------------|
| Zoning | Retail |
| Land Use | Retail/Medical Office |
| Lot Area | 1,161 AC/50,553 SQ FT |
| Building Footprint Area | 9,005 SQ FT |
| Total Building Area | 9,005 SQ FT |
| Building Height | 1 Story, 33'-3 1/2" Max. |
| Lot Coverage | 17.8% |
| Floor Area Ratio | 0.178:1 |
| Parking Required | 1:250 Sq. Ft. = 36 Spaces |
| Total Parking Provided | 37 Includes 2 HC Spaces, 1 Van |
| Required Interior Landscape | 555 SQ FT |
| Interior Landscape Provided | 2,074 SQ FT |
| Impervious Area | 32,378 SQ FT |
| Open Space Required(7%) | 3,539 SQ FT |
| Open Space Provided | 3,616 SQ FT |

LOT 1, BLOCK A

No trees exist on this site

All dimensions are to face of curb or edge of building unless otherwise noted.

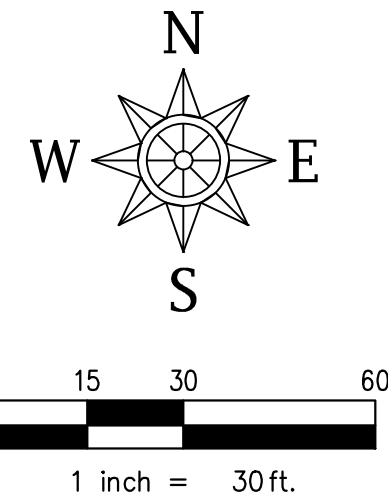
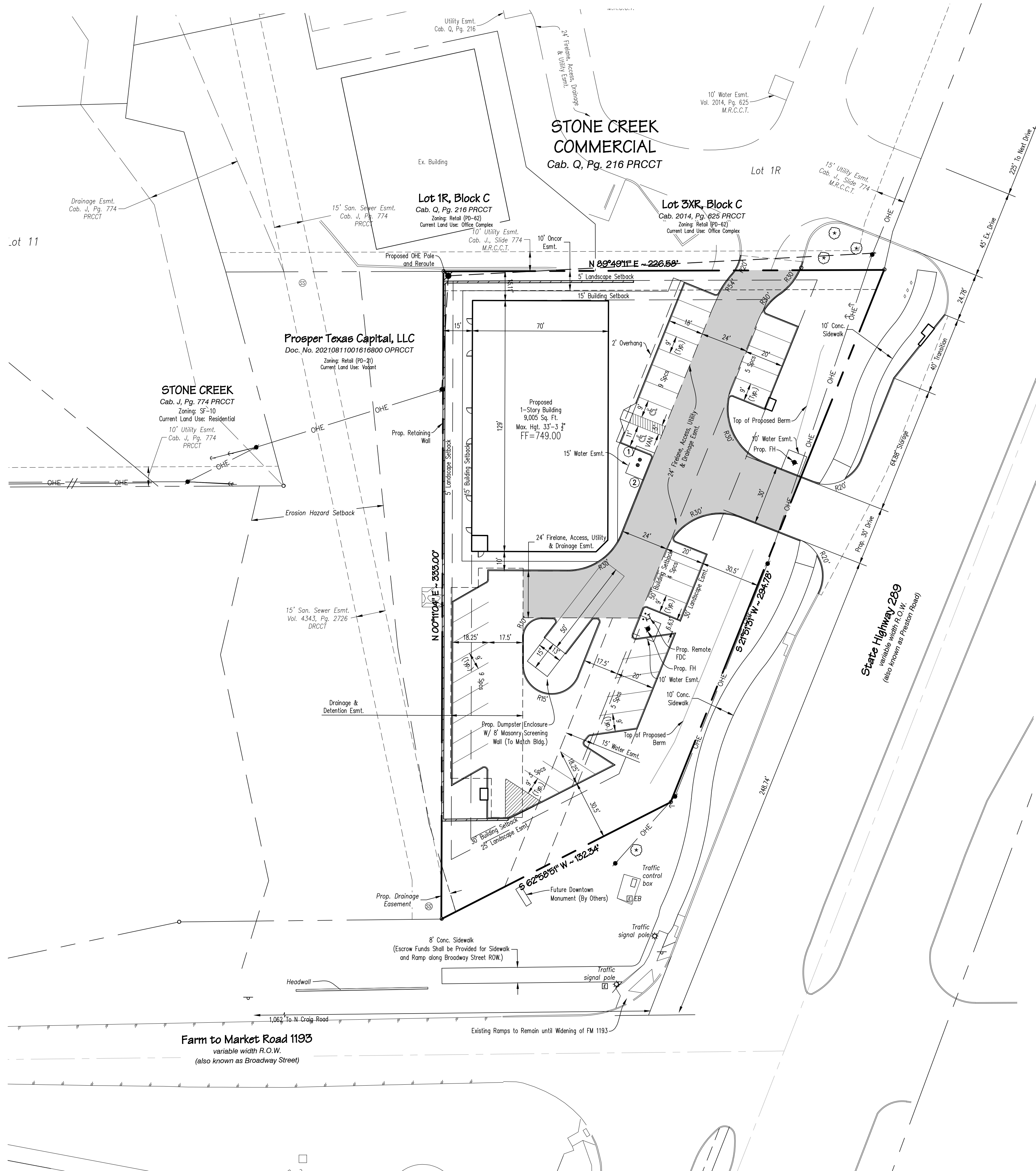
All curb radii are 2' unless otherwise noted.

No 100-yr floodplain exists on the site.

Any changes from retail uses will require additional parking.

LEGEND

| | |
|--|---|
| | FIRELANE, ACCESS, UTILITY & DRAINAGE EASEMENT |
| | 1/2" IRON ROD W/ PLASTIC CAP STAMPED "SPIARSEN" SET, UNLESS OTHERWISE NOTED. |
| | POWER POLE |
| | LIGHT POLE/STANDARD |
| | GUY WIRE ANCHOR |
| | BOLLARD |
| | SIGNPOST |
| | OVERHEAD POWER LINE |
| | CONTROL MONUMENT |
| | PROPOSED FIRE HYDRANT |
| | EXISTING FIRE HYDRANT |
| | PROP. FDC |



Town of Prosper Site Plan Notes:

- Dumpsters and trash compactors shall be screened per the Zoning Ordinance.
- Open storage, where permitted, shall be screened per the Zoning Ordinance.
- Outdoor lighting shall comply with the lighting and glare standards contained within the Zoning Ordinance and Subdivision Ordinance.
- Landscaping shall conform to landscape plans approved by the Town.
- All elevations shall comply with the standards contained within the Zoning Ordinance.
- Buildings of 5,000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
- Occupant notification per this section and 907.5 shall be required for all new construction, or existing construction complying with the International Building Code, for renovations to existing buildings, tenant spaces, changes in occupancy, replacement or modification of the existing fire alarm system, or as required by the Fire Code Official, for all buildings or spaces provided with an approved automatic sprinkler system.
- Fire lanes shall be designed and constructed per Town Standards or as directed by the Fire Department.
- Two points of access shall be maintained for the property at all times.
- Speed bumps/humps are not permitted within a fire lane.
- Fire lanes shall be provided within 150 feet of all exterior walls of any building for hose lay requirements. Amendment 503.1.1
- The fire lane shall be a minimum of 24 feet wide. Amendment 503.2.1
- Buildings more than 30 feet in height are required to have a minimum of a 26-foot wide fire lane in the immediate vicinity for firefighting operations of the building. One of the 26-foot wide fire lanes shall be located a minimum of 15 feet from the building and no more than 30 feet. Appendix D105
- The inside turning radius of the 24-foot fire lane shall be a minimum of 30 feet. Amendment 503.2.4
- The inside turning radius of the 26-foot fire lane shall be a minimum of 30 feet. Amendment 503.2.4
- Dead-end fire lanes are only permitted with approved hammerheads.
- Fire hydrants shall be provided at the entrances and intersections. Amendment 507.5.1
- As properties develop, fire hydrants shall be located at all intersecting streets and the maximum spacing shall be every 300 feet (300') for all developments, and facilities other than R3. R-3 developments shall be every 500 feet (500'). Distances between hydrants shall be measured along the route that fire hose is laid by a fire apparatus from hydrant-to-hydrant, not as the "crow flies". Amendment 507.5.1
- Fire department connection (FDC) for the fire sprinkler system shall be located within 50 feet of a fire hydrant and 50 feet of a fire lane. 5" Storz, 30-degree downward turn with locking cap. Amendment 507.5.1
- Fire hydrants shall be located 2 foot (2') to 6 foot (6') back from the curb or fire lane and shall not be located in the bulb of a cul-de-sac. Amendment 507.5.1
- There shall be a minimum of two (2) fire hydrants serving each property within the prescribed distances listed above. A minimum of one fire hydrant shall be located on each lot. Amendment 507.5.1
- A minimum 10-foot unobstructed width shall be provided around a building for adequate Fire Department access. A continuous row of parking and landscaping shall be considered a barrier. Amendment 503.1.1
- The maximum dead-end cul-de-sac length shall not exceed six hundred feet (600') as measured from the centerline of the intersection street to the center point of the radius. Amendment 503.1.5
- One-and two-family dwellings automatic fire systems. Automatic fire protection systems per NFPA 13D or NFPA 13R shall be provided in all one-and two-family dwellings with a conditioned floor area of 5,500 square feet (511 m2) or greater, dwellings three (3) stories or greater, or dwellings with roof heights exceeding thirty-five feet (35') from grade. IRC-2015 Amendment R313.2
- Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted Building Code.
- All signage is subject to Building Official approval.
- All fences and retaining walls shall be shown on the Site Plan and are subject to Building Official approval.
- All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
- Sidewalks of not less than six (6) feet in width along thoroughfares and collectors and five (5) feet in width along residential streets and barrier-free ramps at all curb crossings shall be provided per Town Standards.
- Approval of the Site Plan is not final until all engineering plans are approved by the Engineering Services Department.
- Site Plan Approval is required before the grading release.
- All new electrical lines shall be installed and/or relocated underground.
- All mechanical equipment shall be screened from public view per the Zoning Ordinance.
- All landscape easements must be exclusive of any other type of easement.
- Impact fees will be assessed per the land use classification(s) identified on the Site Data Summary Table; however, changes to the proposed land use at the time of CO and/or finish-out permit may result in additional impact fees and/or parking requirements.
- The approval of a Site Plan shall be effective for eighteen (18) months from the date of approval by the Planning & Zoning Commission, at the end of which time the applicant must have submitted and received the approval of engineering plans and building permits. If the engineering plans and building permits are not approved, the Site Plan approval, together with any preliminary Site Plan for the property, is null and void.

D22-0007
SITE PLAN

PRESTON COMMONS
LOT 1, BLOCK A
IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS
COLLIN COUNTY SCHOOL LAND SURVEY ABSTRACT NO. 147
50,553 Sq. Ft./1.161 Acres

ENGINEER / SURVEYOR / APPLICANT
Spiors Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPELS No. F-2121 and No. F-10043100
Contact: David Bond

OWNER/DEVELOPER
Prosper Commercial Properties, LLC
1821 Houghton Drive
McKinney, Texas 75072
Telephone: (571) 242-9059
Contact: Bola Thumati



PLANNING

To: Planning & Zoning Commission

Item No. 3d

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – March 1, 2022

Agenda Item:

Consider and act upon a Final Plat for Preston Commons, Block A, Lot 1, on 1.6± acres, located on the northwest corner of Preston Road and Broadway Street. The property is zoned Retail (R). (D22-0008).

Description of Agenda Item:

The purpose of this Final Plat is to dedicate all easements necessary for development. The Final Plat conforms to the Retail (R) development standards.

As a companion item, the Site Plan (D22-0007), for a multitenant retail/medical office building, is on the March 1, 2022 agenda.

Attached Documents:

1. Location Map
2. Final Plat

Staff Recommendation:

Staff recommends approval of the Final Plat, subject to:

1. Town staff approval of all additions and/or alterations to the easements and dedications on the Final Plat.

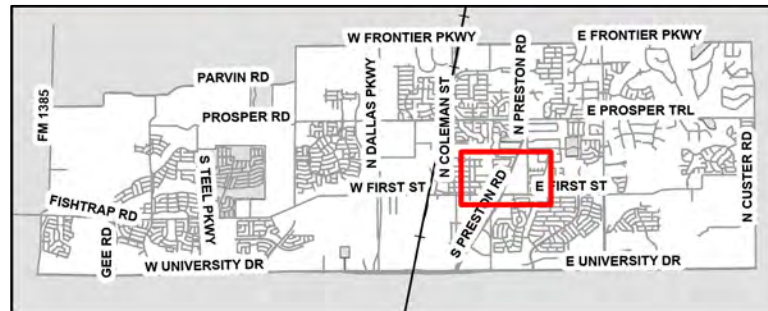
D22-0008 - Preston Commons, Block A, Lot 1



This map is for illustration purposes only.



0 337.5 675 1350 Feet





PLANNING

To: Planning & Zoning Commission

Item No. 3e

From: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – March 1, 2022

Agenda Item:

Consider and act upon a Site Plan for a Golf Bay at Prosper High School, on 103.0± acres, located on the southwest corner of Frontier Parkway and Victory Way. The property is zoned Planned Development-22 (PD-22). (D22-0012).

Description of Agenda Item:

The Site Plan shows the proposed 2,400 square-foot golf bay, located at Prosper High School. Access will be provided from Frontier Parkway and Coleman Street. The Site Plan conforms to PD-22 development standards.

Attached Documents:

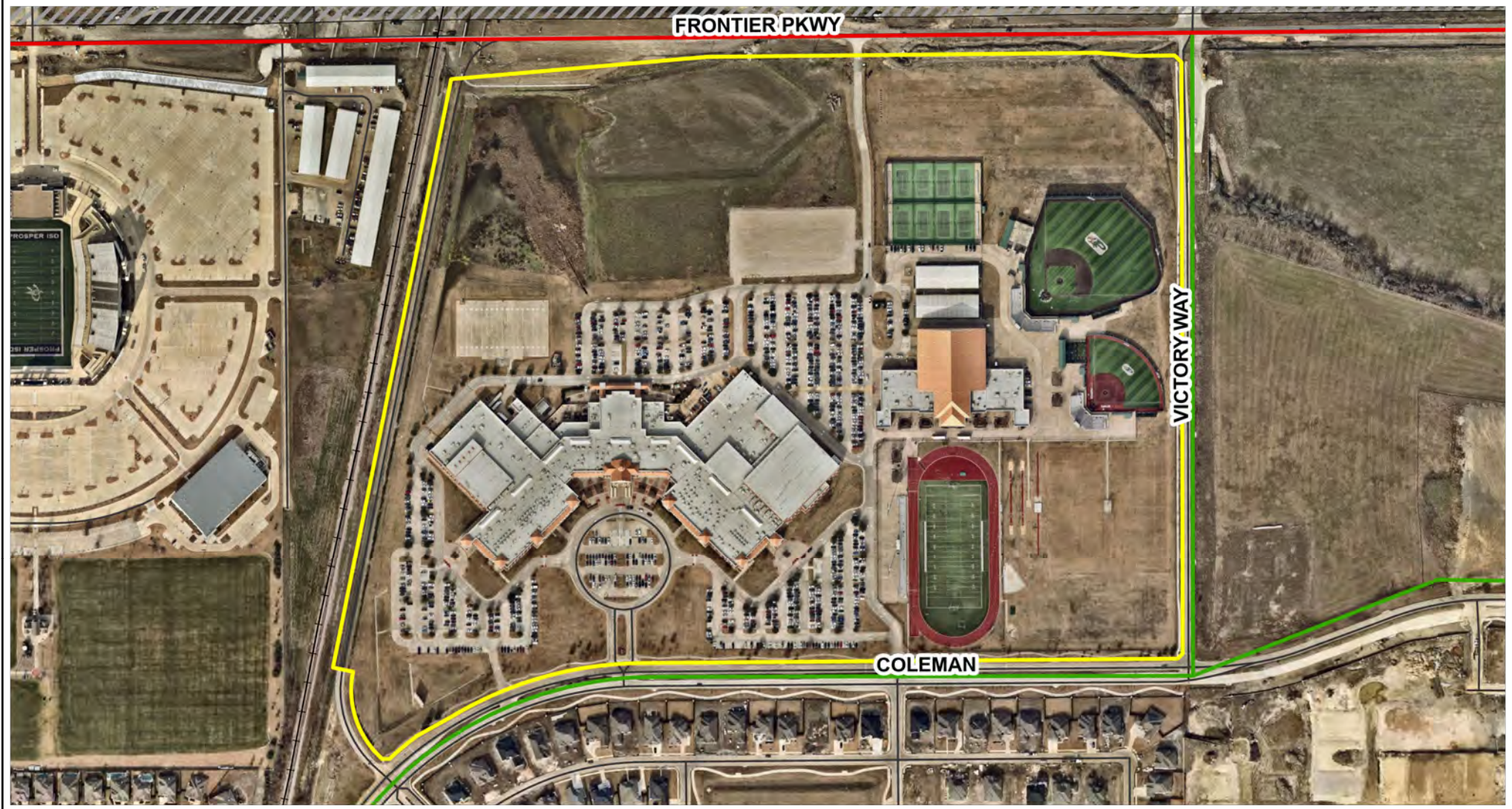
1. Location Map
2. Site Plan

Staff Recommendation:

Staff recommends approval of the Site Plan subject to:

1. Town staff approval of engineering, façade, and address plans.
2. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

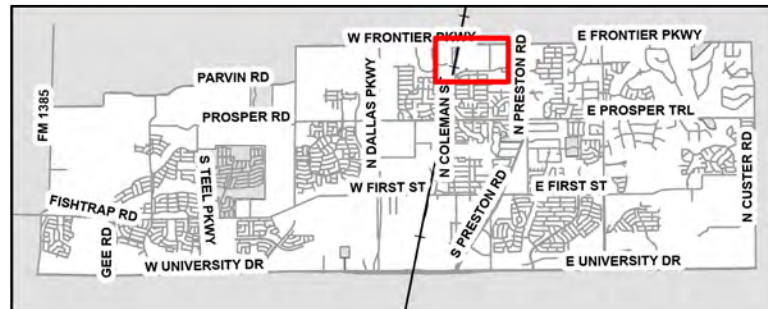
D22-0012 - Prosper High School Golf Building



This map is for illustration purposes only.



0 265 530 1060 Feet



Drawing: Q:\Projects\PPS10288\Golf Bay\2022 01 24 Golf Bay Site Plan.dwg at Feb 12, 2022 - 12:03pm by cschmitt
Layout: Layout1 Xref: XREF-BORDER.dwg - seal-LJM JB.dwg - SEAL-WHS.dwg - MGN SEAL PLAN.dwg - X-Base.dwg



- SITE PLAN NOTES**
ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
1. DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.

2. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.

3. OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.

4. LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.

5. ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITH THE ZONING ORDINANCE.

6. BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.

7. FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.

8. TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.

9. SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.

10. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.

11. ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.

12. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.

13. ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.

14. SIDEWALKS OF NOT LESS THAN SIX (6') FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5') FEET IN WIDTH ALONG RESIDENTIAL STREETS, AND BARRIER FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.

15. APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING DEPARTMENT.

16. SITE PLAN APPROVAL IS REQUIRED PRIOR TO GRADING RELEASE.

17. ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.

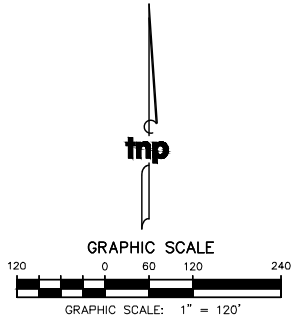
18. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.

19. ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.

| SITE DATA SUMMARY | |
|---------------------------|------------------------------|
| EXISTING ZONING: | SF-10/15 (PD-22) |
| PROPOSED USE: | HIGH SCHOOL |
| GROSS LOT AREA: | 103.005 ACRES (4,486,888 SF) |
| NET LOT AREA: | 99.191 ACRES (4,320,760 SF) |
| BUILDING AREA: | 511,000 SF |
| HEIGHT: | 60'-0" (2 STORIES) |
| LOT COVERAGE RATIO: | 11.8% |
| FLOOR AREA RATIO: | 17.42% |
| TOTAL IMPERVIOUS AREA: | 32.74 ACRES ~ 44% |
| REQUIRED PARKING: | 504 |
| PROVIDED PARKING: | 1,263 |
| REQUIRED HANDICAP SPACES: | 23 |
| REQUIRED HANDICAP SPACES: | 31 |
| OPEN SPACE REQUIRED (%): | 35,770 SF |
| OPEN SPACE PROVIDED (%): | 1,254,100 SF |

| BUILDING AREA SUMMARY | |
|-----------------------|------------------|
| BUILDING AREA: | |
| GOLF PRACTICE (PEMB): | 2,400 SF (TOTAL) |

FEMA NOTE
BASED ON THE FEMA FLOOD MAP SERVICE CENTER, THE SUBJECT TRACT OF LAND SHOWN HEREON LIES WITHIN ZONE "X" UNSHADE, DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN" AS IDENTIFIED BY THE CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, MAPS NO. 48065C0225J1 & 48065C0225J4, EFFECTIVE DATE OF JUNE 02, 2009, FOR COLLIN COUNTY, TEXAS AND INCORPORATED AREAS.



OWNER/APPLICANT:
PROSPER I.S.D.
605 E. SEVENTH STREET
PROSPER, TEXAS 75078
PHONE: 469.219.2000
CONTACT: DR. GREG BRADLEY

ENGINEER:
TEAGUE NALL & PERKINS, INC.
825 WATTERS CREEK BLVD., SUITE M300
ALLEN, TX 75103
214.461.9867
CONTACT: CHRIS SCHMITT, P.E.

**SITE PLAN
FOR
PISD GOLF PRACTICE BUILDING**

**DATE PREPARED: JANUARY 2022
TOWN CASE D22-0012**

| no. | revision | by | date |
|-----|----------|----|------|
| | | | |
| | | | |
| | | | |
| | | | |

teague nall and perkins, inc
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph
www.tnpinc.com
TBPES: ENGR F-230, SURV 10011600, 10011601, 10194381
GBPE: PEF007431; TBAE: BR 2673



**Prosper
Independent
School
District**

scale
horiz
1"=120'
vert
N/A
date
MAR 2021



This document is for interim review and is not intended for construction, bidding or permit purposes.
CHRIS SCHMITT, P.E. Date: FEB 2021
Tx. Reg. # 91150

**Town of Prosper, Texas
Prosper Independent School District
PISD Golf Practice Facility
SITE PLAN**

tnp project
PPS 10288
sheet
1



PLANNING

To: Planning & Zoning Commission

Item No. 4

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – March 1, 2022

Agenda Item:

Consider and act upon a Site Plan, Landscape Plan, and Façade Plan for a restaurant with drive-through service (Salad and Go), in the Shops at Prosper Trail development, on 1.1± acres, located on the east side of Preston Road, north of Prosper Trail. The property is zoned Planned Development-68 (PD-68) and Specific Use Permit-39 (S-39). (D22-0011).

Description of Agenda Item:

Planned Development-68 requires Planning & Zoning Commission and Town Council approval of the Site Plan, Landscape Plan, and Façade Plan for this property. The Site Plan shows a restaurant with drive-through service, totaling 750 square feet. Access is provided from Preston Road. The depicted number of off-street parking spaces meets the minimum standards of the Zoning Ordinance. The Site Plan, Landscape Plan, and Façade Plan conform to the PD-68 and S-39 development standards.

As companion items, on January 11, 2022, Town Council approved a Specific Use Permit for a restaurant with drive-through service for the subject property (S21-0005), and on February 15, 2022, the Planning & Zoning Commission approved a Revised Preliminary Site Plan for the subject property (D21-0126).

Attached Documents:

1. Location Map
2. Site Plan
3. Landscape Plan
4. Façade Plan

Town Staff Recommendation:

Town staff recommends approval of the Site Plan, Landscape Plan, and Façade Plan, subject to:

1. Town Council approval of the Site Plan, Landscape Plan, and Façade Plan.
2. Town staff approval of civil engineering, irrigation, open space, and address plans.
3. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

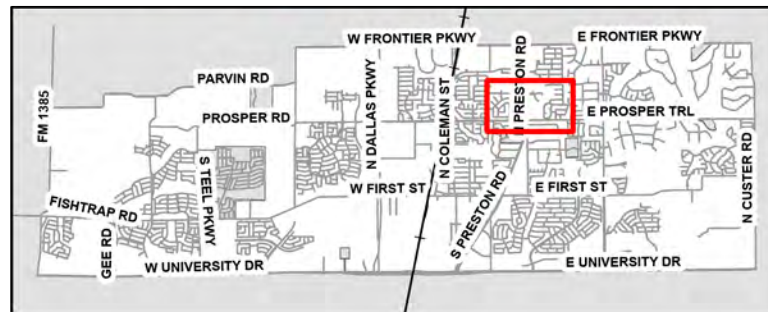
D22-0011 - Salad and Go



This map is for illustration purposes only.



0 325 650 1300 Feet



| SITE DATA BASED ON SALAD AND GO PROPOSED DEVELOPMENT ESTATES ABOVE WIMBLEDON, LOT 3R BLOCK 6, S21-0005 | |
|--|--|
| GENERAL | |
| EXISTING ZONING: PROPOSED ZONING: | PD-68/COMMERCIAL - REAL SUP |
| FRONT SETBACK: SIDE SETBACK: REAR SETBACK: | 20 FEET NONE NONE |
| LOT AREA: | 46,948 SQUARE FEET (1.078 AC) |
| LOT COVERAGE ALLOWED: BUILDING AREA: | N/A DRIVE THRU RESTAURANT - 750 SQUARE FEET (0.017 AC) |
| PROPOSED BUILDING AREA: PROPOSED BUILDING HEIGHT: | 750 SQUARE FEET 1 STORY - 20 FEET |
| EXISTING USE: PROPOSED USE: | VACANT LOT RESTAURANT WITH DRIVE-THRU AND NO INDOOR DINING |
| PARKING REQUIRED: PARKING PROVIDED: HANDICAP PARKING REQUIRED: HANDICAP PARKING PROVIDED: | 10 SPACES (1/2 SPACE PER SQUARE FEET OF BUILDING) 10 SPACES 1 SPACES 2 SPACES |
| LANDSCAPE AREA REQUIRED: LANDSCAPE AREA PROVIDED: LOT COVERAGE PERCENTAGE: IMPERVIOUS AREA PERCENTAGE: FLOOR AREA RATIO: | 3,286 SQUARE FEET (7%) 9,749 SQUARE FEET 0.02% 37,199 SQUARE FEET 0.02 : 1 |

| | |
|--|---|
| OWNER MQ PROSPER RETAIL, LLC 4622 MAPLE AVENUE, SUITE 200 DALLAS, TEXAS 75129 TEL (972) 980-8789 CONTACT: DONALD L. SILVERMAN | SURVEYOR EAGLE SURVEYING, LLC 210 SOUTH ELM STREET SUITE 104 DENTON, TEXAS 76201 TEL (940) 222-3009 CONTACT: MASON DECKER |
| APPLICANT JONES CARTER, INC. 4500 MERCANTILE PLAZA DRIVE SUITE 210 FORT WORTH, TEXAS 76137 TEL (972) 265-7190 CONTACT: RYAN ALCALA, PE | |

LOT 7R1, BLOCK A
THE SHOPS AT PROSPER TRAIL
OWNER: AUTO ZONE
LAND USE: RETAIL
ZONNING: PD-68/COMMERCIAL - REAL
DOC. NO. 20201230010004980
P.R.T.C.T

EXISTING AUTOZONE
1340 NORTH PRESTON ROAD

PROPOSED
SALAD AND GO
DRIVE-THRU
RESTAURANT
FFE: 747.00

LOT 6R, BLOCK A
THE SHOPS AT PROSPER TRAIL
DOC. NO. 20201230010004980
P.R.T.C.T

FIRELANE &
ACCESS EASEMENT
VOLUME 2016, PAGE 193
P.R.C.C.T.

EXISTING KROGER FUEL CENTER
1252 NORTH PRESTON ROAD

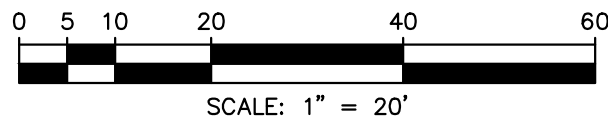
LOT 2, BLOCK A
THE SHOPS AT PROSPER TRAIL
OWNER: KROGER
LAND USE: RETAIL
ZONNING: PD-68/COMMERCIAL - REAL
DOC. NO. 2016-193
P.R.T.C.T

LEGEND

| | |
|------------|--|
| --- | PROPERTY LINE |
| ---FIRE--- | EXIST. FIRELANE |
| ○ | PARKING COUNTRY |
| ● | EXIST. FIRE HYDRANT TO REMAIN |
| □ | EXIST. CONCRETE DRIVE |
| ▨ | EXIST. CONCRETE SIDEWALK |
| ▩ | EXIST. FIRE LANE |
| ▧ | PROPOSED 4" REINFORCED CONCRETE SIDEWALK |
| ▦ | PROPOSED MENU BOARD |
| ▤ | PROP. BARRIER FREE RAMP |
| ⊙ | PROP. WATER METER |
| ⊗ | PROP. GREASE TRAP |

NOTES

- ALL DIMENSIONS ARE SHOWN PERPENDICULAR AND TO THE FRONT OF THE CURB UNLESS OTHERWISE NOTED.
- ALL CURB IS PERMANENT UNLESS NOTED OTHERWISE.
- SEE ARCH. PLANS FOR EXACT BUILDING DIMENSIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO USE CARE NOT TO DISTURB EXISTING LANDSCAPING OUTSIDE DISTURBED AREA. IF DISTURB CONTRACTOR TO RESTORE TO ORIGINAL CONDITIONS OR BETTER.
- CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UTILITIES.



| WATER METER SERVICES | | | |
|----------------------|----------------------------|------------|--------------|
| ID | TYPE | METER SIZE | SERVICE SIZE |
| "a" | DOMESTIC METER AND SERVICE | 1" | 1 1/2" |
| "b" | IRRIGATION METER AND CDC | 1" | 1" |

SITE PLAN NOTES

ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.

- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED PER THE ZONING ORDINANCE.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED PER THE ZONING ORDINANCE.
- OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
- LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
- ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
- BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- OCCUPANT NOTIFICATION PER THIS SECTION AND 907.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION, OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE, FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
- TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
- SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
- FIRE LANES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS.
- AMENDMENT 503.1.1
- THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE. AMENDMENT 503.2.1
- BUILDINGS MORE THAN 30 FEET IN HEIGHT ARE REQUIRED TO HAVE A MINIMUM OF A 26-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIREFIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE FIRE LANES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET. APPENDIX D105
- THE INSIDE TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
- THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
- DEAD-END FIRE LANES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.
- FIRE HYDRANTS SHALL BE PROVIDED AT THE ENTRANCES AND INTERSECTIONS. AMENDMENT 507.5.1
- AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET (300') FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R3, R-3 DEVELOPMENTS SHALL BE EVERY 500 FEET (500'). DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM HYDRANT-TO-HYDRANT, NOT AS THE "CROW FLYES." AMENDMENT 507.5.1
- FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5" STORZ, 30-DEGREE DOWNWARD TURN WITH LOCKING CAP. AMENDMENT 507.5.1
- FIRE HYDRANTS SHALL BE LOCATED 2 FOOT (2') TO 6 FOOT (6') BACK FROM THE CURB OR FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC. AMENDMENT 507.5.1
- THERE SHALL BE A MINIMUM OF TWO (2) FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE DESCRIBED DISTANCES LISTED ABOVE. A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT. AMENDMENT 507.5.1
- A MINIMUM 10-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER. AMENDMENT 503.1.1
- THE MAXIMUM DEAD-END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET (600') AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS. AMENDMENT 503.1.5
- ONE-AND TWO-FAMILY DWELLINGS AUTOMATIC FIRE SYSTEMS. AUTOMATIC FIRE PROTECTION SYSTEMS PER NFPA 13D OR NFPA 13R SHALL BE PROVIDED IN ALL ONE-AND TWO-FAMILY DWELLINGS WITH A CONDITIONED FLOOR AREA OF 5,500 SQUARE FEET (511 M2) OR GREATER, DWELLINGS THREE (3) STORIES OR GREATER, OR DWELLINGS WITH ROOF HEIGHTS EXCEEDING THIRTY-FIVE FEET (35') FROM GRADE. IRC-2015 AMENDMENT R313.2
- HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
- ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
- SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
- APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING SERVICES DEPARTMENT.
- SITE PLAN APPROVAL IS REQUIRED BEFORE THE GRADING RELEASE.
- ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW PER THE ZONING ORDINANCE.
- ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
- IMPACT FEES WILL BE ASSESSED PER THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE. HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
- THE APPROVAL OF A SITE PLAN SHALL BE EFFECTIVE FOR EIGHTEEN (18) MONTHS FROM THE DATE OF APPROVAL BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF ENGINEERING PLANS AND BUILDING PERMITS. IF THE ENGINEERING PLANS AND BUILDING PERMITS ARE NOT APPROVED, THE SITE PLAN APPROVAL, TOGETHER WITH ANY PRELIMINARY SITE PLAN FOR THE PROPERTY, IS NULL AND VOID.

CASE NO. D22-0011

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

TEXAS811 NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
www.texas811.org
Texas811 or 1-800-545-6005

| REVISIONS | |
|-----------|------|
| No. | Date |
| | |
| | |
| | |

| | |
|---|------------------|
| JONES CARTER | |
| Texas Board of Professional Engineers Registration No. F-439 4320 Lechell-Solano Road, Suite 100 • San Antonio, Texas 78249 • 210.484.5511 | |
| SCALE: AS SHOWN | DESIGNED BY: ACH |
| DATE: FEBRUARY 2022 | CHECKED BY: RJA |
| JOB NO.: 17007-0033-00 | DRAWN BY: RBZ |

| INTERIM REVIEW | |
|--|-------------------------|
| Not intended for construction, bidding or permit purposes. | |
| Engineer: RYAN J. ALCALA, P.E. | P.E. Serial No.: 137823 |
| Date: FEBRUARY 2022 | |

| | |
|---|--|
| SALAD AND GO - PROSPER - PRESTON AND PROSPER TRAIL | |
| 1300 NORTH PRESTON ROAD - PROSPER, TEXAS 75078 | |
| SITE PLAN | |
| LOT 6R, BLOCK A THE SHOPS AT PROSPER TRAIL ABSTRACT NUMBER: 172 1.078 ACRES PREPARATION DATE: 1/20/2022 | |
| SHEET NO. C-6 | |

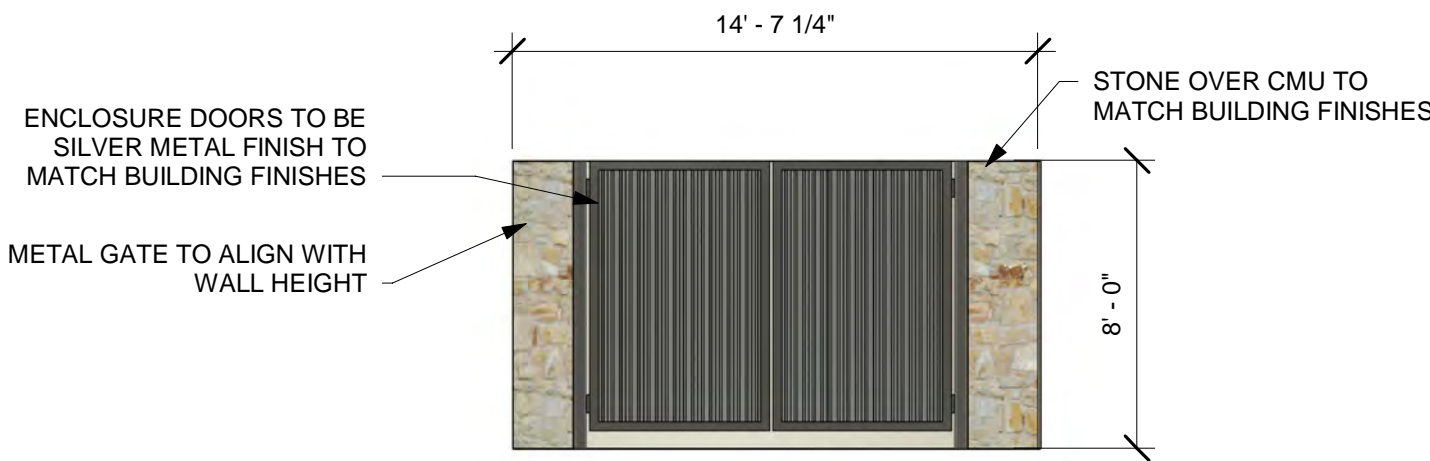
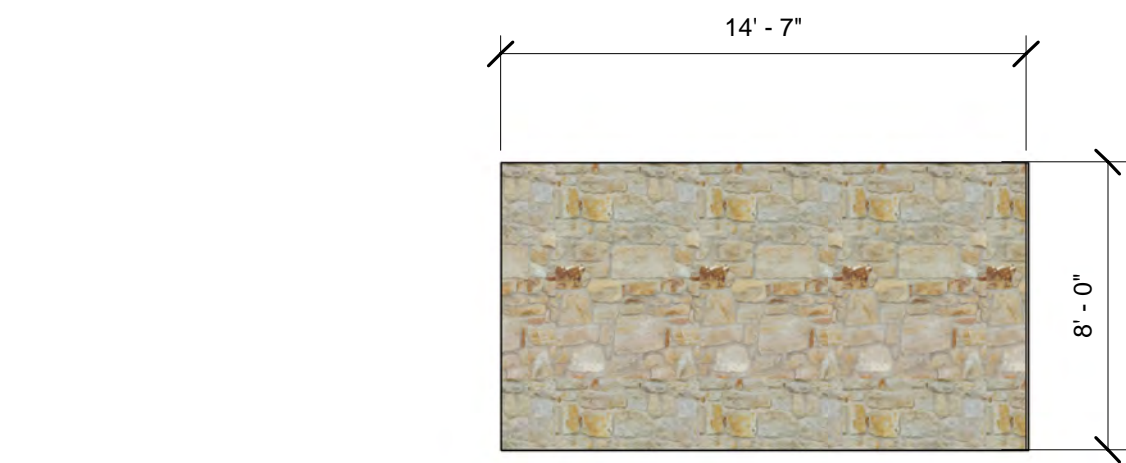


Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

| OPEN SPACE | |
|--|----------------------|
| 1. 7% of the net lot area shall be open space. Open space cannot include vehicular paving, required parking lot landscape islands, building footprint, utility yards, required landscape setbacks, sidewalks or detention ponds. | |
| REQUIRED | PROVIDED |
| 3,286 s.f. landscape | 3,874 s.f. landscape |

W R

AWR Designs, LLC
P.O. Box 1746
Aledo, Texas 76008
amanda@awr-designs.com
c. 512.517.5589



5 DUMPSTER ENCLOSURE

Scale: 3/16" = 1'-0"



| NORTH ELEVATION MATERIALS | | | |
|---------------------------|-------------|-------------|------------|
| | DESCRIPTION | AREA | PERCENTAGE |
| STONE | STONE | 158.83 S.F. | 14.54 % |
| BRICK | BRICK | 783.58 S.F. | 68.94 % |
| BUMP | STUCCO | 150.2 S.F. | 13.75 % |

| EAST ELEVATION MATERIALS | | | |
|--------------------------|-------------|-------------|------------|
| | DESCRIPTION | AREA | PERCENTAGE |
| STONE | STONE | 39.42 S.F. | 10.39 % |
| BRICK | BRICK | 248.78 S.F. | 65.56 % |
| BUMP | STUCCO | 67.38 S.F. | 17.76 % |

| SOUTH ELEVATION MATERIALS | | | |
|---------------------------|-------------|-------------|------------|
| | DESCRIPTION | AREA | PERCENTAGE |
| STONE | STONE | 147.51 S.F. | 13.19 % |
| BRICK | BRICK | 781.82 S.F. | 68.75 % |
| BUMP | STUCCO | 164.9 S.F. | 14.75 % |

| WEST ELEVATION MATERIALS | | | |
|--------------------------|-------------|-------------|------------|
| | DESCRIPTION | AREA | PERCENTAGE |
| STONE | STONE | 42.19 S.F. | 11.7 % |
| BRICK | BRICK | 209.01 S.F. | 55.08 % |
| BUMP | STUCCO | 109.33 S.F. | 30.32 % |

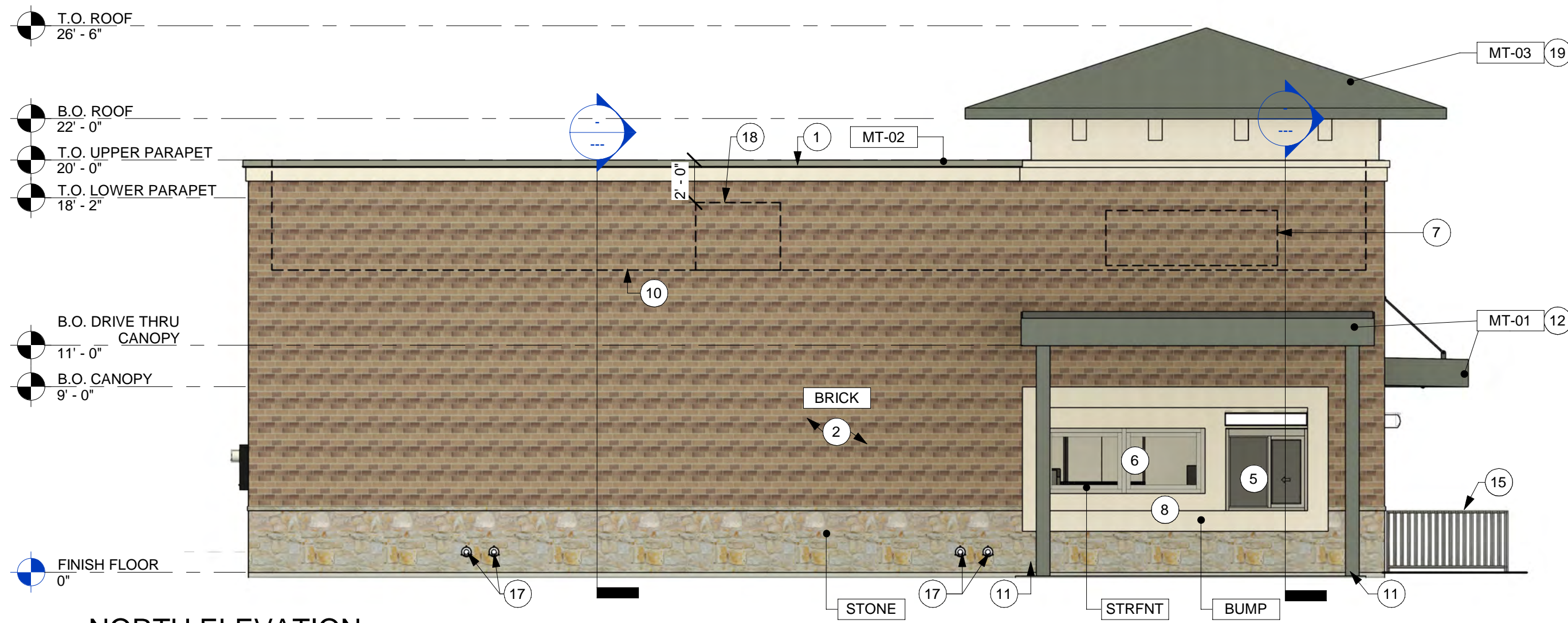
| FINISH SAMPLES | |
|----------------|---|
| STONE | TEXAS STONE DESIGN INC. GRANBURY COBBLE |
| BRICK | QUICK BRIK TIMBERLAND W/ RED FLASH |
| BUMP | DRYVIT OYSTER SHELL |
| MT-01 | METAL CHARCOAL GREY |
| MT-02 | METAL CHARCOAL GREY |
| MT-03 | PAC-CLAD CHARCOAL GREY STANDING SEAM |
| STRFNT | CLEAR ANODIZED |

| EXTERIOR FINISH SCHEDULE | | | | |
|--------------------------|---------------|--------------------|----------------|-------------------------|
| | DESCRIPTION | PRODUCT | FINISH | COLOR |
| STONE | STONE | TEXAS STONE DESIGN | COBBLE | GRANBURY |
| BRICK | BRICK | QUICK BRIK | N/A | TIMBERLAND W/ RED FLASH |
| BUMP | STUCCO | DRYVIT | PAINTED | OYSTER SHELL |
| MT-01 | METAL FASCIA | TBD | - | CHARCOAL GREY |
| MT-02 | METAL COPING | TBD | - | CHARCOAL GREY |
| MT-03 | METAL ROOFING | STANDING SEAM | - | CHARCOAL GREY |
| STRFNT | STOREFRONT | KAWNEER | CLEAR ANODIZED | |

EXTERIOR ELEVATION KEYNOTES

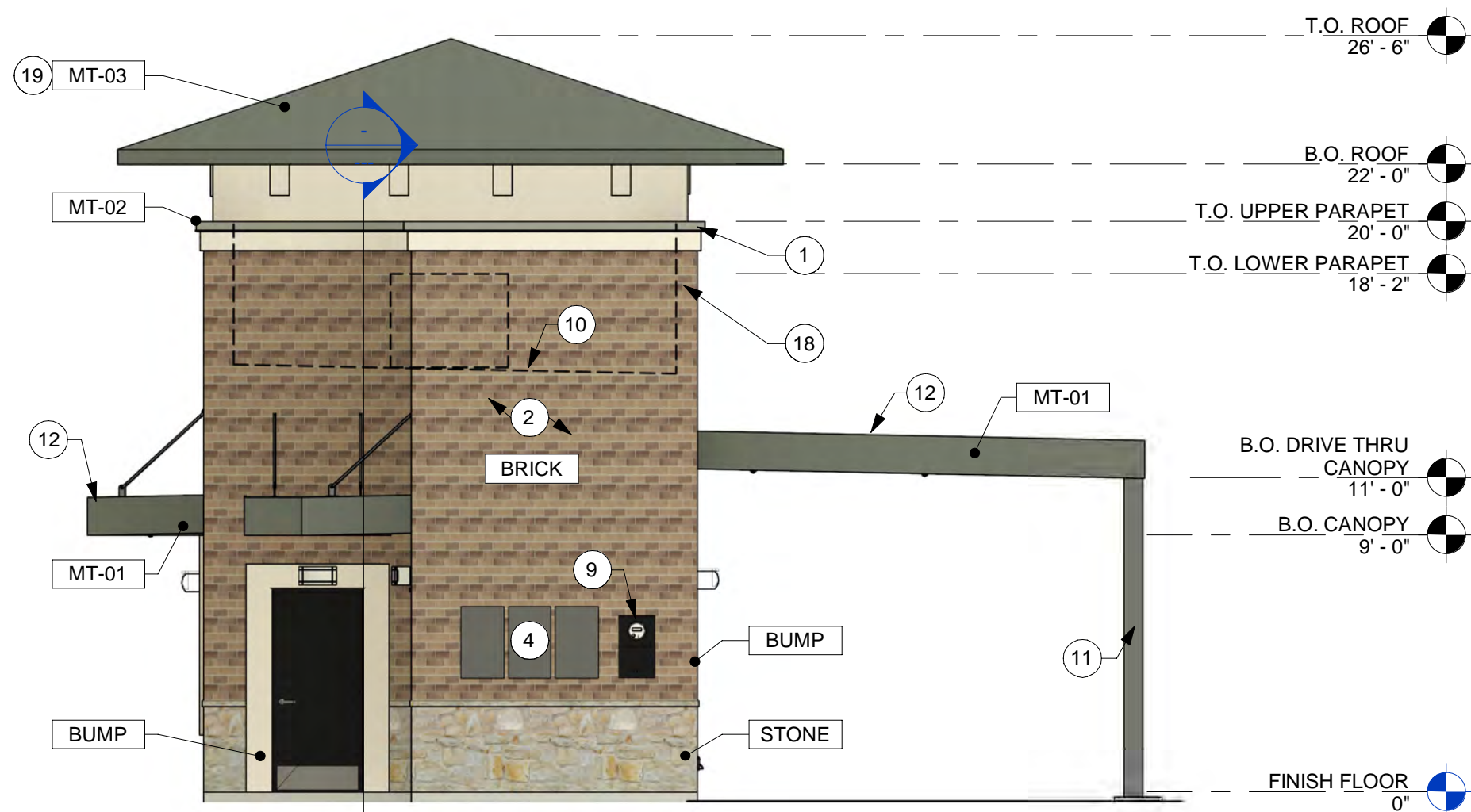
- METAL PARAPET CAP PAINTED SW 7663 'MONORAIL SILVER'.
- BRICK FINISH AS SCHEDULED.
- FIRE DEPARTMENT KNOX BOX
- ELECTRICAL PANELS. REF: ELEC. PAINTED TO MATCH ADJACENT BUILDING MATERIAL
- SLIDER WINDOW WITH DOUBLE INSULATED GLASS
- FIXED WINDOW WITH DOUBLE INSULATED GLASS
- FUTURE BUILDING SIGNAGE LOCATION. ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL.
- POP-OUT
- ELECTRICAL EQUIPMENT. UTILITY BOXES AND CONDUIT TO BE PAINTED TO MATCH BUILDING COLOR. REF: ELECTRICAL. PAINTED TO MATCH ADJACENT BUILDING MATERIAL
- ROOF LINE, BEHIND
- PAINTED STEEL COLUMN
- PAINTED C-CHANNEL CANOPY
- ACCESSIBLE SERVICE COUNTER
- STUCCO ACCENTS TO MATCH COMPLEX
- PAINTED 3'-6" METAL GUARD RAIL
- BUILDING NUMBER
- ROOF DRAIN
- PARAPET WALL TO SCREEN ROOFTOP EQUIPMENT. MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- STANDING SEAM METAL ROOF

ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL; SEC 22.100.4A.
MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.



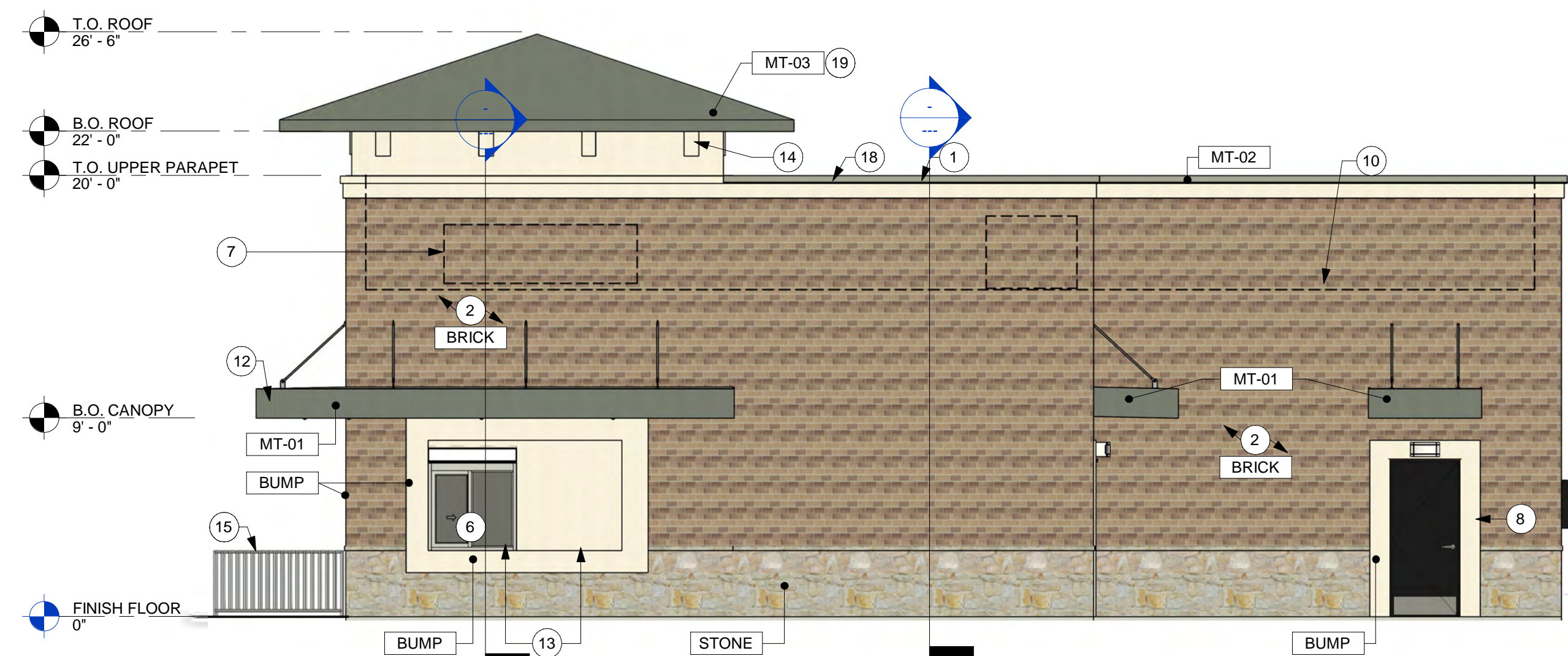
3 NORTH ELEVATION

Scale: 3/16" = 1'-0"



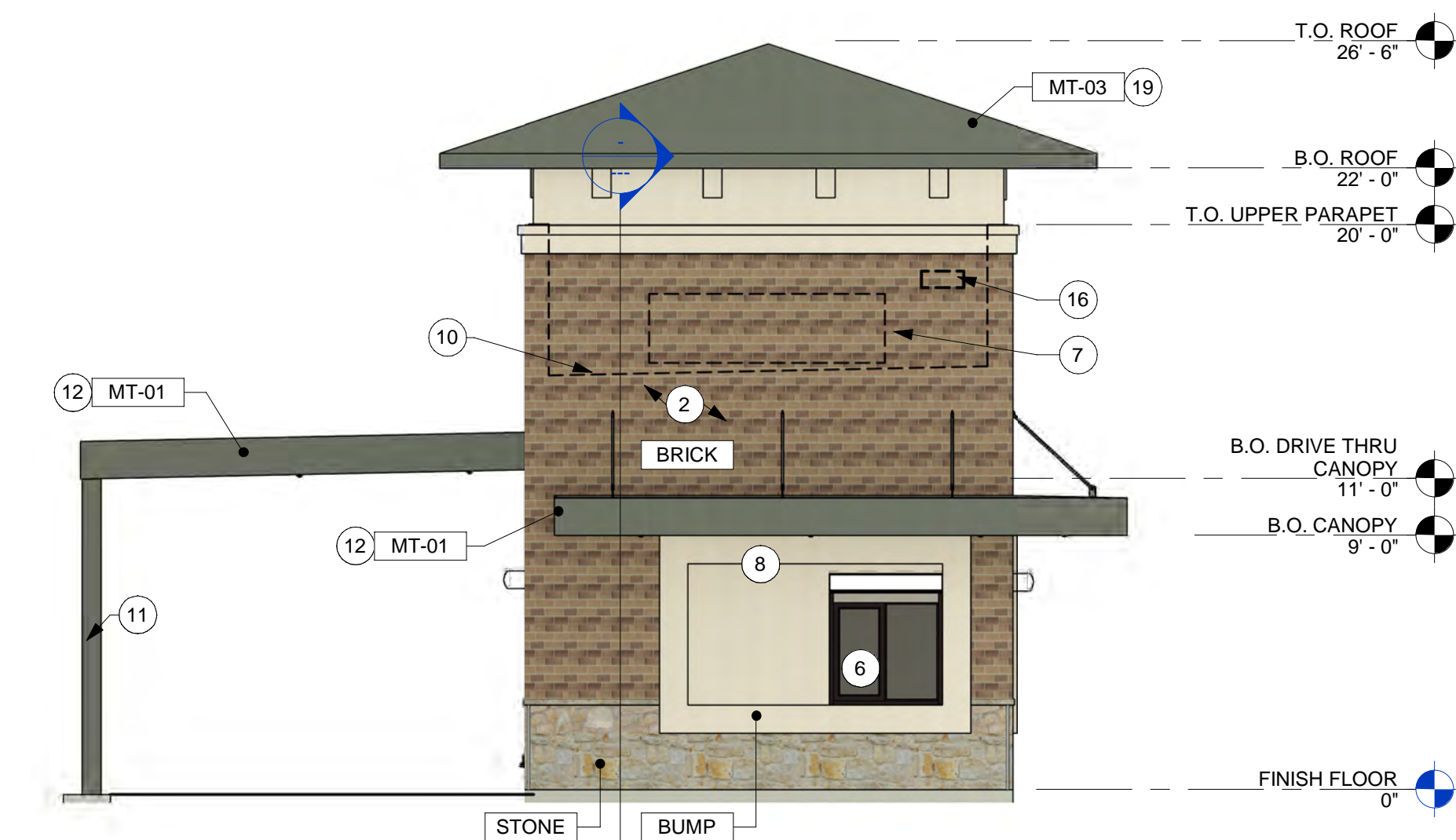
4 EAST ELEVATION

Scale: 3/16" = 1'-0"



1 SOUTH ELEVATION

Scale: 3/16" = 1'-0"



2 WEST ELEVATION

Scale: 3/16" = 1'-0"

ARCHITECT OF RECORD



513 MAIN STREET, SUITE 300
FORT WORTH, TEXAS 76102
(817) 820-0433

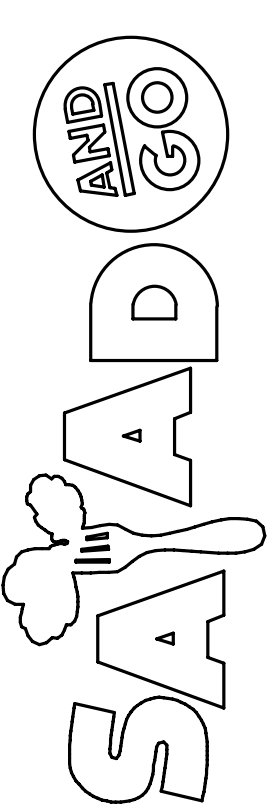
THIS DRAWING IS A DESIGN DEVELOPMENT DOCUMENT. SITE SPECIFIC MODIFICATIONS MADE UNDER THE RESPONSIBLE CHARGE OF THE ARCHITECT AND/OR ENGINEER-OF-RECORD WILL BE REQUIRED PRIOR TO USING THIS DOCUMENT FOR BIDDING, PERMITTING, OR CONSTRUCTION.

FACADE PLAN -02/10/2022

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

REVISION SCHEDULE

| REV | DATE | BY | DESCRIPTIONS |
|-----|------|----|--------------|
| | | | |
| | | | |
| | | | |
| | | | |



PRESTON & PROSPER TRAIL
1300 NORTH PRESTON ROAD
PROSPER, TX 75048

OWNER

SALAD AND GO CONCEPTS, LLC
743 N. GILBERT RD
GILBERT, AZ 85234

MATTHEW COPENHAVER
(410) 371-1563

ARCHITECT

ROGUE ARCHITECTS
513 MAIN STREET, SUITE 300
FORT WORTH, TEXAS 76102

DONNY RORSCHACH
(817) 820-0433 PHONE
(682) 244-8917 FAX
CONTACT: ASHLEY MORELAND

PROJECT #: 21-1125

ORIGINAL ISSUE DATE: 02/10/2022

PRODUCTION DESIGNER: J. JEFFERY

CHECKED BY: A. MORELAND

SHEET TITLE:

FACADE PLAN

SHEET NUMBER:

FP-01



PLANNING

To: Planning & Zoning Commission

Item No. 5

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – March 1, 2022

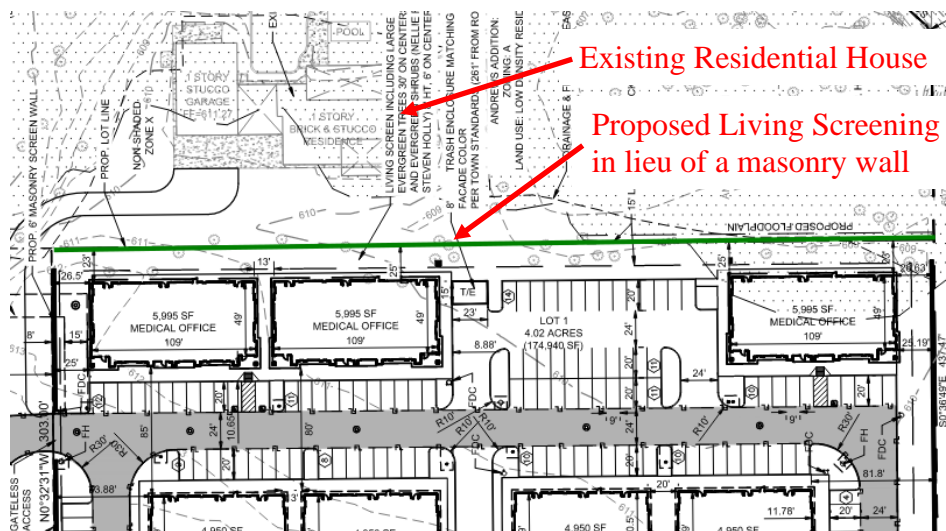
Agenda Item:

Consider and act upon a Preliminary Site Plan for an office development (CHC Prosper Trail), including Solid Living Screening, on 4.0± acres, located on the north side of Prosper Trail, west of Shawnee Trail. The property is zoned Office (O). (D21-0136).

Description of Agenda Item:

The Preliminary Site Plan is for an office development consisting of seven (7) single-story, medical office buildings totaling 37,785 square feet. Access will be provided from Prosper Trail. The Preliminary Site Plan conforms to the Office (O) development standards.

This item is on the Regular Agenda as the applicant is requesting approval of solid living screening in lieu of a masonry screening wall along the northern property line, where the adjacent property is zoned residential and there is an existing residential house. As shown below, the solid living screen consists of large evergreen trees 30' on center and evergreen shrubs (Nellie R. Stevens Holly), six-foot (6') on centers, eight 8' feet in height at the time of planting, within the fifteen (15) foot landscape area.



Attached Documents:

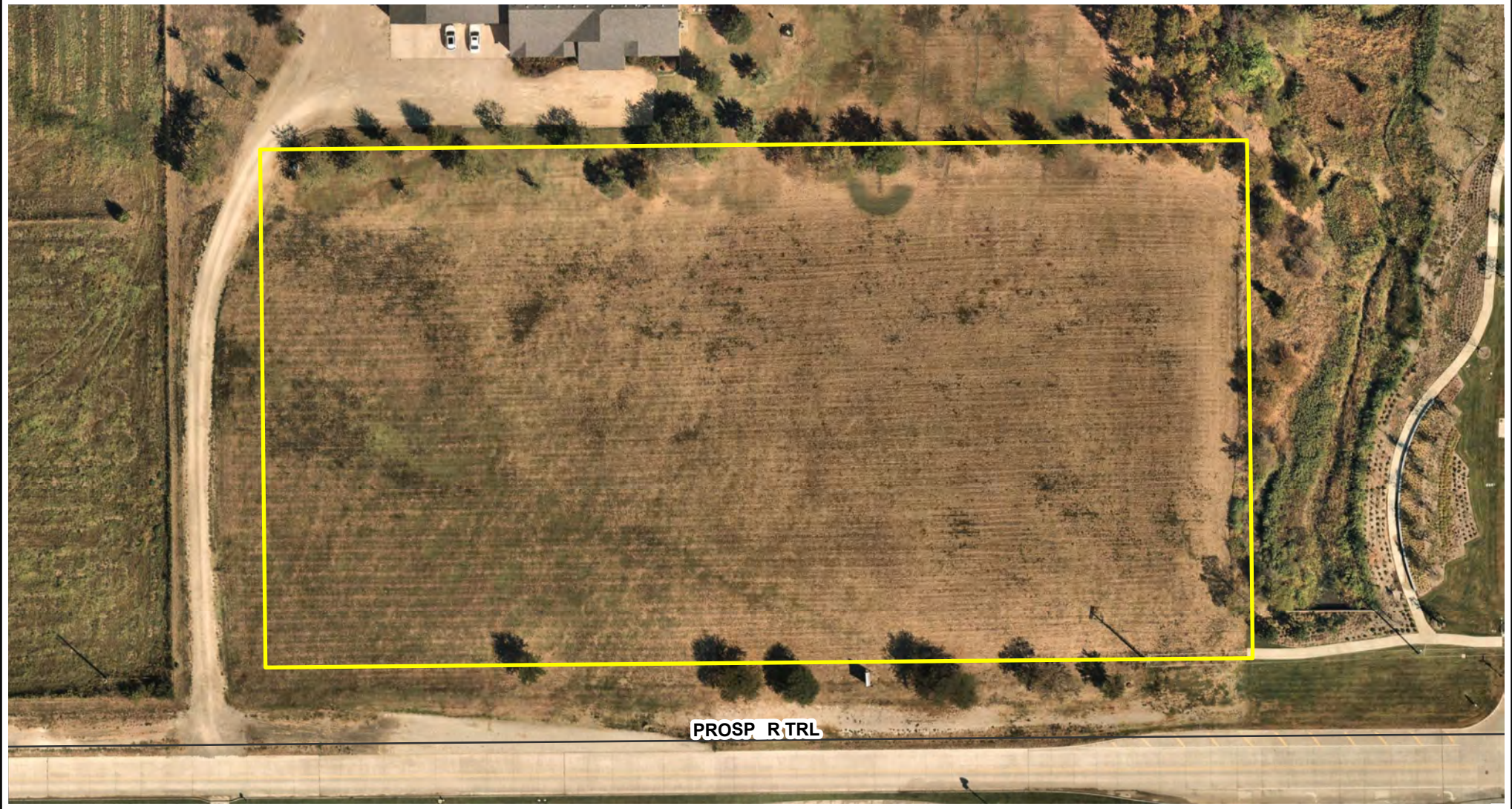
1. Location Map
2. Preliminary Site Plan

Staff Recommendation:

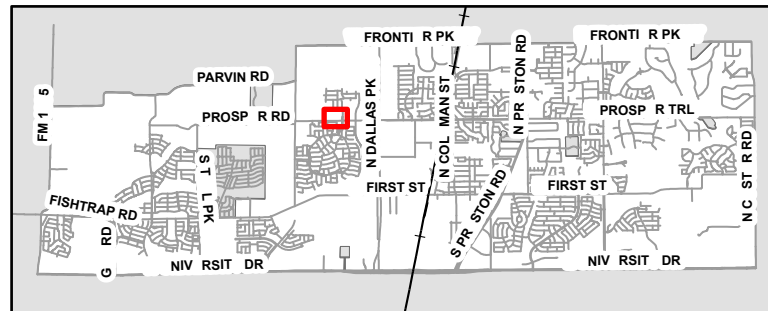
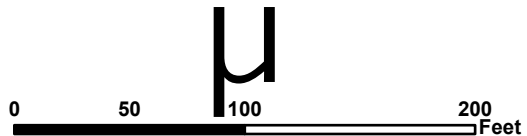
Staff recommends approval of the Preliminary Site Plan subject to:

1. Planning & Zoning Commission of solid living screening in lieu of a masonry wall only on the northern side of the property.
2. Town staff approval of preliminary water, sewer, and drainage plans.
3. Town staff approval of all emergency access, fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

D21-0136 - CHC Prosper Trail

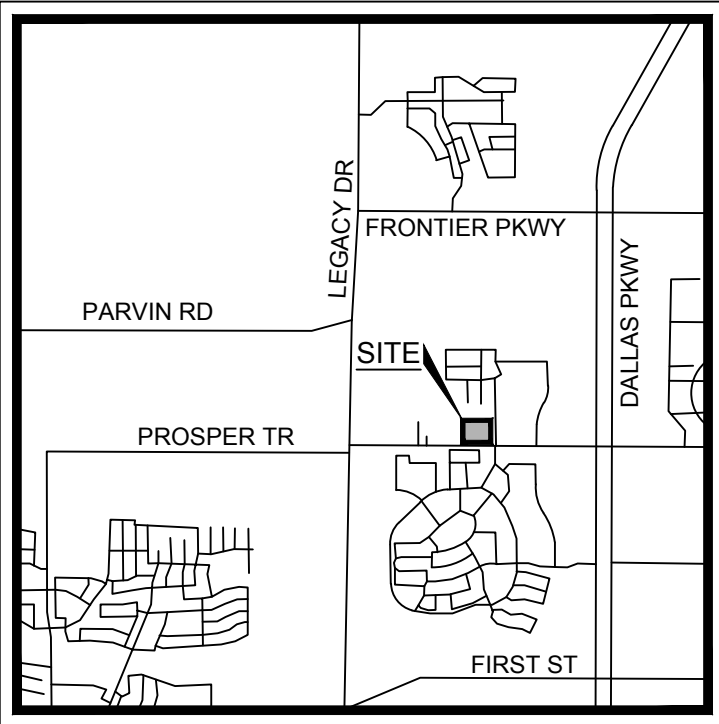
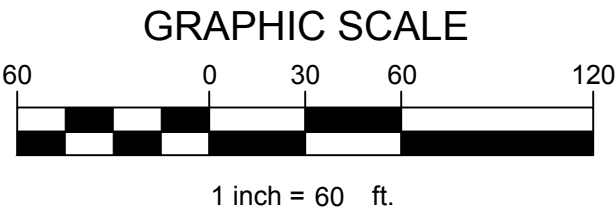
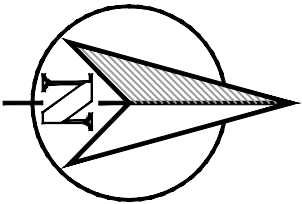


This map is for illustration purposes only .



PLOTTED BY: CURTIS, PETERS
 PLOT DATE: 2/24/2022 2:41 PM
 LOCATION: Z:\PROJECTS\2020-007 CHC PROSPER TRAIL\CADD\SHEETS\PRELIMINARY PLANS\PSF PRELIMINARY SITE PLANDWG
 LAST SAVED: 2/24/2022 2:39 PM

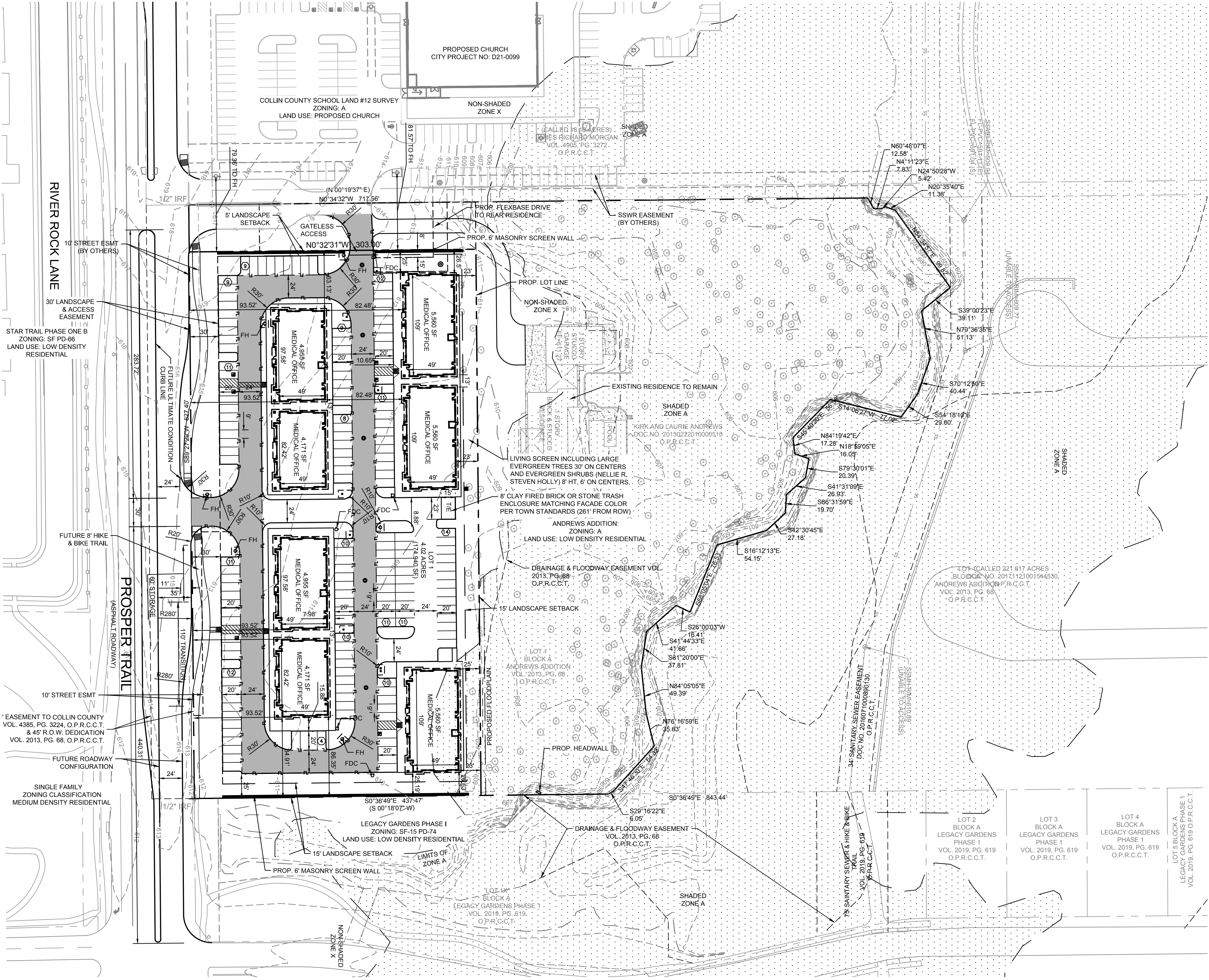
| SITE DATA SUMMARY | | | | | | | | | | | | | | | | | | | | | | | | | |
|-------------------|----------------|-----------------|----------------|------------------|--------------------|-----------------------|------------------|--------------|--------------|-------|----------------|--------|--|------|-------------|--------------|-------|------------------|-----|----------------|-----|---------------------|--------|---------------------|-------|
| LOT | CURRENT ZONING | PROPOSED ZONING | PROPOSED USE | LOT SIZE (ACRES) | LOT SIZE (SQ. FT.) | BLDG. AREA (TOTAL SF) | BLDG HGT. (MAX.) | # OF STORIES | LOT COVERAGE | | FLR AREA RATIO | | PARKING | | | HANDICAP SP. | | TOTAL IMPERVIOUS | | TOTAL PERVIOUS | | OPEN SPACE (SQ FT.) | | INT. LANDSCAPE (SF) | |
| | | | | | | | | | MAX. | PROV. | MAX. | PROV. | REQ. RATIO | REQ. | TOTAL PROV. | REQ. | PROV. | (SQ FT) | (%) | (SQ FT) | (%) | REQ (7% MIN.) | PROV. | (15 SF / PARK) | PROV. |
| PROPOSED LOT 1 | AG | O - OFFICE | MEDICAL OFFICE | 4.02 | 174,940 | 34,932 | 30' - 0" | 1 | 30% | 20% | 0.40:1 | 0.20:1 | MEDICAL/DENTAL OFFICE (1 PER 250 SQ FT) | 140 | 162 | 6 | 6 | 121,875 | 70% | 53,065 | 30% | 12,246 | 12,336 | 2,430 | 4,439 |



VICINITY MAP
N.T.S.

| LEGEND | |
|--------|-----------------------------------|
| | FIRE LANE CONCRETE PAVEMENT |
| | PROPOSED CONCRETE CURB AND GUTTER |
| | PARKING COUNT |
| | PROPOSED FIRE LANE STRIPPING |

- PRELIMINARY SITE PLAN NOTES:
- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
 - DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
 - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY TOWN.
 - ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
 - BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 - OCCUPANT NOTIFICATION PER THIS SECTION AND 907.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION, OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE, FOR RENOVATIONS TO EXISTING BUILDINGS. TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
 - FIRE LANES SHALL BE DESIGNATED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
 - TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
 - SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
 - FIRE LANES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS.
 - THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE.
 - BUILDINGS MORE THAN 30 FEET HIGH ARE REQUIRED TO HAVE A MINIMUM OF 26-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIREFIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE LANES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET.
 - THE INSIDE TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET.
 - THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET.
 - DEAD-END FIRE LANES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.
 - FIRE HYDRANTS SHALL BE PROHIBITED AT THE ENTRANCES AND INTERSECTIONS.
 - AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R3. R3 DEVELOPMENTS SHALL BE EVERY 500 FEET. DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM HYDRANT-TO-HYDRANT, NOT AS THE "ROW FLIES".
 - FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5" STORZ, 30-DEGREE DOWNWARD TURNING WITH LOCKING CAP.
 - FIRE HYDRANTS SHALL BE LOCATED 2 FOOT TO 6 FOOT BACK FROM THE CURB OF FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC.
 - THERE SHALL BE A MINIMUM OF TWO FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE PRESCRIBED DISTANCES LISTED ABOVE. A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT.
 - A MINIMUM 10-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER.
 - THE MAXIMUM DEAD END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS.
 - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
 - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE PRELIMINARY SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
 - ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
 - SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMP AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
 - ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
 - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE. HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
 - THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING AND ZONING COMMISSION. AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING AND ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
 - SITE WILL BE UNAVAILABLE TO DEVELOPE UNTIL A GRAVITY TRUNK MAIN HAS BEEN CONSTRUCTED FOR THE BASIN.



| | |
|--|----------------------|
| CHC PROSPER TRAIL | |
| LOT 1 BLOCK A ANDREWS ADDITION | |
| CASE #: D21-0136 | |
| OWNER: | |
| PROSPER TRAIL CENTRE LLC 916 BRYAN AVE STE 104 FORT WORTH, TX 76104 PH: 817.881.0373 | |
| CONTACT NAME: RIAN MAGUIRE | |
| APPLICANT: | |
| CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572 | |
| CONTACT NAME: MATT MOORE | |
| LEGAL DESCRIPTION: | |
| BEING A PORTION OF LOT 1, BLOCK A OF ANDREWS ADDITION, AN ADDITION TO THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED UNDER VOLUME 2013, PAGE 68, PLAT RECORDS, COLLIN COUNTY, TEXAS AS CONVEYED TO KIRK ANDREWS AND LAURIE ANDREWS AS RECORDED IN DOCUMENT NUMBER 20130222010000510, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS. | |
| CITY: | STATE: |
| TOWN OF PROSPER | TEXAS |
| COUNTY: | SURVEY: |
| COLLIN | COLLIN COUNTY SCHOOL |
| ABSTRACT NO. | |
| 147 | |

TEXAS FIRM #14199

CLAYMOORE ENGINEERING

1903 CENTRAL DR. SUITE 406
BEDFORD, TX 76021

PHONE: 817.281.0572
WWW.CLAYMOOREENG.COM

PRELIMINARY

FOR REVIEW ONLY
Not for construction purposes.

CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING
CONSULTANTS
Engineer: MATT MOORE
P.E. No. 98351 Date 2/24/2022

CHC PROSPER TRAIL
PROSPER, TX

PRELIMINARY SITE PLAN

| NO. | DATE | REVISION | BY |
|-----|------|----------|----|
| | | | |
| | | | |
| | | | |
| | | | |

SHEET

PSP

DESIGN: CWP
DRAWN: CWP
CHECKED: MAM
DATE: 02/01/2022

File No: 2020-007



PLANNING

To: Planning & Zoning Commission

Item No. 6

From: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – March 1, 2022

Agenda Item:

Consider and act upon a Site Plan for a restaurant (Prosper Wine House), on 0.2± acres, located on the south side of Broadway Street, west of Main Street. The property is zoned Downtown Retail (DTR). (D22-0009).

Description of Agenda Item:

The Site Plan shows the 12,052 square-foot restaurant, Prosper Wine House. Access is provided from Broadway Street. In 2020, the Zoning Ordinance was amended allowing the Planning & Zoning Commission to approve alternative parking space requirements at the time of Site Plan. Due to the availability of surrounding public parking, and limited opportunity in a downtown setting to provide off-street, staff is recommending approval of the Site Plan with no required on-site parking. The Site Plan conforms to DTR development standards.

Attached Documents:

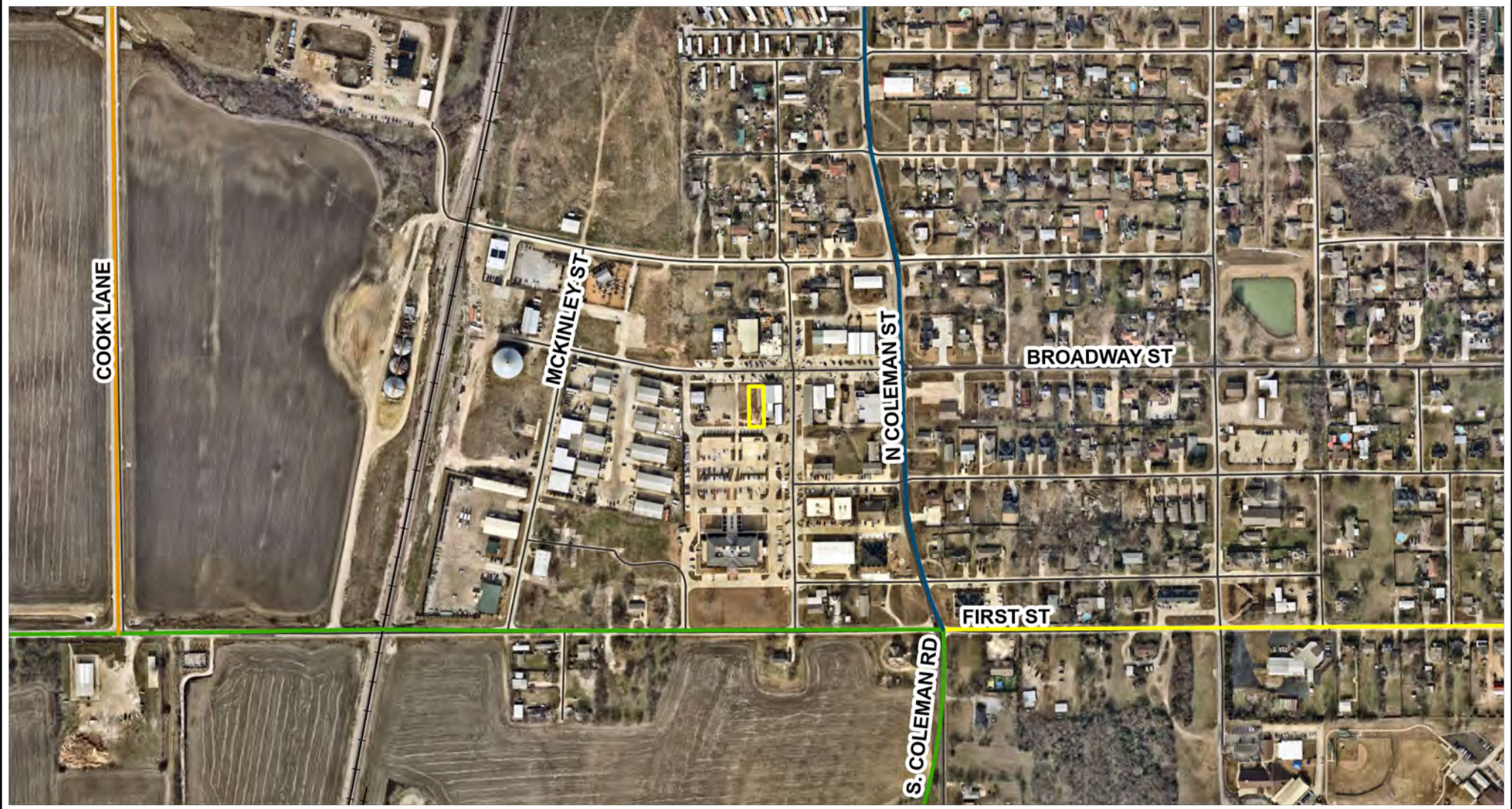
1. Location Map
2. Site Plan

Staff Recommendation:

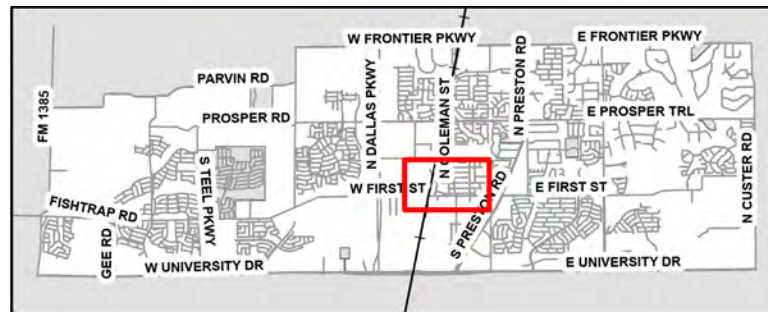
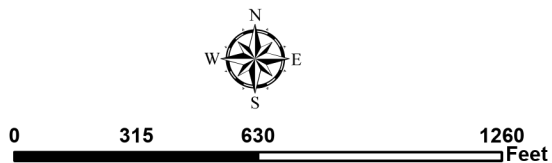
Staff recommends approval of the Site Plan subject to:

1. Planning & Zoning Commission approval of alternative parking.
2. Town staff approval of engineering, façade, and an amending plat.
3. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

D22-0009 - Prosper Wine House



This map is for illustration purposes only.





PLANNING

To: Planning & Zoning Commission

Item No. 7

From: David Soto, Senior Planner

Through: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – March 1, 2022

Agenda Item:

Conduct a Public Hearing and consider and act upon a request for a Specific Use Permit for a Restaurant with Drive-Through Service, in Victory at Frontier, on 1.6± acres, located on the south side of Frontier Parkway, west of Preston Road. The property is zoned Planned Development-10 (PD-10). (S22-0001).

Description of Agenda Item:

The zoning and land use of the surrounding properties are as follows:

| | Zoning | Current Land Use | Future Land Use Plan |
|-------------------------|--|---|---|
| Subject Property | Planned Development-10 | Undeveloped | Retail & Neighborhood Services District |
| North | City of Celina | City of Celina | City of Celina |
| East | Planned Development-10 & Specific Use Permit | Convenience Store with Gas Pumps (7-Eleven) | Retail & Neighborhood Services District |
| South | Planned Development-10 | Undeveloped | Retail & Neighborhood Services District |
| West | Planned Development-10 | Undeveloped | Retail & Neighborhood Services District |

Requested Zoning – The purpose of this request is to allow for a drive-through restaurant use within a 9,600 square-foot multitenant building. As shown on Exhibit B, the site includes adequate parking and stacking. Exhibit C is a conceptual landscape plan, which depicts the location of required landscaping. The landscaping meets the minimum standards of the Town's Zoning Ordinance. Exhibit D shows a conceptual rendering of the architectural look and style of the building, which matches other buildings within the development. The proposed building is primarily constructed of brick and stone. The applicant is planning to provide an exhibit of the overall development during their presentation to the Commission.

The Zoning Ordinance contains four criteria to be considered in determining the validity of a SUP request, as follows:

1. *Is the use harmonious and compatible with its surrounding existing uses or proposed uses?*
2. *Are the activities requested by the applicant normally associated with the requested use?*
3. *Is the nature of the use reasonable?*
4. *Has any impact on the surrounding area been mitigated?*

Staff believes the applicant has satisfied the noted criteria and recommends approval of the request, subject to the conditions outlined below.

Future Land Use Plan – The Future Land Use Plan recommends Retail & Neighborhood Services uses for the property. This request conforms to the Future Land Use Plan.

Conformance to the Thoroughfare Plan – The property has direct access to Frontier, a future six-lane divided thoroughfare. The SUP exhibit complies with the Thoroughfare Plan.

Parks Master Plan – The Parks Master Plan does not indicate a park is needed on the subject property.

Legal Obligations and Review:

Notification was provided to neighboring property owners as required by the Zoning Ordinance and state law. To date, staff has not received any Public Hearing Notice Reply Forms in response to this request.

Attached Documents:

1. Location and Zoning Maps
2. SUP Exhibits A, B, C, and D

Staff Recommendation:

Town staff recommends that the Planning & Zoning Commission approve the request, subject to the following:

1. Town Council approval of a Development Agreement, including, but not limited to, right-of-way and/or easement dedication, and architectural building materials.

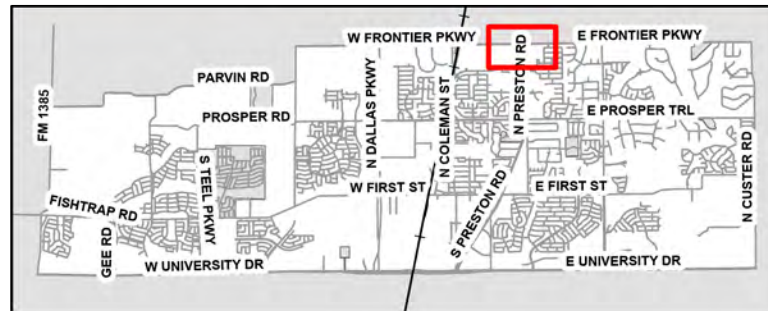
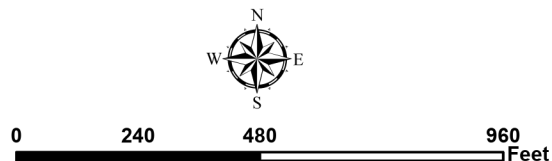
Town Council Public Hearing:

Upon a recommendation by the Planning & Zoning Commission, a Public Hearing on this item will be scheduled for the Town Council at their Regular meeting on March 22, 2022.

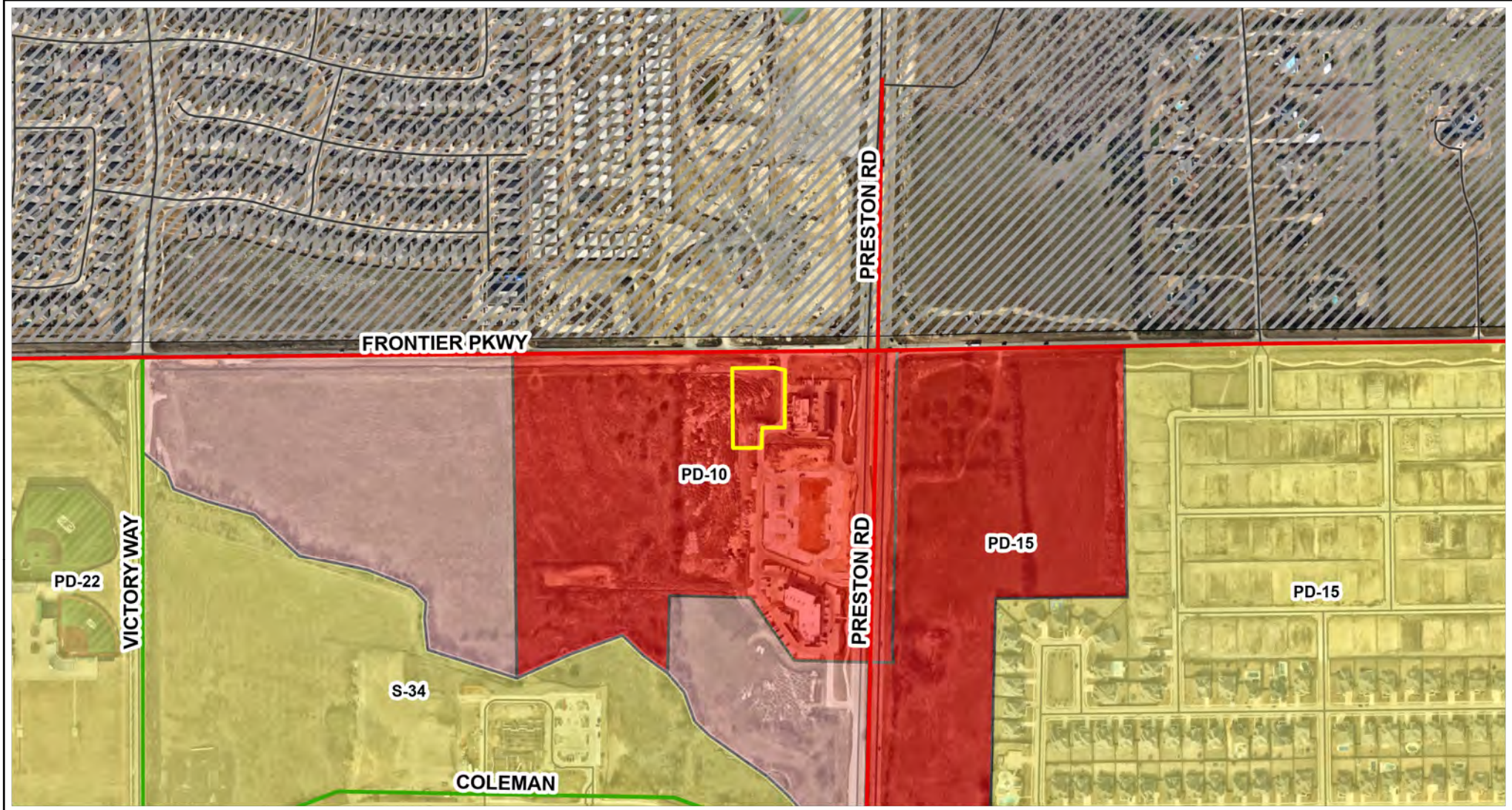
S22-0001 - Victory at Frontier



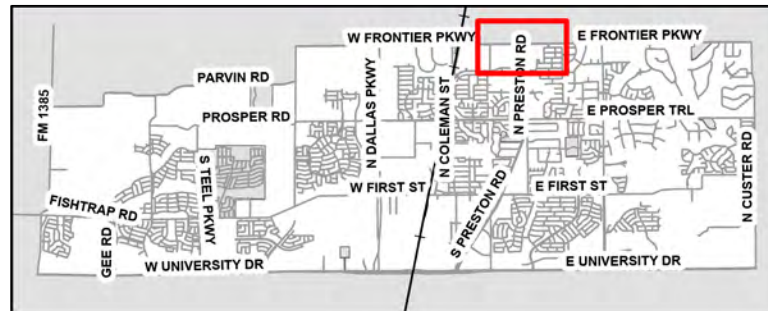
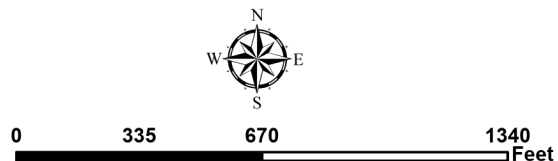
This map is for illustration purposes only.



S22-0001 - Victory at Frontier



This map is for illustration purposes only.



SURVEYOR'S NOTES:

- Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83), distances are surface with a combined scale factor of 1.00015271.
- This property lies within Zone "X" of the Flood Insurance Rate Map for Collin County, Texas and Incorporated Areas, map no. 48085C01201, with an effective date of June 2, 2009, via scaled map location and graphic plotting.
- Monuments are found unless specifically designated as set.
- Elevations (if shown) are North American Vertical Datum of 1988 (NAVD '88).

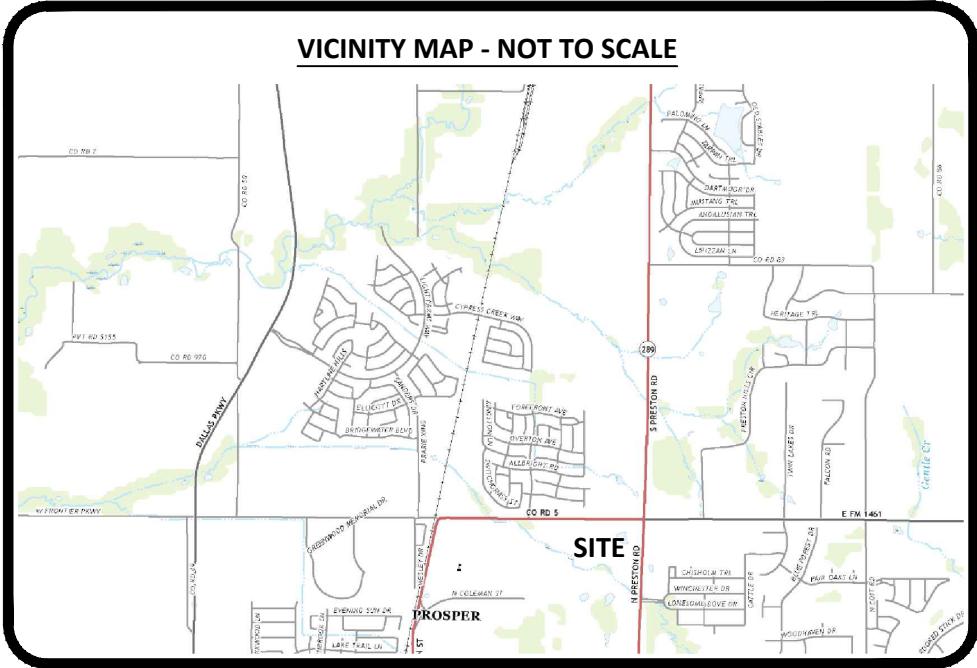
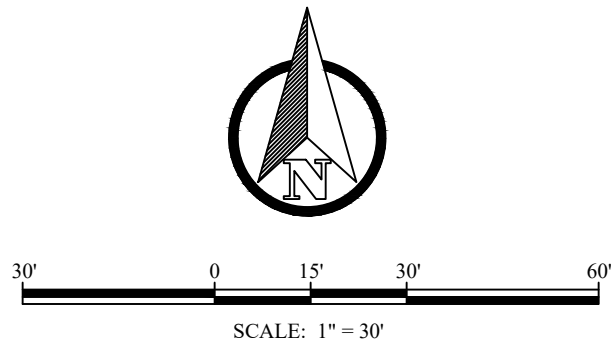
NOTE REGARDING UTILITIES

Source information from plans and markings will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.

Utility locations are per observed evidence.

LEGEND OF ABBREVIATIONS

- D.R.C.C.T. DEED RECORDS, COLLIN COUNTY, TEXAS
- P.R.C.C.T. PLAT RECORDS, COLLIN COUNTY, TEXAS
- O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
- DOC.# DOCUMENT NUMBER
- C.M. CONTROLLING MONUMENT
- SQ. FT. SQUARE FEET
- ROW RIGHT OF WAY
- CRS CAPPED REBAR SET



PROPERTY DESCRIPTION

BEING a portion of Lot 3 in Block A of Victory at Frontier, an addition in the Town of Prosper, Collin County, Texas, according to the plat recorded under Volume 2018, Page 699, Plat Records of Collin County, Texas, (P.R.C.C.T.), the subject tract being more particularly described by metes and bounds as follows (bearings are based on State Plane Coordinate System, Texas North Central Zone, North American Datum of 1983 (NAD '83)):

BEGINNING at an "X" cut in concrete set for the northeast corner of the herein described tract, same being the northwest corner of Lot 2 in said Block A;

THENCE South 00 degrees 15 minutes 13 seconds West, with the west line of said Lot 2, a distance of 211.13 feet to an "X" cut in concrete set;

THENCE through the interior of said Lot 3, the following calls:

- South 89 degrees 26 minutes 11 seconds West, a distance of 83.18 feet to an "X" cut in concrete set;
- South 01 degrees 24 minutes 24 seconds West, a distance of 73.39 feet to an "X" cut in concrete set;
- South 89 degrees 25 minutes 42 seconds West, a distance of 63.04 feet to a 1/2 inch rebar with pink cap stamped, "BARTON CHAPA" set (hereinafter called "capped rebar set")
- South 89 degrees 48 minutes 44 seconds West, a distance of 42.30 feet to a capped rebar set;
- North 00 degrees 34 minutes 18 seconds West, a distance of 292.93 feet to a capped rebar set in the north line of said Lot 3;

THENCE North 89 degrees 25 minutes 42 seconds East, with the north line of said Lot 3, a distance of 156.81 feet to a capped rebar set;

THENCE South 77 degrees 20 minutes 03 seconds East, with the north line of said Lot 3, a distance of 38.30 feet to the POINT OF BEGINNING and enclosing 1.148 acres (500,002 square feet) of land, more or less.

TITLE COMMITMENT NOTES

This survey was prepared without the benefit of a commitment for title insurance. Therefore, easements, agreements, or other documents, either recorded, or unrecorded may exist that affect the subject property that are not shown on this survey.

SURVEYOR'S CERTIFICATE

This is to certify that I, John H. Barton III, a Registered Professional Land Surveyor of the State of Texas, have prepared this map from an actual survey on the ground, and that this map correctly represents that survey made by me or under my direction and supervision. This survey meets the minimum requirements for a Category 1A, Condition II Land Title Survey. Fieldwork was completed on September 14, 2020.

Date of Plat/Map: September 15, 2020

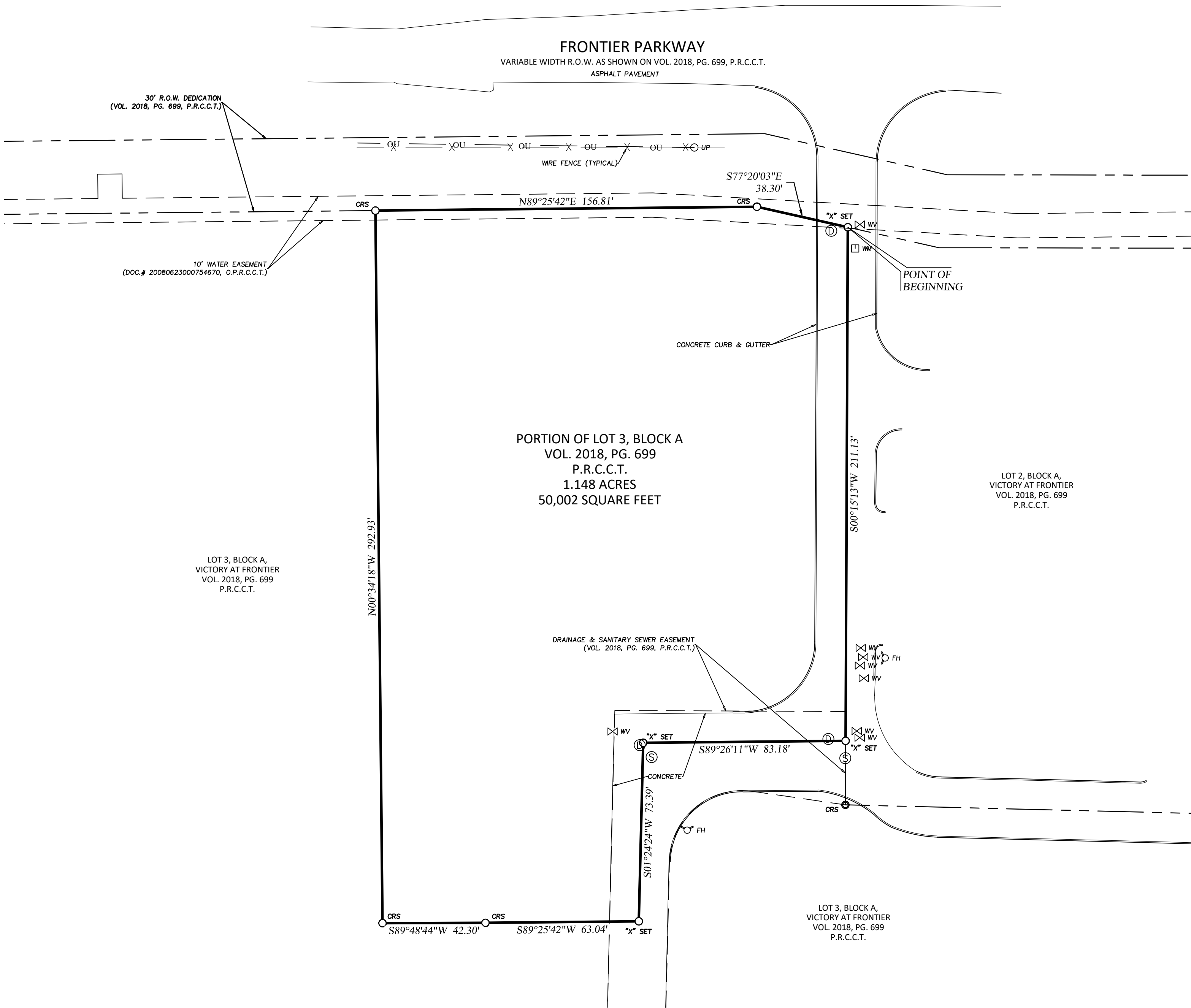
PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE
AND SHALL NOT BE USED, VIEWED, OR RELIED UPON AS A FINAL
SURVEY DOCUMENT September 15, 2020

John H. Barton III, RPLS# 6737

TERMS OF ACCEPTANCE OF SURVEY

This survey is issued pursuant to a real estate transaction and is appurtenant to the title commitment referenced in the "Title Commitment Notes" This survey is issued for use in such transaction. Notwithstanding any of the above statements, the surveyor has a contractual relationship with one client or entity. Review/requested revisions by other parties must be received by or through such entity. Client is responsible for reviewing survey (including, but not limited to: notations; existence or lack of spelling/grammatical/typographical errors; certified parties; dates; instruments) within thirty (30) days of the date of plat or map. After such time has passed, client accepts survey as issued, and further revisions are not embraced by the above certification. Additional or altered commitments for title insurance will require a new or re-issued survey. Please feel free to request pricing for this at info@bcstdfw.com, or call (817) 864-1957.



LEGEND OF SYMBOLS

- air conditioning unit
- irrigation control valve
- cable tv
- electric meter
- fence or guardrail
- fire dept. connection
- fire hydrant
- bollard
- area drain
- grate inlet
- gas valve
- gas meter
- gas well
- sign
- sanitary sewer manhole
- storm water manhole
- telephone manhole
- tank fill lid
- telephone pedestal
- traffic signal pole
- utility clean out
- comm. utility cabinet
- electric utility cabinet
- comm. utility vault
- elect. utility vault
- water utility vault
- utility/service pole
- utility sign
- water shutoff
- water valve
- well
- water meter
- cable tv riser
- air release valve
- utility markings
- tree
- shrub/decorative tree or tree with diameter < 4 in.
- contour lines

S22-0001

CATEGORY 1A, CONDITION II LAND TITLE SURVEY

PORTION OF LOT 3, BLOCK A
VICTORY AT FRONTIER
TOWN OF PROSPER
COLLIN COUNTY, TEXAS



5200 State Highway 121
Colleyville, TX 76034
Phone: 817-488-4960

JOB NO. 2020.001.148

DRAWN: BCS

CHECKED: JHB

TABLE OF REVISIONS

| DATE | SUMMARY |
|------|---------|
|------|---------|

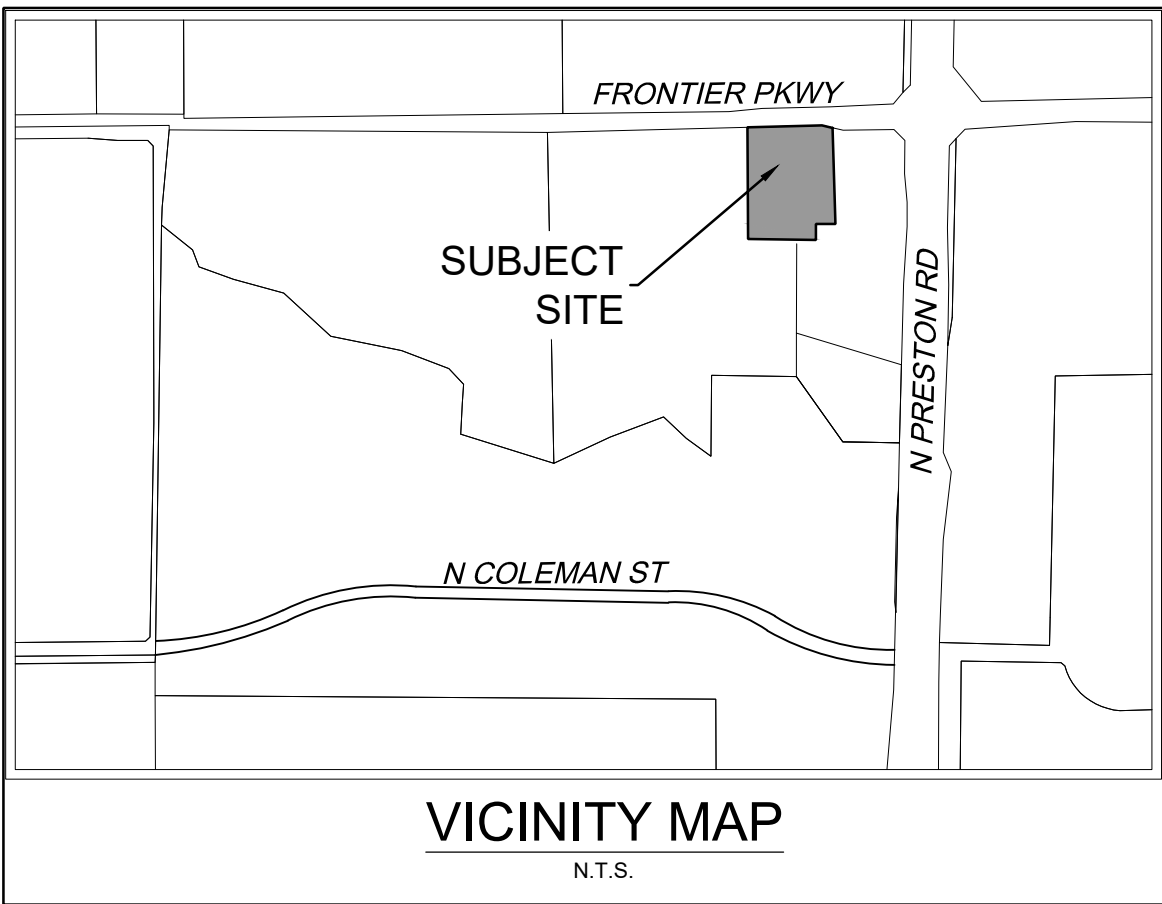
VICTORY AT
FRONTIER

PROSPER,
TEXAS

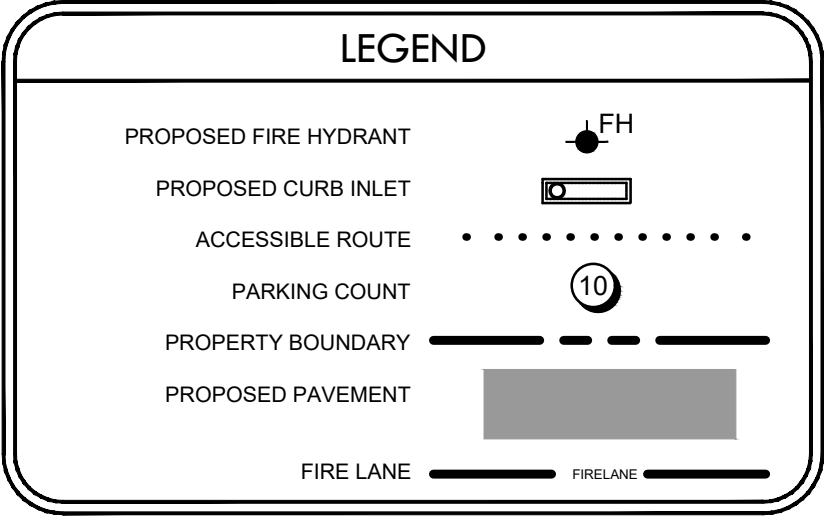
SHEET:

VO1

CATEGORY 1A,
CONDITION II
LAND TITLE
SURVEY



Know what's below.
Call before you dig.



| KE SITE PLAN DATA TABLE | |
|--|---------------------|
| EXISTING ZONING | PD-10 |
| LOT AREA (SF) / (ACRES) | 71,084 SF / 1.63 AC |
| TOTAL BUILDING AREA (SF) | 9,600 |
| BUILDING HEIGHT | 24'-0" (1 STORY) |
| BUILDING LOT COVERAGE (%) / FLOOR AREA RATIO | 13.5% / 0.135:1 |

| KE PARKING DATA TABLE | |
|------------------------------------|--------------------|
| RETAIL PARKING REQUIREMENT | 1 SPACE PER 250 SF |
| RESTAURANT PARKING REQUIREMENT | 1 SPACE PER 100 SF |
| PORTION OF BUILDING RETAIL | 57.3% / 5,500 SF |
| PORTION OF BUILDING RESTAURANT | 42.7% / 4,100 SF |
| RETAIL PARKING SPACES REQUIRED | 22 SPACES |
| RESTAURANT PARKING SPACES REQUIRED | 41 SPACES |
| TOTAL PARKING SPACES PROVIDED | 63 SPACES |
| REQUIRED ADA PARKING | 3 SPACES (1 VAN) |
| PROVIDED ADA PARKING | 3 SPACES (1 VAN) |

- LAYOUT & DIMENSIONAL CONTROL NOTES:
- BOUNDARY LINES AND EASEMENT: REFER TO THE FINAL PLAT TO VERIFY PROPERTY LINES AND EXISTING EASEMENT LOCATIONS.
 - DIMENSION CONTROL: UNLESS NOTED OTHERWISE, ALL PAVING DIMENSIONS SHOWN ARE TO FACE OF CURB.
 - CURB RADIUS: UNLESS NOTED OTHERWISE, ALL CURB RADII SHALL BE 3' AT FACE OF CURB.
 - BUILDING DIMENSIONS: REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES PRIOR TO CONSTRUCTION.
 - ALL COORDINATES ARE U.S. SURVEY FEET, NAD '83 SURFACE.

NOTE TO CONTRACTOR

THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

FLOOD PLAIN NOTE

NO 100-YEAR FLOODPLAIN EXISTS ON SITE

| KE SITE PLAN KEY | |
|------------------|--------------------------|
| ① | PROP. METER (DOMESTIC) |
| ② | PROP. DDC (FIRE SERVICE) |
| ③ | PROP. METER (IRRIGATION) |



GRAPHIC SCALE

0 30 60 FEET

SCALE: 1" = 30'

SITE PLAN

CITY PROJECT NO. S22-0001

FRONTIER RETAIL 4

1.17 ACRES

LOT 7, BLOCK A

SURVEY ADDITION NAME

(INST. NO. 20190215010000670)

CITY OF PROSPER, COLLIN COUNTY, TEXAS

PREPARATION DATE: 11/29/2021

OWNER/APPLICANT

VICTORY GROUP

6125 LUTHER LANE, SUITE 583

DALLAS, TEXAS, 75225

PH: KE CLIENT PHONE NUMBER

CONTACT: KE CLIENT CONTACT

ENGINEER

KIRKMAN ENGINEERING, LLC

5200 STATE HIGHWAY 121

COLLEYVILLE, TX 76034

PH: 817-488-4960

CONTACT: KE PROJECT PM, PE

LANDSCAPE ARCHITECT

LANDSCAPE ARCHITECT COMPANY

LANDSCAPE ADDRESS

LANDSCAPE PHONE NUMBER

CONTACT: LA ARCHITECT, RLA

SURVEYOR

BARTON CHAPA SURVEYING

5200 STATE HIGHWAY 121

COLLEYVILLE, TX 76034

PH: 817-864-1957

CONTACT: JACK BARTON, RPLS

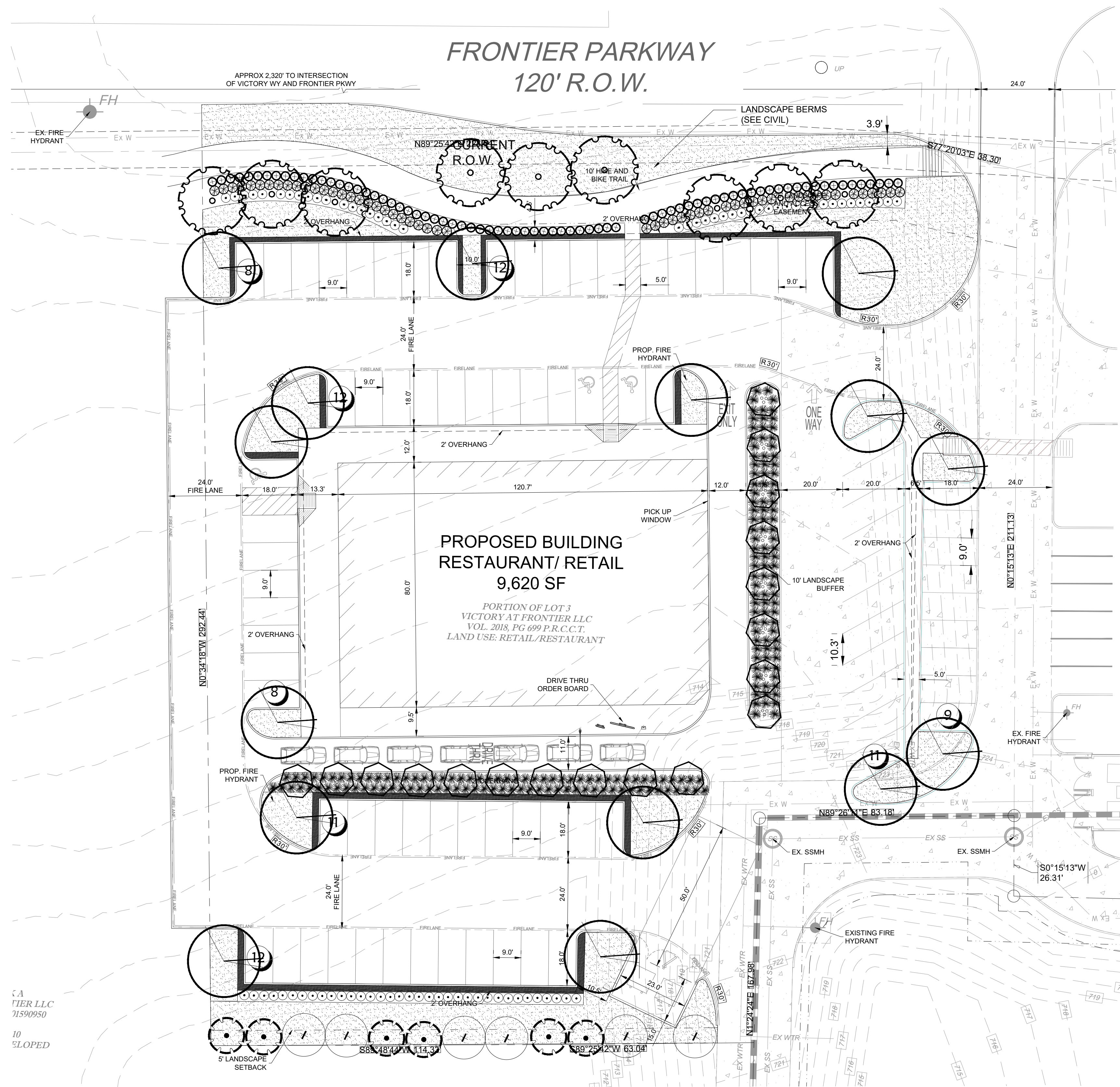
- Development Plan Review Guidelines
- The building height, width, length, and, square footage shall be provided for all structures on the drawing.
 - The classification of each building shall be identified in the drawing.
 - A minimum of two points of access to the property spaced no less than 140 feet apart.
Amendment 503.1.4
 - Fire lanes shall be provided within 150 feet of all exterior walls of any building for hose lay requirements. Amendment 503.1.1
 - The fire lane shall be a minimum of 24 feet wide. Amendment 503.2.1
 - Buildings more than 30 feet in height are required to have a minimum of a 26-foot wide fire lane in the immediate vicinity for firefighting operations of the building. One of the 26-foot wide fire lanes shall be located a minimum of 15 feet from the building and no more than 30 feet. Appendix D105
 - The inside turning radius of the 24-foot fire lane shall be a minimum of 30 feet. Amendment 503.2.4
 - The inside turning radius of the 26-foot fire lane shall be a minimum of 30 feet. Amendment 503.2.4
 - Dead-end fire lanes are only permitted with approved hammerheads.
 - Fire hydrants shall be provided at the entrances and intersections. Amendment 507.5.1
 - As properties develop, fire hydrants shall be located at all intersecting streets and the maximum spacing shall be every 300 feet (300') for all developments, and facilities other than R3, R-3 developments shall be every 500 feet (500'). Distances between hydrants shall be measured along the route that fire hose is laid by a fire apparatus from a hydrant-to-a hydrant, not as the "crow flies." Amendment 507.5.1
 - Fire department connection (FDC) for the fire sprinkler system shall be located within 50 feet of a fire hydrant and 50 feet of a fire lane. 5' Storz, 30-degree downward turn with locking cap. Amendment 507.5.1
 - Fire hydrants shall be located 2 foot (2') to 6 foot (6') back from the curb or fire lane and shall not be located in the bulb of a cul-de-sac. Amendment 507.5.1
 - There shall be a minimum of two (2) fire hydrants serving each property within the prescribed distances listed above. A minimum of one fire hydrant shall be located on each lot. Amendment 507.5.1
 - A minimum 10-foot unobstructed width shall be provided around a building for adequate Fire Department access. A continuous row of parking and landscaping shall be considered a barrier. Amendment 503.1.1
•While there is an array of benefits to emergency rescue and firefighting tactics, the following are a few basic scenarios to explain the rationale.
1. Ladder angle in the event of emergency rescue.
2. Ladder angle in the event of roof ventilation.
3. "60°" size-up is a basic protocol and procedure of the first arriving officer. This allows firefighters to size up the danger(s) to determine if additional apparatus and aid will be needed.
4. Hose lay maneuverability in the event of a hose attack, firefighters must be able to pull hose(s). It is common practice throughout the industry. There is no orderly or single approach when it comes to stretching hose out when a building is on fire.
5. Staging rescue equipment, ventilation fans, tools, the maneuverability of EMS equipment, and so forth.
 - An automatic fire sprinkler system will be required for the proposed buildings if the square footage exceeds 5,000 square feet to the drip line on each lot or the occupant load within the assembly occupancy exceeds 100 people. Amendment 903.2.11.9

LOT 3, BLOCK A
VICTORY AT FRONTIER LLC
DOC. NO. 2006122001309550
D.R.C.C.T.
ZONING: PD-10
LAND USE: UNDEVELOPED

LOT 5, BLOCK A
Victory At Frontier LLC
VOL. 2018, PG. 699 P.R.C.C.T.
1.08 ACRES
ZONING: PD-10
LAND USE: RESTAURANT

LOT 4, BLOCK A
Victory At Frontier LLC
ZONING: PD-10
LAND USE: RETAIL/RESTAURANT

FILENAME: SUPP.dwg
PLOT DATE: 11/29/2021
PLOT BY: JAC



KEY

TREES

| | | | | |
|----|----|--------------------|----------------|---|
| 14 | UL | Ulmus crassifolia | Cedar Elm | 3" Cal. Min. Cont. Grown-65 Gal. 12"-15" Height, 6'-8' Spread Specimen |
| 9 | QT | Quercus texana | Texas Red Oak | 3" Cal. Min. Cont. Grown-65 Gal. 12"-15" Height, 6'-8' Spread Specimen |
| 6 | CH | Chilopsis linearis | Desert Willow | 3" Trunk Min. 30 Gal. Cont. Grown 1" Cal. Per Trunk, 4-5 Canes 8' Height, 5' Spread, Specimen |
| 6 | CL | Ilex opaca | Foster Holly | 3" Cal. Min. Cont. Grown - 15 Gal. Full Crown, Min. 1" Canes, Min. 7' ht. Healthy, Plant as Shown |
| 18 | CC | Cercis canadensis | Eastern Redbud | 3" Cal. Min. Cont. Grown - 15 Gal. Full Crown, Min. 1" Canes, Min. 7' ht. Healthy, Plant as Shown |

SHRUBS

| | | | | |
|-----|-----|--------------------------------|--------------------|---|
| 79 | VIB | Viburnum v. davidii | Viburnum | 5 Gal. Minimum 24" - 36" Minimum height at planting Spaced per plan, matching |
| 53 | NER | Abelia x grandiflora | Glossy Abelia | 5 Gal. Minimum 30" Minimum height at planting Spaced per plan, matching |
| 75 | NOL | Nandina domestica 'Lemon Lime' | Lemon Lime Nandina | 5 Gal. Minimum 4' Height at Planting Spaced per plan, matching |
| 193 | NAN | Nandina domestica | Nandina | 5 Gal. Minimum 30" Minimum height at planting Spaced per plan, matching |

GROUND COVER

| | | | | |
|-----------|-----|----------------------|---------------|--|
| 909 SF | DG | Decomposed Granite | | |
| 10,426 SF | SOD | Common Bermuda Grass | Bermuda Grass | Solid sod Sand fill joints and provide uniform coverage within 30 days of completion |

LANDSCAPE CALCULATIONS

- A MINIMUM 10% OF PLATTED AREA TO BE LANDSCAPED
- REQUIRED LANDSCAPE AREA: 50,966 SF X 10% = 5,097 SF
- PROVIDED: 15,514 SF (30%)

30' LANDSCAPE BUFFER ALONG FRONTIER PKWY MEASURED FROM THE PROPERTY LINE

- REQUIRED: 1 CANOPY TREE FOR EVERY 30 LINEAR FEET
- 267 LF / 30 = 9 TREES
- PROVIDED: 9 TREES
- REQUIRED: A MINIMUM OF 15 SHRUBS WITH A MINIMUM SIZE OF FIVE (5) GALLONS EACH WILL BE PLANTED IN THE LANDSCAPE AREA FOR EVERY 30 LINEAR FEET OF FRONTAGE
- 267 LF / 30 = 9 X 15 SHRUBS = 135 SHRUBS
- PROVIDED: 172 SHRUBS

5' LANDSCAPE BUFFER AROUND THE PERIMETERS OF THE PROPERTY

- REQUIRED: ONE SMALL TREE AND ONE FIVE-GALLON SHRUB SHALL BE PLANTED EVERY 15 LINEAR FEET
- SOUTH BUFFER: 177.37/15 = 12 TREES AND 12 SHRUBS
- EAST BUFFER: 116.98' / 15 = 8 TREES AND 8 SHRUBS
- PROVIDED: SOUTH BUFFER: 12 TREES AND 35 SHRUBS EAST BUFFER: 116.98' / 15 = 8 TREES AND 99 SHRUBS

INTERIOR PARKING LANDSCAPING (ALL REQUIRED AND PROVIDED)

- REQUIRED: 15 SQ. FT. OF LANDSCAPING FOR EACH PARKING SPACE SHALL BE PROVIDED WITHIN THE PAVED BOUNDARIES OF THE PARKING LOT AREA.
- PROVIDED: YES
- REQUIRED: LANDSCAPE ISLAND (160 SF & NO LESS THAN 9' WIDE AND AN EQUAL LENGTH TO THE ABUTTING PARKING SPACE) AT THE END OF EVERY PARKING ROW WITH A CANOPY TREE
- PROVIDED: YES
- REQUIRED: EVERY 15 PARKING SPACES MUST BE INTERRUPTED BY A LANDSCAPE ISLAND
- PROVIDED: YES
- REQUIRED: A CANOPY TREE WITHIN 150 FEET OF EVERY PARKING SPACE
- PROVIDED: YES

- DRIVE THRU LANE SCREENING
- REQUIRED: ONE TREE PER 15 LF AND SHRUBS 3' O.C.
- PROVIDED: 6 TREES AND 51 SHRUBS

FACADE NOTES

This Façade Plan is for conceptual purposes only. All building plans require review and approval from the Building Inspections Division.

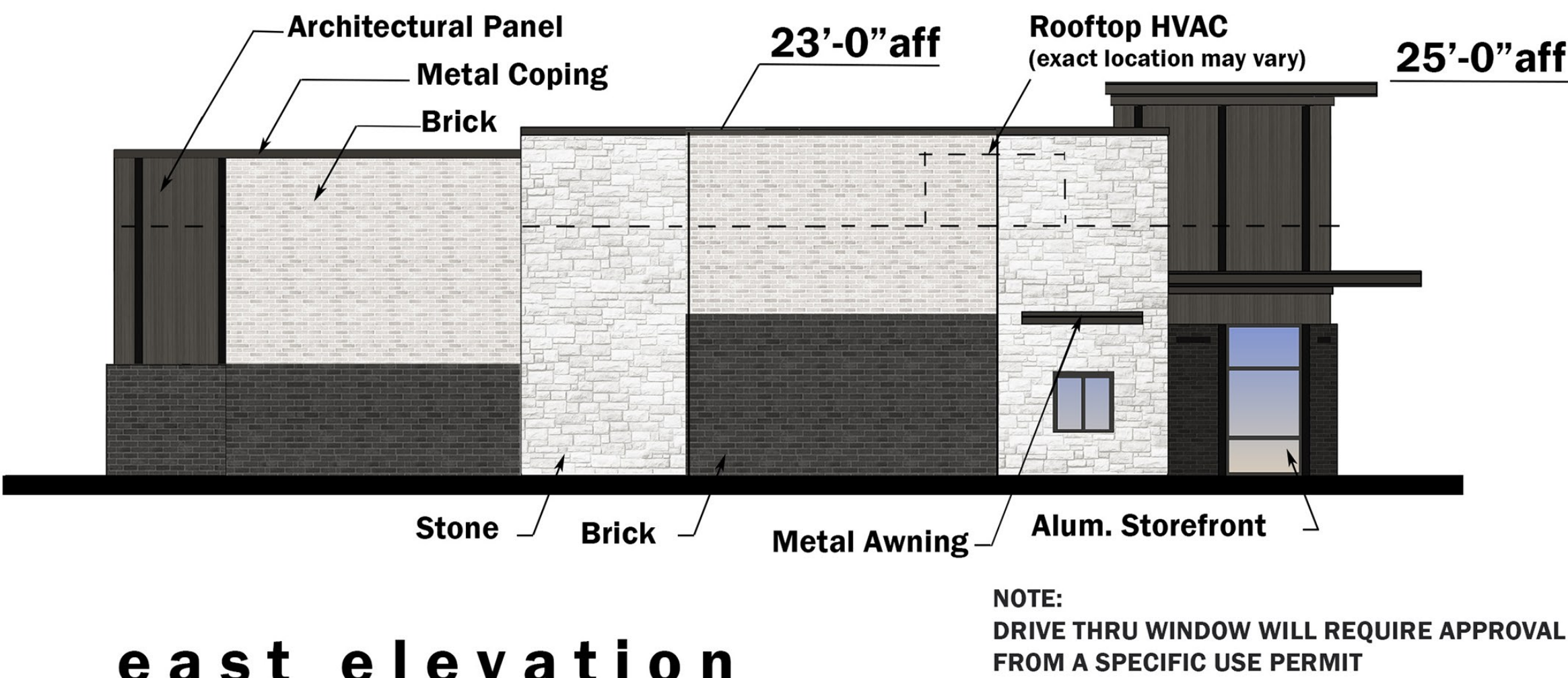
All mechanical equipment shall be screened from public view. Rooftop mounted equipment shall be screened by a parapet wall or screening wall. Screening walls shall be the specifications of the Zoning Ordinance.

When permitted, exposed utility boxes and conduits shall be painted to match the building.

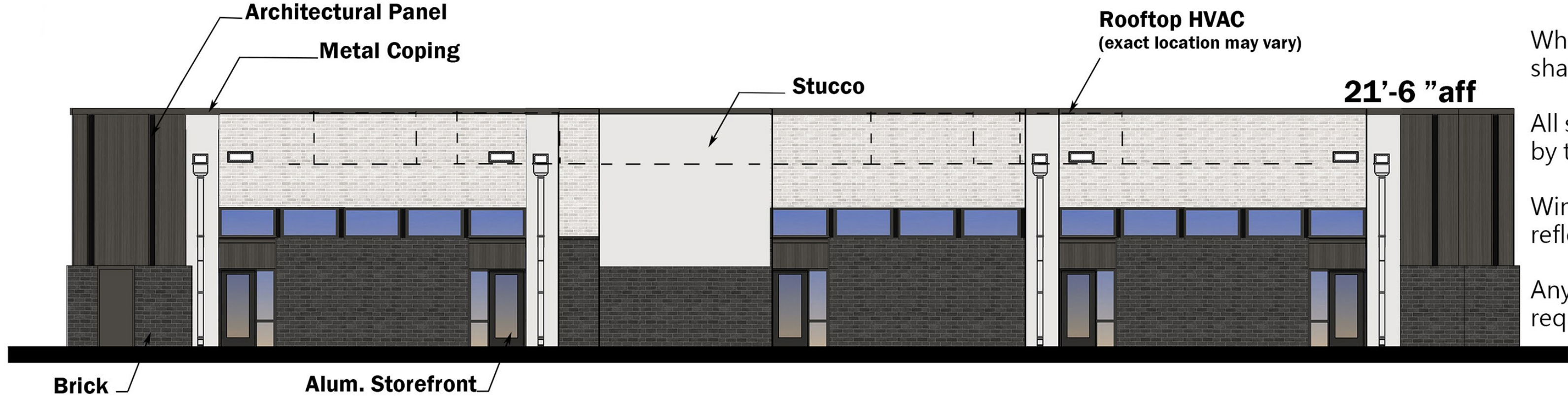
All signage areas and locations are subject to approval by the Building Inspections Division.

Windows shall have a maximum exterior visible reflectivity of ten (10) percent.

Any deviation from the approved Façade Plan will require re-approval by the Town of Prosper.



east elevation



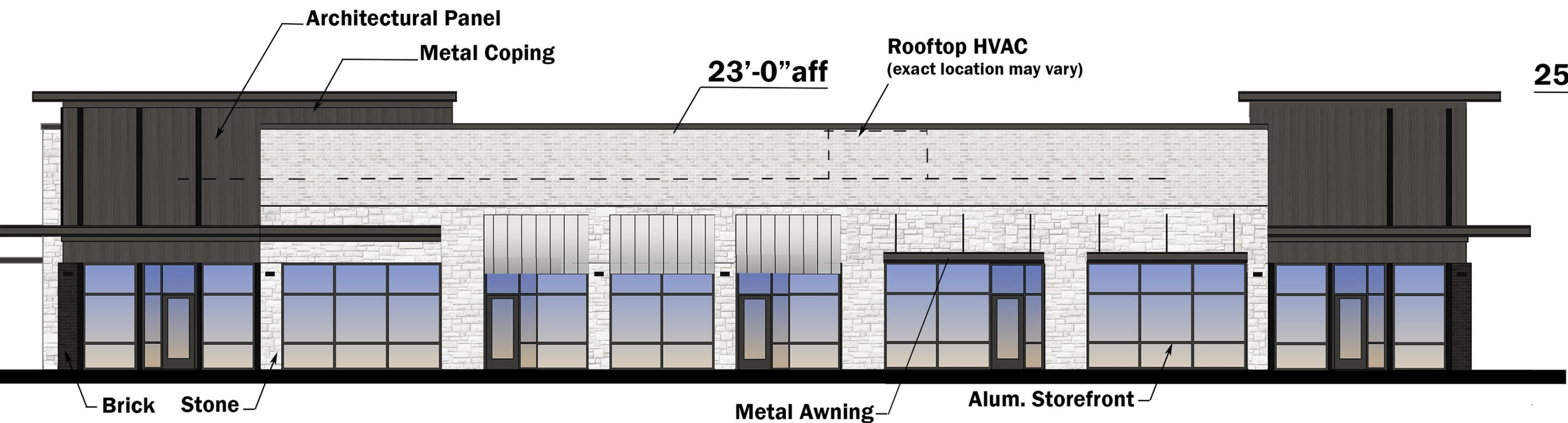
south elevation

| EAST | |
|------------------|---------------|
| TOTAL FACADE: | 1,869 SF |
| DOORS/GLAZING: | 76 SF |
| NET FACADE: | 1,793 SF 100% |
| MASONRY (STONE): | 510 SF 28% |
| MASONRY (BRICK): | 1,003 SF 55% |
| TOTAL MASONRY: | 83% |
| PANELS : | 220 SF 12% |
| METAL AWNING: | 90 SF 5% |

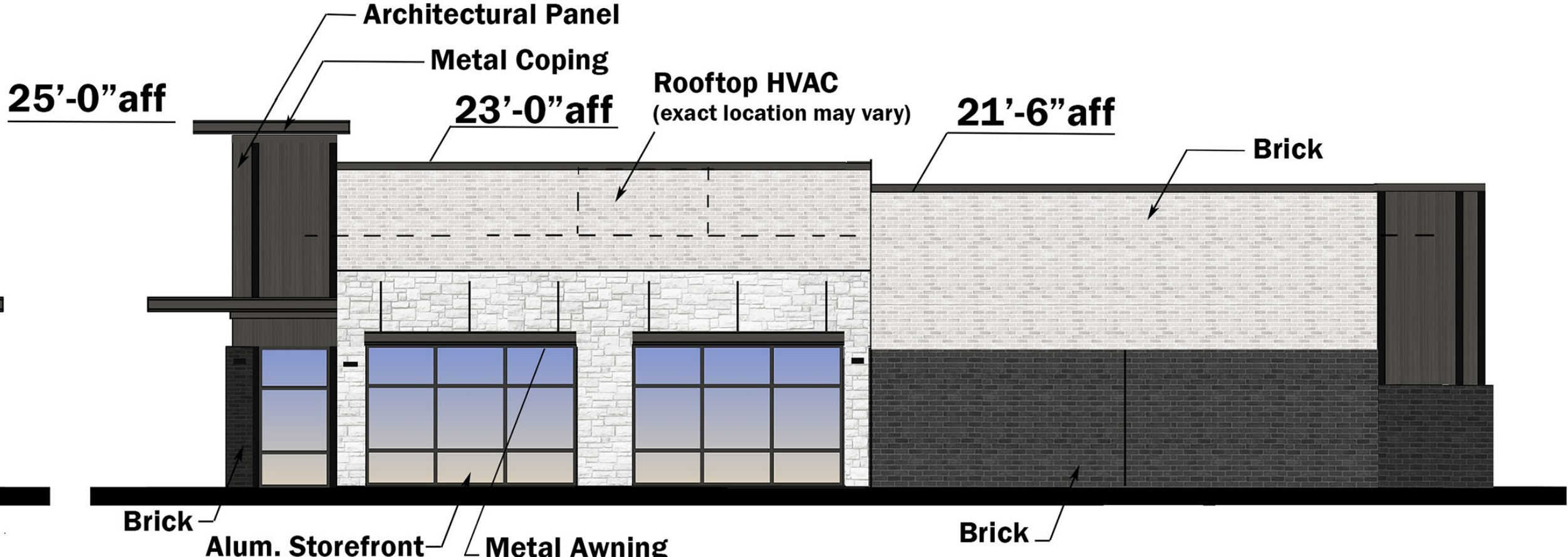
| SOUTH | |
|------------------|---------------|
| TOTAL FACADE: | 2,802 SF |
| DOORS/GLAZING: | 396 SF |
| NET FACADE: | 2,406 SF 100% |
| MASONRY (BRICK): | 1539 SF 45% |
| TOTAL MASONRY: | 64% |
| PANELS : | 341 SF 14% |
| METAL AWNING: | 65 SF 3% |
| STUCCO: | 461 SF 19% |

| NORTH | |
|------------------|---------------|
| TOTAL FACADE: | 3,217 SF |
| DOORS/GLAZING: | 1,082 SF |
| NET FACADE: | 2,135 SF 100% |
| MASONRY (STONE): | 493 SF 23% |
| MASONRY (BRICK): | 719 SF 34% |
| TOTAL MASONRY: | 57% |
| PANELS : | 538 SF 25% |
| METAL AWNING: | 385 SF 18% |

| WEST | |
|------------------|---------------|
| TOTAL FACADE: | 1,982 SF |
| DOORS/GLAZING: | 358 SF |
| NET FACADE: | 1,624 SF 100% |
| MASONRY (STONE): | 239 SF 15% |
| MASONRY (BRICK): | 1,089 SF 67% |
| TOTAL MASONRY: | 82% |
| PANELS : | 191 SF 12% |
| METAL AWNING: | 105 SF 6% |



north elevation



west elevation

| | |
|----------------------|---------------|
| TOTAL FACADE: | 9,870 SF |
| TOTAL DOORS/GLAZING: | 1,912 SF |
| NET FACADE: | 7,958 SF 100% |
| TOTAL MASONRY: | 5,562 SF 70% |
| TOTAL PANELS : | 1,290 SF 16% |
| TOTAL METAL AWNING: | 645 SF 8% |
| TOTAL STUCCO : | 461 SF 6% |



20223-01 12/22/21
update 02/24/22

RETAIL 4

VICTORY at FRONTIER

Prosper, Texas



PLANNING

To: Planning & Zoning Commission

Item No. 8

From: Alex Glushko, AICP, Planning Manager

Re: Planning & Zoning Commission Meeting – March 1, 2022

Agenda Item:

Conduct a Public Hearing, and consider and act upon a request to amend Planned Development-94 (PD-94), for the Westside Development, on 64.5± acres, northeast corner of US 380 and FM 1385, regarding hotel uses and development standards. (Z22-0001).

Description of Agenda Item:

The zoning and land use of the surrounding properties are as follows:

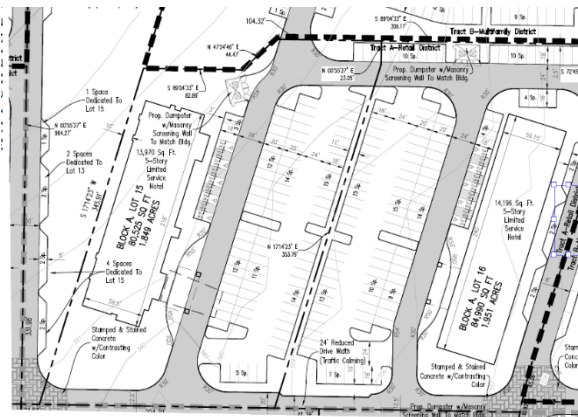
| | Zoning | Current Land Use | Future Land Use Plan |
|-------------------------|---|---|-----------------------------|
| Subject Property | Planned Development-94 | Undeveloped | US 380 District |
| North | Agricultural and Planned Development-40-Single Family | Glenbrook Subdivision and Undeveloped | Medium Density Residential |
| East | Planned Development-40-Single Family | Undeveloped (floodplain) | US 380 District |
| South | Town of Little Elm | Undeveloped and Holt Cat Equipment Sales | Town of Little Elm |
| West | Denton County | Undeveloped, Savannah Subdivision, and Valero Gas Station | Denton County |

Requested Zoning – In 2018, Planned Development-94 was approved for the Westside development, which was intended to be a mixed-use development including various uses, including, but not limited to multifamily, indoor commercial amusement, limited-service hotel, restaurant, retail, convenience store with gas pumps, and open space. At the time of approval, it was anticipated the limited-service hotel would be a La Quinta or comparable hotel. Since approval of the zoning, the development has been sold to another developer, and the current owner is working with a different type and brand of hotel, an extended-stay hotel, as opposed to a limited-service hotel, which is currently intended to be a Residence Inn by Marriott. The purpose of the proposed PD amendment is to update the PD with regard to the type of hotel,

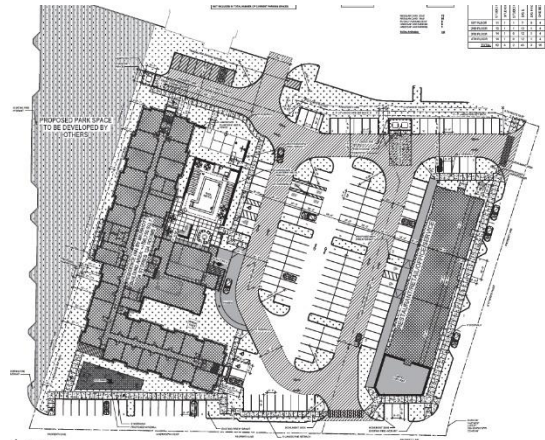
layout, elevations, and parking to accommodate the proposed hotel. Details about the proposed amendment are outlined below.

- **Permitted Uses** – The current PD allows for two (2) limited-service hotels. The proposed PD has been modified to allow an extended stay hotel.
- **Layout** – To accommodate the new type of hotel, the proposed layout has been modified by removing the two (2) limited-service hotels and depicting one (1) extended stay hotel. The proposed hotel is four-stories, 96,750 square feet, with 124 rooms. In place of the second hotel, the applicant has included a 10,858-square-foot retail/office/restaurant multitenant building.

Current Layout



Proposed Layout



- **Parking** – In conjunction with the layout change, the applicant is proposing a modification to the parking regulations for hotel. The zoning ordinance currently requires one parking space per room; however, the applicant is proposing to allow for one parking per 75% of the rooms. The applicant has stated that hotels generally maintain 75-80% occupancy, and that not all guests drive to hotels. Further, the applicant is proposing to allow for the sharing of parking spaces between the hotel and multitenant building, provided all minimum parking requirements are met. In general, the overall Westside development is overparked by over 300 parking spaces with nearby parallel parking spaces to be provided in the future. Staff is supportive of this request.
- **Architecture** – The PD amendment proposes to replace the hotel elevations. The proposed extended-stay hotel will be constructed primarily of brick and stone, as shown below.



No other aspect of the proposed PD related to other uses or provisions are proposed to be modified with this amendment. Staff recommends approval of this request as presented.

Future Land Use Plan – The Future Land Use Plan recommends US 380 District for the property. The request conforms to the Future Land Use Plan.

Thoroughfare Plan – The property is adjacent to US 380, a future six-lane divided major thoroughfare and FM 1385 a future six-lane divided major thoroughfare.

Parks – This property is not needed for the development of a public park. Hike and bike trails are required in conjunction with development of the property in accordance with the Hike and Bike Trail Map of the Parks Master Plan.

Legal Obligations and Review:

Zoning is discretionary. Therefore, the Planning & Zoning Commission is not obligated to approve the request. Notification was provided to neighboring property owners as required by state law. To date, staff has not received any letters in response to the proposed zoning request.

Attached Documents:

1. Aerial and Zoning Maps
2. Proposed Exhibits
3. Proposed Exhibit C Redlines (Tract A)

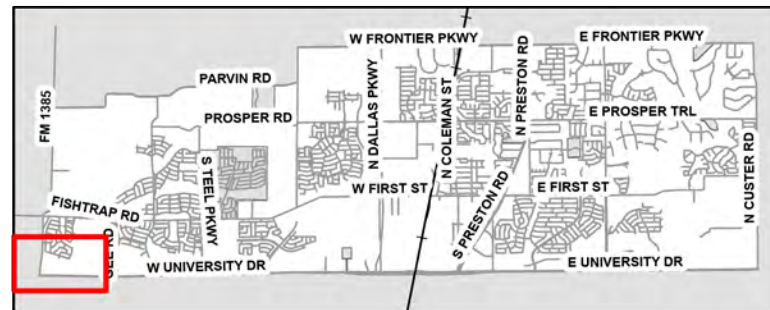
Town Staff Recommendation:

Town staff recommends the Planning & Zoning Commission approve the request, subject to an amendment to the existing Development Agreement.

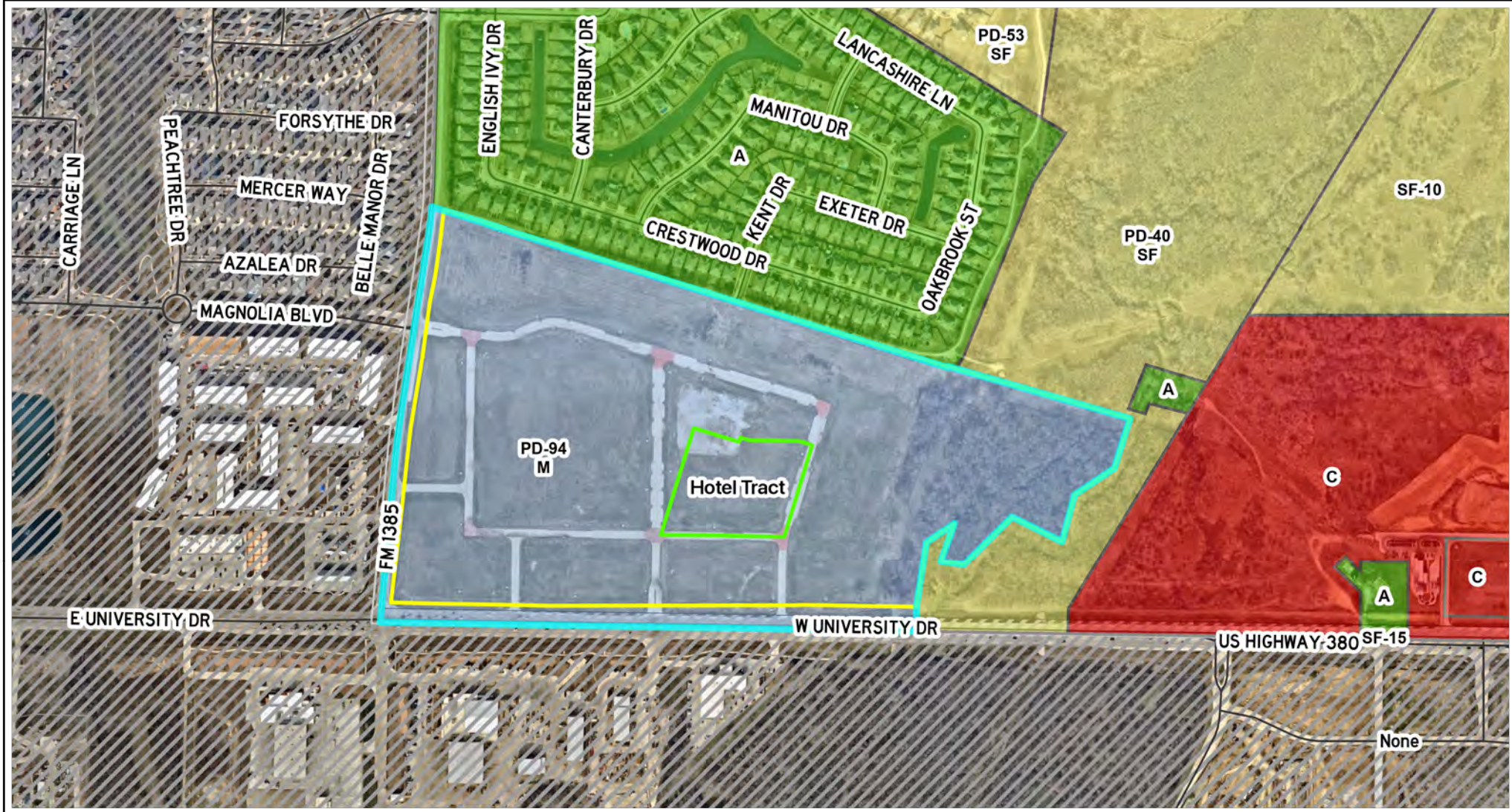
Town Council Public Hearing:

Upon a recommendation by the Planning & Zoning Commission, a Public Hearing for this item will be scheduled for the Town Council at their Regular meeting on March 22, 2022.

Z22-0001 - Westside (PD-94) Amendment



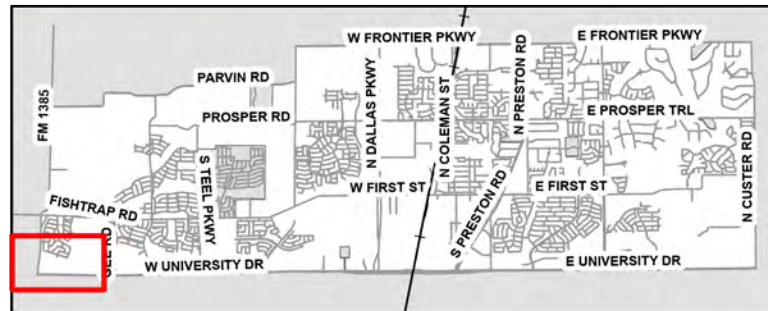
Z22-0001 - Westside (PD-94) Amendment

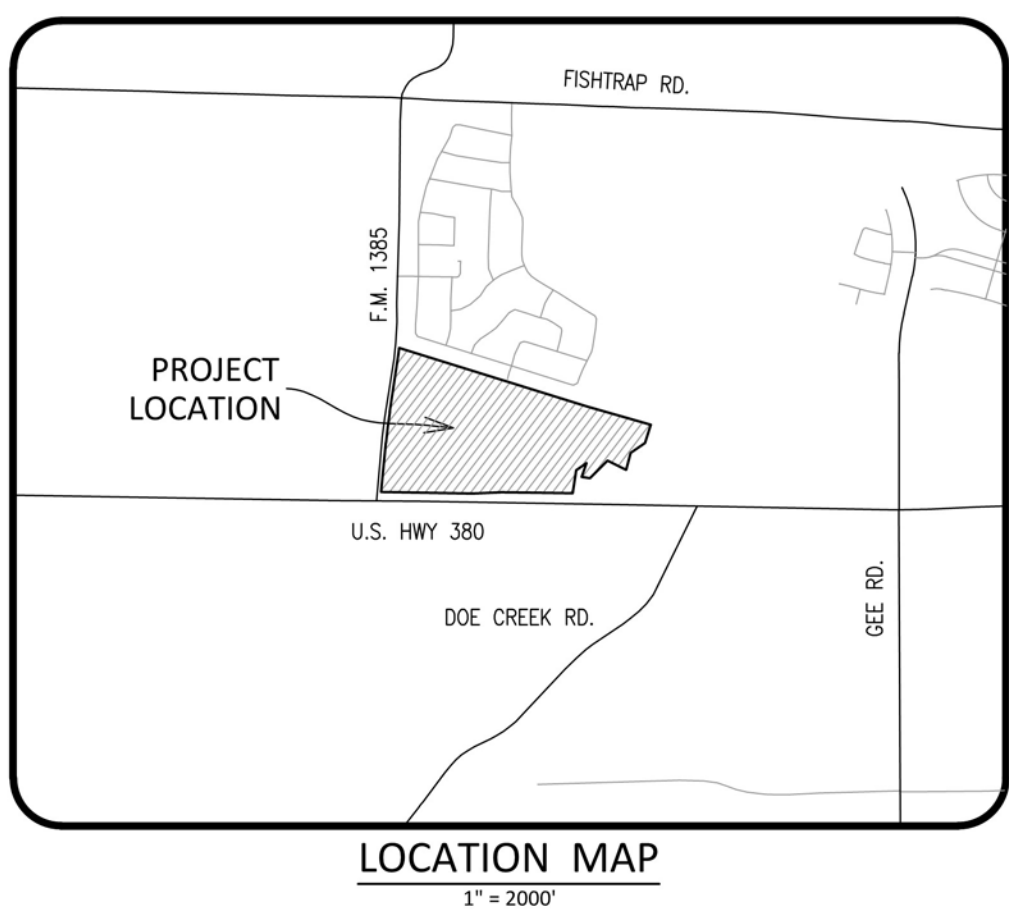
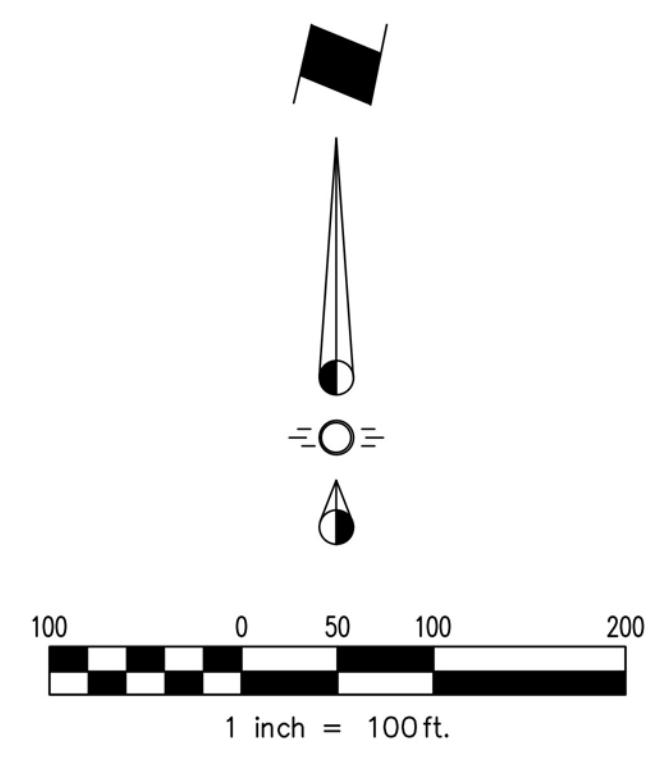
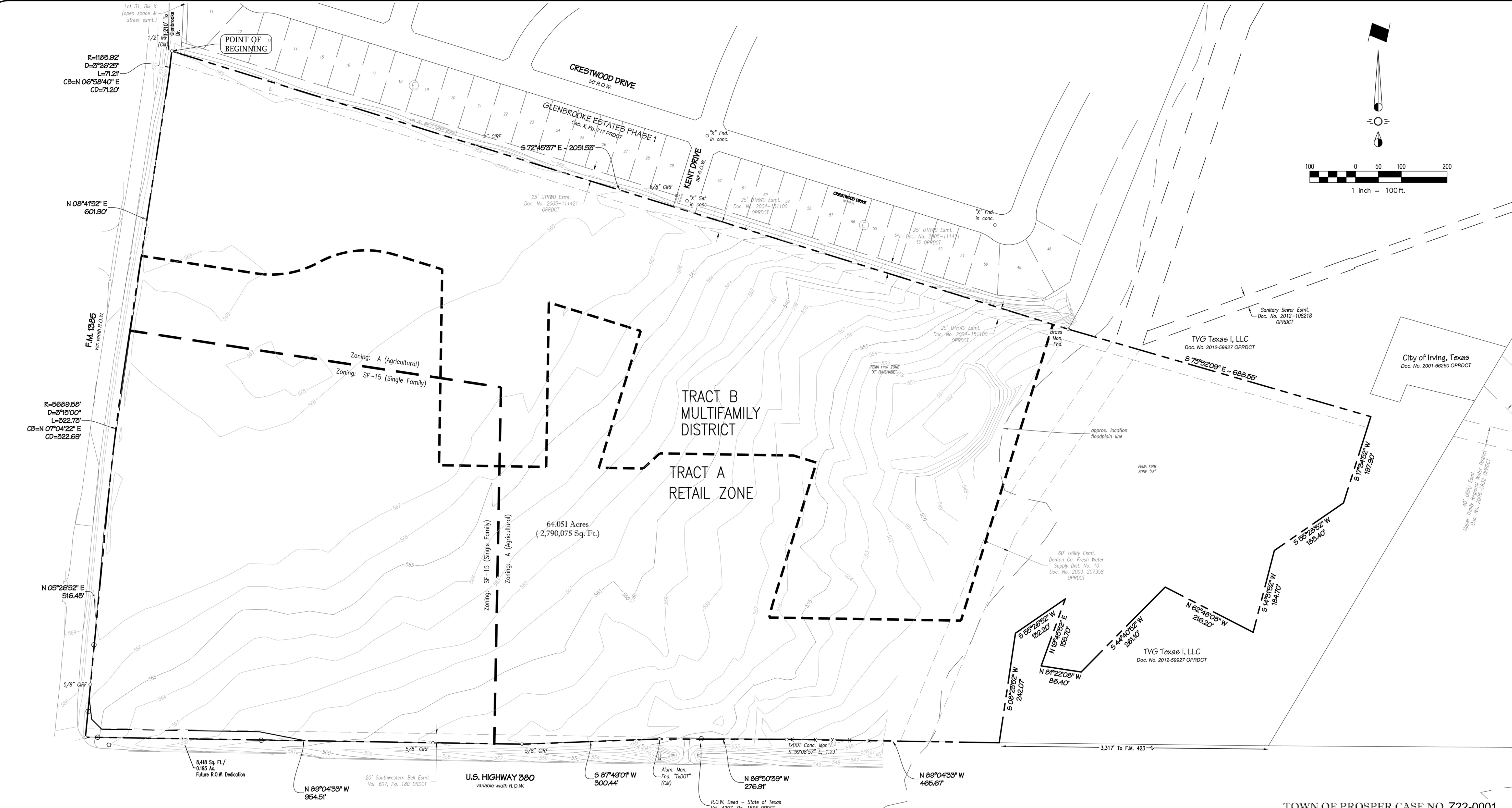


This map is for illustration purposes only.



0 350 700 1400 Feet





METES AND BOUNDS DESCRIPTION

BEING a tract of land situated in the J. Gonzalez Survey, Abstract No. 447, the B. Hodges Survey, Abstract No. 593, the P. Barnes Survey, Abstract No. 79, the R. Taylor Survey, Abstract No. 1671, the J. Haynes Survey, Abstract No. 573, and the Angus Jamison Survey, town of Prosper, Denton County, Texas, the subject tract being a portion of a tract conveyed to M. Taylor Hansel according to the deed recorded in Document No. 94-91793 of the Official Public Records, Denton County, Texas (OPRDCT), with the subject tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod found on the east line of Farm to Market Road 1385 (F.M. 1385), a variable width right-of-way, for the southwest corner of Glenbrook Estates Phase 1, an addition recorded in Cabinet X, Page 717, Plat Records, Denton County, Texas;

THENCE S 72°45'37" E, 2051.53 feet along the south line of Glenbrook Estates Phase 1 to a U.S. Army Corps of Engineers brass monument found for the southeast corner thereof and a westerly corner of a tract conveyed to TVG Texas I, LLC, recorded in Document No. 2012-59927 OPRDCT;

THENCE along the common line thereof, the following:

S 73°52'09" E, 688.55 feet;

S 17°34'52" W, 197.90 feet;

S 55°28'52" W, 183.40 feet;

S 14°31'52" W, 184.70 feet;

N 62°48'08" W, 216.20 feet;

S 44°40'52" W, 261.10 feet;

N 81°22'08" W, 88.40 feet;

N 19°45'52" E, 155.70 feet;

S 55°26'52" W, 132.20 feet;

And S 08°23'52" W, 242.07 feet to the north line of U.S. Highway 380, a variable width right-of-way;

THENCE along the north line of U.S. Highway 380, the following:

N 89°04'33" W, 465.67 feet to a point from which a concrete right-of-way monument bears S 59°08'57" E, 1.23 feet;

N 89°50'39" W, 276.91 feet to an aluminum TxDOT monument found;

S 87°49'01" W, 300.44 feet to a 5/8" iron rod with plastic cap found;

And N 89°04'33" W, 954.51 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set for the intersection of the north line of U.S. Highway 380 with the east line of F.M. 1385;

THENCE along the east line of F.M. 1385, the following:

N 05°26'52" E, 516.43 feet;

A tangent curve to the right having a central angle of 03°15'00", a radius of 5689.58 feet, a chord of N 07°04'22" E - 322.69 feet, an arc length of 322.73 feet;

N 08°41'52" E, 601.90 feet;

And a tangent curve to the left having a central angle of 03°26'25", a radius of 1185.92 feet, a chord of N 06°58'40" E - 71.20 feet, an arc length of 71.21 feet to the POINT OF BEGINNING with the subject tract containing 2,790,075 square feet or 64.051 acres of land.

TOWN OF PROSPER CASE NO. Z22-0001
Exhibit A

WestSide

BEING 64.501 ACRES OF LAND (GROSS)
63.858 ACRES OF LAND (NET)

IN THE B. HODGES SURVEY, ABSTRACT NO. 593 &
IN THE J. GONZALEZ SURVEY, ABSTRACT NO. 447 &
IN THE P. BARNES SURVEY, ABSTRACT NO. 79 &
IN THE R. TAYLOR SURVEY, ABSTRACT NO. 1671 &
IN THE J. HAYNES SURVEY, ABSTRACT NO. 573 &
IN THE ANGUS JAMISON SURVEY

TOWN OF PROSPER, DENTON COUNTY, TEXAS

| | | |
|--|--|---|
| OWNER Taylor Hansel P.O. Box 770 Frisco, Texas 75034 | APPLICANT MCF Investments 15700 S.H. 121 Frisco, Texas 75035 Telephone (214) 619-4930 Contact: Mike Fannin | ENGINEER / SURVEYOR Spiars Engineering, Inc. 765 Custer Road, Suite 100 Plano, TX 75075 Telephone: (972) 422-0077 TBPE No. F-2121 / TBPLS No. F-10043100 Contact: Kevin Wier |
|--|--|---|

Z22-0001

**EXHIBIT B
STATEMENT OF INTENT AND PURPOSE
WESTSIDE**

1. Statement of Intent

A. Overall Intent

The purpose of this project is to create a walkable urban neighborhood using a horizontal mix of uses. Access to shopping, housing, community retail and park land promotes a quality of life that nurtures the public health, safety, comfort, convenience, prosperity and general welfare of the immediate community, as well as to assist in the orderly and controlled growth and development of the land area described within this document.

B. Description of Property

The subject property comprises approximately 64 acres of vacant land at the northeast corner of U.S. Highway 380 and F.M. 1385 in Prosper, Texas. It is additionally bounded by the Glenbrooke single family neighborhood to the north and Doe Branch Creek to the east. An existing trail exists along the property's north boundary and currently serves the adjacent single family neighborhood. This trail may extend into the Doe Branch drainage system and be part of the larger Town of Prosper Trails Plan.

C. Description of Proposed Property

The subject property as depicted in Exhibit "D" has been divided into two distinct sub-districts. The purpose of sub-district requirements is to define the character of new development within each sub-district. They have been carefully designed to allow enough flexibility for creative building solutions, while being prescriptive in areas necessary to preserve consistency throughout the development.

Given that the subject property resides at the hard corner of two major thoroughfares and will serve as a gateway to the Town of Prosper, a portion of land with a size yet to be determined, will be set aside as a signage easement for a Town gateway sign near the intersection of U.S. 380 and F.M. 1385.

2. Current Zoning and Land Uses

A. Current Zoning

The subject property comprises land that fall under two distinct zoning classifications. At the intersection of U.S. 380 and F.M. 1385 is a small portion of acreage that zoned for Single Family. The remainder of the property is zoned for Agriculture.

B. Future Land Use Plan

The Future Land Use Plan designates the entire subject property as US 380 District, which is defined as having a variety of uses, such as big box development, hotels, banks, gas/convenience and residential that serves as a buffer between the commercial and nearby single family.

Z22-0001
EXHIBIT C
DEVELOPMENT STANDARDS
WESTSIDE

Conformance with the Town's Zoning Ordinance and Subdivision Ordinance: Except as otherwise set forth in these Development Standards, the regulations of the Town's Zoning Ordinance, as it exists or may be amended, and the Subdivision Ordinance, as it exists or may be amended, shall apply.

Tract A – Retail District

- A1. Except as noted below, the Tract shall develop in accordance with the Retail District as it exists or may be amended.
- A2. Uses. Uses shall be permitted in accordance with the Retail District with the exception of the following:

Permitted Uses

1. Restaurant (with Drive-Through)
 - a. A restaurant with drive-through shall be permitted by right in accordance with the Conditional Development Standards, outlined in the Zoning Ordinance. A maximum of two (2) noncontiguous drive-through restaurants shall be permitted along US 380, and a maximum of two (2) drive-through restaurants shall be permitted along FM 1385, as shown on Exhibit D.
2. Hotel, Extended Stay
 - a. Extended stay hotels shall be permitted by right on the subject property, as shown on Exhibit D, and shall otherwise be permitted in accordance with the Conditional Development Standards, outlined in the Zoning Ordinance.

Prohibited Uses:

1. Athletic Stadium or Field, Public
2. Automobile Parking Lot/Garage
3. Automobile Paid Parking Lot/Garage
4. Recycling Collection Point
5. School District Bus Yard

- A3. Regulations. Regulations shall be permitted in accordance with the Retail District with the exception of the following:
1. Maximum Height
 - a. Commercial Amusement, Indoor: Two (2) stories, no greater than fifty (50) feet at the parapet height, with an additional twenty (20) feet above the parapet for a marquee.
 - b. Hotel, Extended Stay: Five (5) stories, no greater than seventy-five (75) feet.
 - i. Minimum height of four (4) stories.
- A4. Design Guidelines
1. Elevation Review and Approval
 - a. Conceptual Elevations, conforming to Exhibit F, shall be submitted at the time of Preliminary Site Plan, subject to approval by the Planning & Zoning Commission.

- b. Detailed Façade Plans conforming to the Conceptual Elevations shall be submitted for each building at the time of Site Plan, subject to approval by the Planning & Zoning Commission. Façade Plans for the Extended Stay Hotels and the Indoor Commercial Amusement uses shall also be subject to Town Council approval.

2. Architectural Standards

- a. At least eighty percent (80%) of each building's façade (excluding doors and windows) shall be finished in one of the following materials: Masonry (brick or stone)
 - i. Commercial Amusement, Indoor may utilize architectural finished concrete as a primary masonry material, and may be used for up to one hundred percent (80%) of a building elevation, as shown on Exhibit F. In addition, a maximum of ten percent (10%) secondary material, and minimum of ten percent (10%) stone, per elevation, shall be required for Commercial Amusement, Indoor.
- b. For retail/restaurant uses, no more than thirty percent (30%) of each façade elevation shall use wood-based high pressure laminate (i.e. Prodema, Trespa, CompactWood), as shown on Exhibit F.
- c. No more than fifteen percent (15%) of each façade elevation may use a combination of accent materials such as cedar or similar quality decorative wood, architectural metal panel, tile, stucco, or Exterior Insulating Finishing System (EIFS). Stucco and EIFS may only be used eight feet (8') above the ground floor and is prohibited on all building elevations with the exception of its use for exterior trim and molding features. Commercial Amusement, Indoor shall be limited to a maximum ten percent (10%).
- d. Architectural embellishments not intended for human occupancy that are integral to the architectural style of the buildings, including spires, belfries, towers, cupolas, domes, marquees and roof forms whose area in plan is no greater than fifteen percent (15%) of the ground floor footprint may exceed the height limits by up to ten feet (10').
- e. No single material shall exceed eighty percent (80%) percent of an elevation area. Except for Commercial Amusement, Indoor, a minimum of twenty percent (20%) of the front façade and all facades facing public right-of-way shall be natural or manufactured stone. A minimum of ten percent (10%) of all other facades shall be natural or manufactured stone. Commercial Amusement, Indoor shall require a minimum ten percent (10%) stone, per elevation.
 - i. All buildings shall be designed to incorporate a form of architectural articulation every thirty feet (30'), both horizontally along each wall's length and vertically along each wall's height. Acceptable articulation may include the following:
 - ii. Canopies, awnings, or porticos;
 - iii. Recesses/projections;
 - iv. Arcades;
 - v. Arches;
 - vi. Display windows, including a minimum sill height of thirty (30) inches;
 - vii. Architectural details (such as tile work and moldings) integrated into the building facade;
 - viii. Articulated ground floor levels or base;
 - ix. Articulated cornice line;
 - x. Integrated planters or wing walls that incorporate landscape and sitting areas;
 - xi. Offsets, reveals or projecting rib used to express architectural or structural bays; or
 - xii. Varied roof heights;
- f. All buildings shall be architecturally finished on all four (4) sides with same materials, detailing, and features.

- g. Except for the Commercial Amusement, Indoor, all primary and secondary exterior building materials (exclusive of glass) shall be of natural texture and shall be neutrals, creams, or other similar, non-reflective earth tone colors. Bright, reflective, pure tone primary or secondary colors, such as red, orange, yellow, blue, violet, or green are not permitted.
- h. Corporate identities that conflict with the building design criteria shall be reviewed on a case-by-case basis and approved by the Director of Development Services or his/her designee. The applicant may appeal the decision to the Planning & Zoning Commission and Town Council using the appeal procedure in Chapter 4, Section 1 of the Town's Zoning Ordinance.
- i. Exposed conduit, ladders, utility boxes, and drain spouts shall be painted to match the color of the building or an accent color. Natural metal finishes (patina) are an acceptable alternative to paint.
- j. All retail/commercial buildings with facades greater than two hundred feet (200') in length shall incorporate wall plane projections or recesses that are at least six feet (6') deep. Projections/recesses must be at least twenty five percent (25%) of the length of the facade. Except for Commercial Amusement, Indoor, no uninterrupted length of facade may exceed one hundred feet (100') in length.

3. Windows and Doors

- a. All ground floor front facades of buildings along streets or public ways with on-street parking or that face directly onto Open Space and contain non-residential uses shall have transparent storefront windows covering no less than thirty percent (30%) of the façade area. Hotels shall have no less than ten percent (10%) of the façade.
 - i. Clear glass is required in all non-residential storefronts. Smoked, reflective, or black glass that blocks two-way visibility is only permitted above the first story. Windows shall have a maximum exterior visible reflectivity of thirty percent (30%).

4. Awning, Canopies, Arcades, and Overhangs

- a. Awnings shall not be internally illuminated.
- b. Canopies shall not exceed one hundred linear feet (100') without a break of at least five feet (5').
- c. Awnings and canopies shall not extend beyond ten feet (10') from the main building façade.

A5. Additional Standards

1. Open Space

a. Urban Open Space

- i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of one (1) acre of useable land area that will serve as the central park to the commercial development. A minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Rural Open Space; a minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Glenbrooke neighborhood via Kent Drive. Gates and/or fencing on any pedestrian or vehicular way accessing Kent Drive shall be prohibited.
- ii. The urban park open space shall be constructed at the time of construction of phase 1. The urban park open space shall be constructed at the developer's cost.
- iii. The hike and bike trail system and trailhead shall be constructed at the time of construction of phase 1B. The hike and bike trail system shall be constructed at the developer's cost.

- b. Rural Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of nine (9) acres of useable land area that will serve the greater community with both active and passive open space.
 - c. Combined Urban Open Space and Rural Open Space shall collectively satisfy all Open Space requirements for both Tract A and Tract B as required by the Town of Prosper Zoning Ordinance.
- 2. Landscape Screening and Buffering
 - a. A thirty-foot (30') landscape easement shall be required along roadways when an adjacent building sides or backs the road. The landscape buffer shall consist of a minimum three-foot (3') foot berm.
 - b. A minimum of twenty feet (20') of landscape easement shall be exclusive of all utility easements, right turn lanes, drainage easements, and rights-of-way. None of the required trees and/or shrubs shall be located within any utility easement.
 - c. A minimum ten-foot (10') landscape buffer is required adjacent to Urban and Rural Open Space.
 - d. Berming shall be required behind the Entertainment/Indoor Commercial Amusement structure located in Phase 2A as reflected on the Phasing Diagram.
- 3. Lot Frontage
 - a. Lots are not required to front on a public right-of-way, provided an access easement is established by plat prior to issuance of a Certificate of Occupancy (CO) for any building on a lot not fronting on right-of-way.
- 4. Parking Requirement
 - a. Hotel, Extended Stay: One (1) parking space, equivalent to seventy-five percent (75%) of the total number of rooms/keys provided. Parking spaces for Lots 15 and 16 may be shared, provided the minimum requirements per the zoning ordinance and herein are met.

Tract B – Multifamily District

- B1. Except as noted below, the Tract shall develop in accordance with the Multifamily District as it exists or may be amended.
- B2. Multifamily Construction
 - 1. For Phase 1B, as shown on Exhibit E2, which consists of a maximum of 243 units, construction may not commence until construction of the first floor framing has begun on the restaurant/retail building as shown on Lot 8 on Exhibit D and the Limited Service Hotel on Lot 15 on Exhibit D.
 - 2. For Phase 2B, as shown on Exhibit E2, which consists of a maximum of 237 units, construction may not commence until vertical construction has begun on a minimum fifty thousand (50,000) square foot Indoor Commercial Amusement building or similar size retail building.
- B3. Regulations. Regulations shall be permitted in accordance with the Multifamily District with the exception of the following:
 - 1. Maximum Number of Units: Four hundred and eighty (480) units.

2. Maximum Height:
 - a. Two (2) stories, no greater than forty feet (40') for buildings within one hundred (100) feet of a single family zoning district.
 - b. Three (3) stories, no greater than fifty feet (50').
 - c. Four (4) stories, no greater than sixty-five feet (65').
3. Size of Yards
 - a. In accordance with Exhibit D.
4. Minimum Dwelling Area
 - a. One (1) bedroom: 650 square feet
 - b. Two (2) bedroom: 925 square feet
 - c. Three (3) bedroom: 1,150 square feet
5. Lot Coverage: Maximum fifty percent (50%)

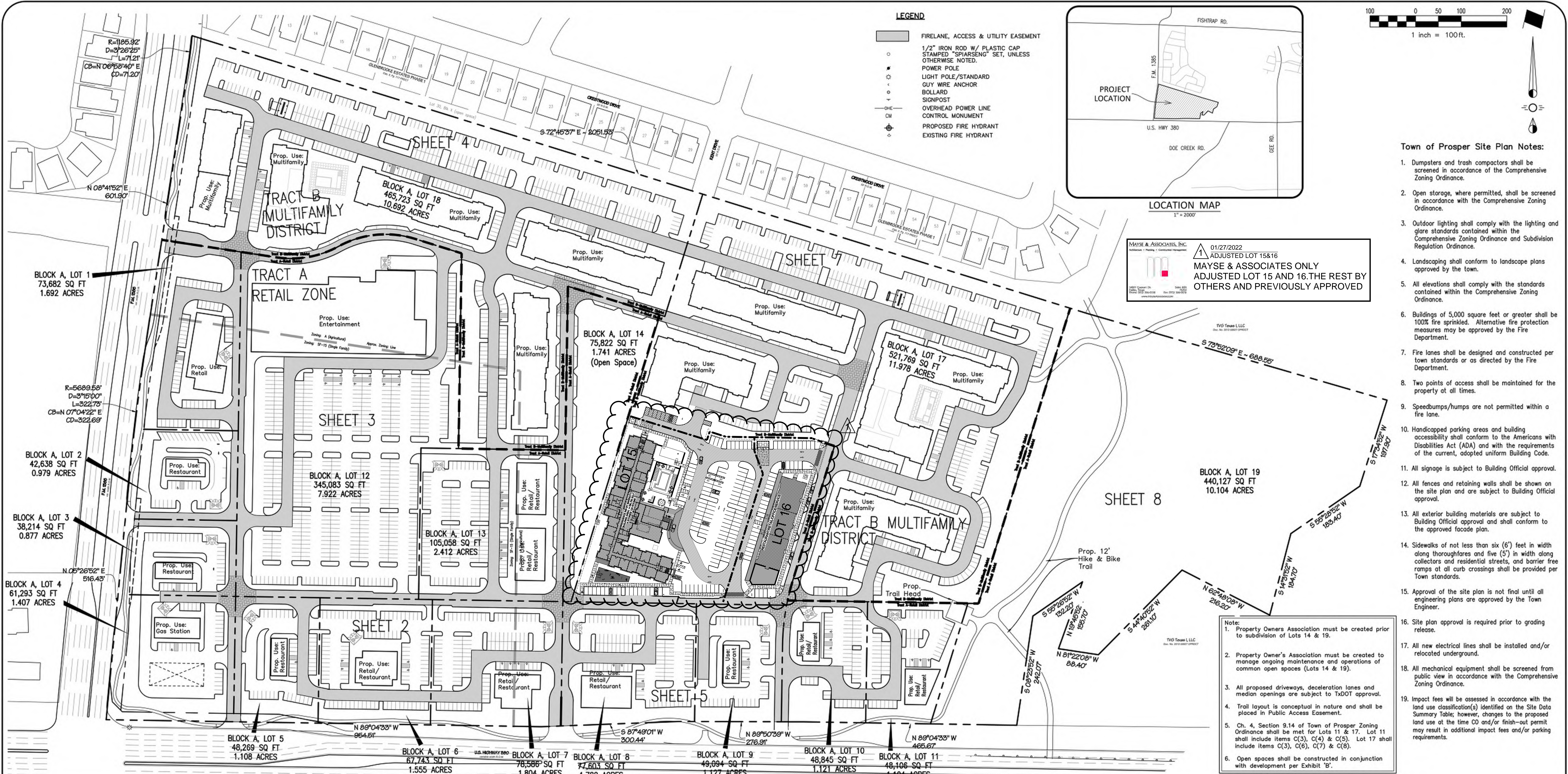
B4. Design Guidelines

1. Elevation Review and Approval
 - a. Conceptual Elevations, conforming to Exhibit F, shall be submitted at the time of Preliminary Site Plan, subject to approval by the Planning & Zoning Commission.
 - b. Detailed Façade Plans conforming to the Conceptual Elevations shall be submitted for each building at the time of Site Plan, subject to approval by the Planning & Zoning Commission.
2. Architectural Standards
 - a. At least eighty percent (80%) of each building's façade (excluding doors and windows) shall be finished in one of the following materials: Masonry (brick and stone).
 - b. No more than fifteen percent (15%) of each façade elevation shall use a combination of accent materials such as cedar or similar quality decorative wood, fiber cement siding, resin-impregnated wood panel system, cementitious-fiber clapboard (not sheet) with at least a fifty (50) year warranty, architectural metal panel, split-face concrete block, tile, stucco, or Exterior Insulating Finishing System (EIFS). Stucco and EIFS may only be used eight feet (8') above the ground floor and is prohibited on all building elevations with the exception of its use for exterior trim and molding features.
 - c. Any enclosed one or two-car garage shall be designed and constructed of the same material as the primary building.

B5. Additional Standards

1. Open Space
 - a. Urban Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of one (1) acre of useable land area that will serve as the central park to the commercial development. A minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Rural Open Space; a minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Glenbrooke neighborhood via Kent Drive. Gates and/or fencing on any pedestrian or vehicular way accessing Kent Drive shall be prohibited.
 - ii. The urban park open space shall be constructed at the time of construction of Phase 1. The urban park open space shall be constructed at the developer's cost.

- iii. The hike and bike trail system and trailhead shall be constructed at the time of construction of phase 1B. The hike and bike trail system shall be constructed at the developer's cost.
 - b. Rural Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of nine (9) acres of useable land area that will serve the greater community with both active and passive open space.
 - c. Combined Urban Open Space and Rural Open Space shall collectively satisfy all Open Space requirements for both Tract A and Tract B as required by the Town of Prosper Zoning Ordinance.
2. Landscape Screening and Buffering
- a. As depicted on the Landscape Plan (Exhibit G), two (2) rows of minimum three inch (3") caliper trees every fifty feet (50') on center, offset, shall be planted along the northern property line.
 - b. A minimum of twenty feet (20') of landscape easement shall be exclusive of all utility easements, right turn lanes, drainage easements, and rights-of-way. None of the required trees and/or shrubs shall be located within any utility easement, except for the twenty-five foot (25') UTRWD utility easement that currently resides immediately south of the property's north property line.
 - c. A minimum ten-foot (10') landscape buffer is required adjacent to Rural Open Space.
3. Lot Frontage
- a. Lots are not required to front on a public right-of-way, provided an access easement is established by plat prior to issuance of a Certificate of Occupancy (CO) for any building on a lot not fronting on right-of-way.
4. Parking
- a. Minimum "Off-Street" Parking. For the purpose of this ordinance, off-street parking shall mean any parking not located immediately adjacent to and along public drives (i.e. parallel parking) used for internal circulation throughout the development.
 - i. One (1) and two (2) bedroom units: 1.8 parking spaces per unit.
 - ii. Three (3) bedroom units: 2.0 parking spaces per unit.
 - b. Tandem parking shall count towards the parking provided for each designated tract or phase that the parking resides within.
 - c. Surface parallel parking that is provided along interior drives shall count towards the parking provided for each designated tract or phase that the parking resides within.
5. The provisions of Chapter 4, Section 9.14 (Non-Residential and Multifamily Development Adjacent to a Major Creek) shall apply to the proposed development.
6. The provisions of Chapter 4, Section 9.16 (Residential Open Space) shall apply to the proposed development.
7. The provision of Chapter 4, Section 9.17 (Multifamily Site Design) shall not apply to the proposed development.



| SITE DATA SUMMARY TABLE | | | | | | | | | | | | | | | | | | | | | |
|-------------------------|--------|---------------------------|----------|-------|--------------------------------|--------------------------|----------------------------------|----------------------|------------------------------|--------------|------------------|---|------------------|------------------|---------------------------|---------------------------|----------------------------------|----------------------------------|----------------------|--------------------------|--------------------------|
| LOT | ZONING | PROPOSED USE | LOT AREA | | FIRST FLOOR BUILDING AREA (SF) | TOTAL BUILDING AREA (SF) | UNIT COUNT | BUILDING HEIGHT (ft) | MAX. BUILDING HEIGHT (story) | COVERAGE (%) | FLOOR AREA RATIO | REQ. PARKING RATIO | PARKING REQUIRED | PARKING PROVIDED | REQUIRED HANDICAP PARKING | PROVIDED HANDICAP PARKING | INTERIOR LANDSCAPE REQUIRED (SF) | INTERIOR LANDSCAPE PROVIDED (SF) | IMPERVIOUS AREA (SF) | OPEN SPACE REQUIRED (SF) | OPEN SPACE PROVIDED (SF) |
| | | | SF | AC | | | | | | | | | | | | | | | | | |
| 1 | PD | RETAIL | 73,682 | 1.69 | 10,950 | 10,950 | N/A | 40' | 1 | 14.9% | 0.1486:1 | 1:250 | 44 | 62 | 2 | 2 | 930 | 34,878 | 33,874 | 5,158 | Provided in Lots 14/19 |
| 2 | PD | RESTAURANT W/ D.T. | 42,638 | 0.98 | 3,172 | 3,172 | N/A | 40' | 1 | 7.4% | 0.0744:1 | 1:100 | 32 | 33 | 1 | 1 | 495 | 13,906 | 25,754 | 2,985 | Provided in Lots 14/19 |
| 3 | PD | RESTAURANT W/ D.T. | 38,214 | 0.88 | 2,872 | 2,872 | N/A | 40' | 1 | 7.5% | 0.0752:1 | 1:100 | 29 | 32 | 1 | 1 | 480 | 12,064 | 24,600 | 2,675 | Provided in Lots 14/19 |
| 4 | PD | GAS STATION | 61,293 | 1.41 | 4,500 | 4,500 | N/A | 40' | 1 | 7.3% | 0.0734:1 | 1:250 | 18 | 28 | 1 | 1 | 420 | 21,561 | 35,374 | 4,291 | Provided in Lots 14/19 |
| 5 | PD | RESTAURANT W/ D.T. | 48,269 | 1.11 | 2,880 | 2,880 | N/A | 40' | 1 | 6.0% | 0.0597:1 | 1:100 | 29 | 41 | 1 | 1 | 615 | 15,949 | 30,349 | 3,379 | Provided in Lots 14/19 |
| 6 | PD | RETAIL/RESTAURANT | 67,743 | 1.56 | 6,447 | 6,447 | N/A | 40' | 1 | 9.5% | 0.0952:1 | 1:75 | 86 | 98 | 4 | 4 | 1,470 | 24,584 | 38,417 | 4,742 | Provided in Lots 14/19 |
| 7 | PD | RETAIL/RESTAURANT | 78,586 | 1.80 | 6,321 | 6,321 | N/A | 40' | 1 | 8.0% | 0.0804:1 | 1:75 | 85 | 102 | 4 | 4 | 1,530 | 26,625 | 46,460 | 5,501 | Provided in Lots 14/19 |
| 8 | PD | RETAIL/RESTAURANT | 77,603 | 1.78 | 7,700 | 7,700 | N/A | 40' | 1 | 9.9% | 0.0992:1 | 1:75 | 103 | 99 | 4 | 4 | 1,485 | 24,516 | 47,655 | 5,432 | Provided in Lots 14/19 |
| 9 | PD | RESTAURANT W/ D.T. | 49,094 | 1.13 | 2,931 | 2,931 | N/A | 40' | 1 | 6.0% | 0.0597:1 | 1:100 | 30 | 44 | 2 | 2 | 660 | 16,273 | 29,209 | 3,437 | Provided in Lots 14/19 |
| 10 | PD | RETAIL/RESTAURANT | 48,845 | 1.12 | 3,756 | 3,756 | N/A | 40' | 1 | 7.7% | 0.0769:1 | 1:75 | 51 | 53 | 3 | 3 | 795 | 18,171 | 27,255 | 3,419 | Provided in Lots 14/19 |
| 11 | PD | RETAIL/RESTAURANT | 48,106 | 1.10 | 4,805 | 4,805 | N/A | 40' | 1 | 10.0% | 0.0999:1 | 1:75 | 65 | 65 | 3 | 3 | 975 | 20,260 | 24,479 | 3,367 | Provided in Lots 14/19 |
| 12 | PD | ENTERTAINMENT | 345,083 | 7.92 | 56,000 | 56,000 | N/A | 50' | 2 | 16.2% | 0.1623:1 | 1:150 | 374 | 494 | 12 | 12 | 7,410 | 105,889 | 221,992 | 24,156 | Provided in Lots 14/19 |
| 13 | PD | RETAIL/RESTAURANT | 105,058 | 2.41 | 14,819 | 29,638 | N/A | 40' | 1 | 14.1% | 0.2821:1 | 1:250 | 119 | 152 | 6 | 6 | 2,280 | 35,118 | 62,586 | 7,354 | Provided in Lots 14/19 |
| 14 | PM | OPEN SPACE | 75,822 | 1.74 | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | 20 | N/A | N/A | N/A | N/A | 19,200 | N/A | 66,532 |
| 15 | PD | HOTEL | 123,227 | 1.85 | 27,780 | 96,750 | 124 | 55' | 5 | 22.5% | 0.78:1 | 1 SPACE PER GUESTROOM | 124 | 163 | 6 | 6 | 1,470 | 27,051+/- | 96,176+/- | 5,637 | Provided in Lots 14/19 |
| 16 | PD | RETAIL/RESTAURANT/ OFFICE | 52,296 | 1.2 | 10,858 | 10,858 | N/A | 40' | 1 | 20.7% | 0.20:1 | 1:250; 1:100; 1:350; REFER TO SHEET A0.2A | 63 | 163 | 6 | 6 | 1,830 | 6,229+/- | 46,067+/- | 5,949 | Provided in Lots 14/19 |
| 17 | PD | MULTIFAMILY | 521,769 | 11.98 | 111,516 | 319,215 | 237 (119 - 18, 93 - 28, 24 - 38) | 65' | 4 | 21.4% | 0.6118:1 | 1.8 per 18&28 unit 2.0 per 38 unit | 443 | 529 | 10 | 10 | 7,935 | 141,562 | 214,547 | 156,531 | Provided in Lots 14/19 |
| 18 | PD | MULTIFAMILY | 465,723 | 10.69 | 99,752 | 282,821 | 237 (119 - 18, 93 - 28, 25 - 38) | 65' | 4 | 21.4% | 0.6073:1 | 1.8 per 18&28 unit 2.0 per 38 unit | 432 | 443 | 10 | 10 | 6,645 | 160,528 | 210,529 | 139,717 | Provided in Lots 14/19 |
| 19 | PD | OPEN SPACE | 440,127 | 10.10 | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | 16,996 | N/A | 440,127 |
| Total= | | | 2753170 | 63.20 | 370,761 | 889,208 | | | | | | | | | | | | | 383,729 | | 506,659 |

SHT. 1 OF 8
TOWN OF PROSPER CASE NO. Z22-0001
Exhibit D Conceptual Plan

WestSide
BLOCK A, LOTS 1-19
BEING 64.501 ACRES OF LAND (GROSS)
63.858 ACRES OF LAND (NET)
IN THE B. HODGES SURVEY, ABSTRACT NO. 593 &
IN THE J. GONZALEZ SURVEY, ABSTRACT NO. 447 &
IN THE P. BARNES SURVEY, ABSTRACT NO. 79 &
IN THE R. TAYLOR SURVEY, ABSTRACT NO. 1671 &
IN THE J. HAYNES SURVEY, ABSTRACT NO. 573 &
IN THE ANGUS JAMISON SURVEY

TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWNER
Taylor Hansel
P.O. Box 770
Frisco, Texas 75034

APPLICANT
MCF Investments
15700 S.H. 121
Frisco, Texas 75035
Telephone (214) 619-4930
Contact: Mike Fannin

ENGINEER / SURVEYOR
Sparks Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121 / TBPLS No. F-10043100
Contact: Kevin Wier

Scale: 1"=100' September, 2018 SET Job No. 17-219

LIST OF HOTEL AMENITIES PROVIDED

| AMENITIES | APPROX SQUARE FOOTAGE |
|---|-----------------------|
| 01. HOTEL LOBBY/LOUNGE | 855 SQ.FT. +/- |
| 02. REGISTRATION DESK | 165 SQ.FT. +/- |
| 03. DINNING AREA & PANTRY | 937 SQ.FT. +/- |
| 04. FITNESS CENTER @ 1ST FLOOR | 846 SQ.FT. +/- |
| 05. MEETING ROOM/BOARD ROOM @ 1ST FLOOR | 342 SQ.FT. +/- |

PARKING TABULATION

| USE | QTY | REQUIRED PARKING RATIO | PARKING REQUIRED BY ORDINANCE | PROPOSED ACKNOWLEDGE SHARE PARKING | PROVIDED PARKING |
|--------------------|-------------|---|-------------------------------|---|------------------|
| HOTEL - GUESTROOMS | 124 KEYS | 1.0 SPACE PER GUEST ROOM PLUS (1) SPACE FOR EACH 200 SQ.FT. OF COMMERCIAL FLOOR AREA CONTAINED | 124 | 0.8 SPACE PER GUEST ROOM | 100 |
| RETAIL | 3,888 SQ.FT | 1.0 SPACE PER 250 SQ.FT. OF GROSS FLOOR AREA | 16 | 1.0 SPACE PER 250 SQ.FT. OF GROSS FLOOR AREA | 16 |
| RESTAURANT | 3,795 SQ.FT | 1.0 SPACE FOR EACH 100 SQ.FT. OF GROSS FLOOR AREA FOR RESTAURANTS LOCATED WITHIN A MULTI-TENANT BUILDING. | 38 | 1.0 SPACE FOR EACH 100 SQ.FT. OF GROSS FLOOR AREA | 38 |
| OFFICE | 3,175 SQ.FT | 1.0 SPACE PER 350 SQ.FT. OF GROSS FLOOR AREA | 9 | 1.0 SPACE PER 350 SQ.FT. OF GROSS FLOOR AREA | 9 |
| | | | 187 | | 163 |

9 ADDITIONAL PARKING SPOTS BEING BUILT FOR RESIDENTIAL ARE NOT INCLUDED IN TOTAL NUMBER OF CURRENT PARKING SPACES.

| | |
|------------------------|------------|
| REGULAR CARS 20'X8' | 72 |
| REGULAR CARS 18'X8' | 81 |
| EV ONLY PARKING 20'X8' | 4 |
| HANDICAP CAR PARKING | 5 |
| HANDICAP VAN PARKING | 1 |
| TOTAL PARKING | 163 |

SPECIFIC GUEST ROOM TYPE MATRIX

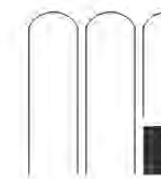
| | STUDIO KING A | STUDIO KING C | STUDIO KING D ACC | DIQ E | DIQ F ACC | ONE BEDROOM END G | TWO BED ROOM H | TWO BED ROOM J ACC | TOTAL |
|--------------|---------------|---------------|-------------------|-----------|-----------|-------------------|----------------|--------------------|------------|
| 1ST FLOOR | 11 | 1 | 1 | 7 | 0 | 4 | 0 | 1 | 25 |
| 2ND FLOOR | 13 | 1 | 1 | 12 | 1 | 4 | 0 | 1 | 33 |
| 3RD FLOOR | 14 | 1 | 0 | 12 | 1 | 4 | 1 | 0 | 33 |
| 4TH FLOOR | 14 | 1 | 0 | 12 | 1 | 4 | 1 | 0 | 33 |
| TOTAL | 52 | 4 | 2 | 43 | 3 | 16 | 2 | 2 | 124 |

SITE PLAN GENERAL NOTES

- ALL NEW UTILITIES WILL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH CITY REQUIREMENTS.
- ALL COMMERCIAL DUMPSTERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PROSPER CODE OF ORDINANCES.
- ALL SIGNAGE WILL COMPLY WITH CITY OF PROSPER CODE OF ORDINANCES AND ON A SEPARATE PERMIT.
- ALL PAVING MATERIALS WILL MEET MINIMUM CITY STANDARDS.
- ALL FENCES, SIGNS, LIGHTING AND LUMINARIES SHALL COMPLY WITH CITY OF PROSPER ORDINANCES. EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE ON THE SITE PLAN.

BUILDING SQUARE FOOTAGE

| FLOOR | AREA PER FLOOR SF |
|--------------|----------------------|
| 1ST FLOOR | 27,780 SF +/- |
| 2ND FLOOR | 22,990 SF +/- |
| 3RD FLOOR | 22,990 SF +/- |
| 4TH FLOOR | 22,990 SF +/- |
| TOTAL | 96,750 SF +/- |



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RESIDENCE INN
BY MARRIOTT

LOTS 15&16 WESTSIDE
ADDITION, US 380/FM 1385,
PROSPER, TX

Residence INN
BY MARRIOTT



ATLANTIC HOTEL
GROUP

1801 BRYAN STREET, SUITE M-210,
DALLAS, TEXAS 75201

Revisions:

1 No
2

SITE LEGEND

- LANDSCAPE
- CONCRETE SIDEWALK
- BUILDING FOOT PRINT
- PAVERS
- PAVERS
- INDICATES TRAFFIC DIRECTION
- PROPERTY LINE
- EASEMENT LINE AS INDICATED

date
01/03/2022

A job no. **21122**

sheet title
EXHIBIT D-1

sheet no.

A0.2A

Z22-0001
EXHIBIT E
DEVELOPMENT SCHEDULE
WESTSIDE

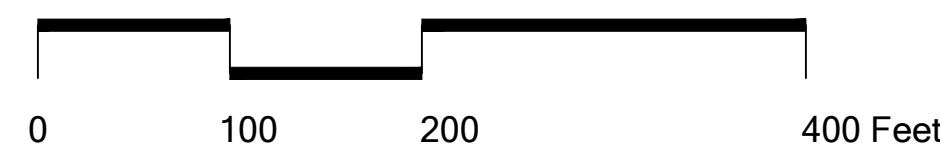
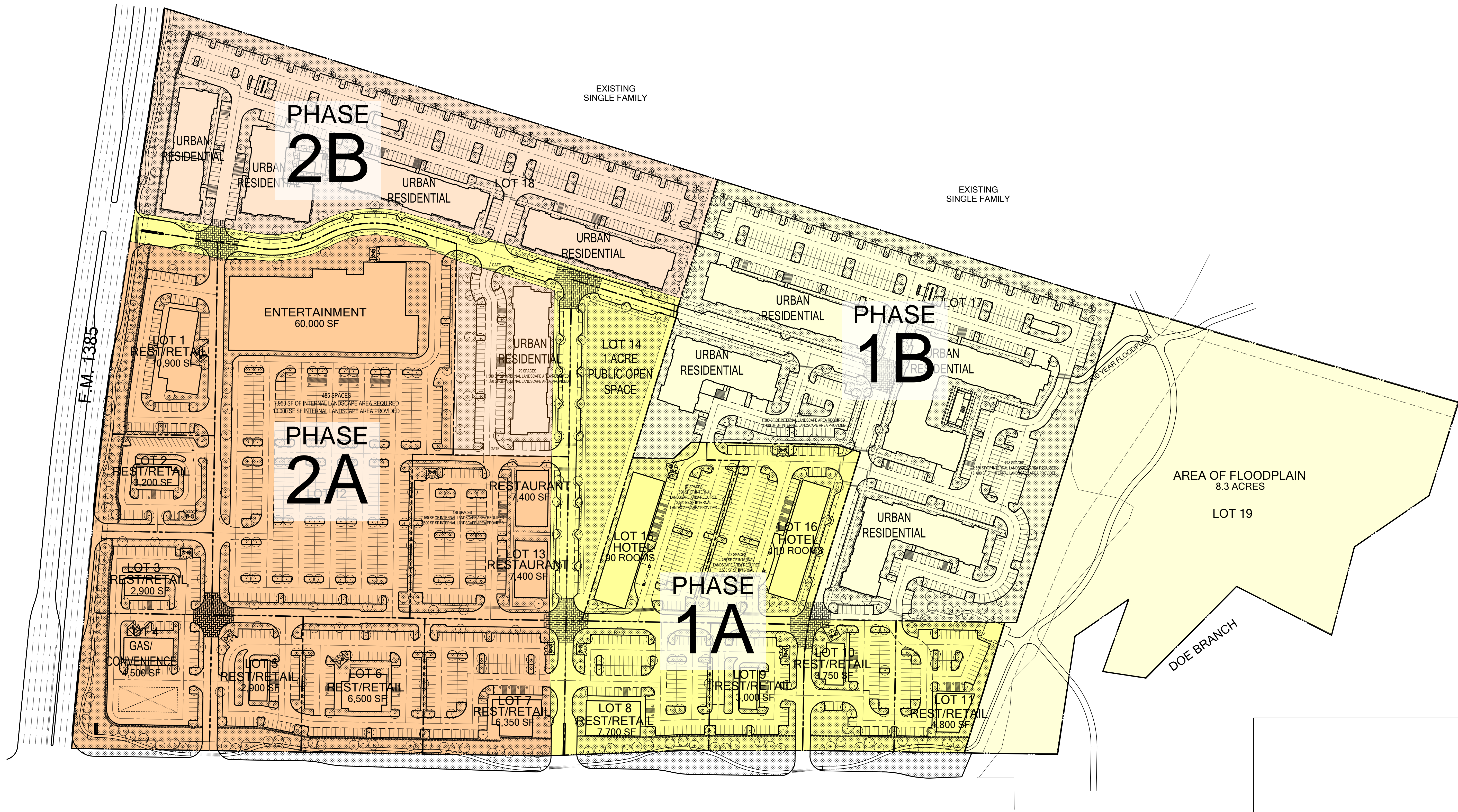
The phasing and development of this project is dependent upon both market conditions and the individual developers' timing. The anticipated schedule for the buildout will likely include a division of developmental increments. Upon commencement of development, the project construction is expected to require between 18 – 60 months. See Exhibit E2 for a graphic depiction.

Phase 1A: The central core of the property coupled with the construction of the central park. It would comprise both the physical heart of the project, plus individual pads inside the retail development. Vehicular access to the property will mostly be included in this phase. Depending on the schedule of the multi-family developer, Phase 1B could be developed in conjunction with Phase 1A.

Phase 1B: The initial phase of a two phase multi-family development.

Phase 2A: The second phase of a two phase commercial development, including retail/restaurant and entertainment uses to the west of the central park.

Phase 2B: The second phase of a multi-family development, located to the north of Phase 2A. Phase 2B could be developed in conjunction with Phase 2A.



Owner:
GF3 Partnership, LLC
Contact: Michael C. Fannin
15700 State Highway 121
Frisco, Texas 75035
972.747.9233
mcfannin@gmail.com

Job #: 17173.02
File Name: LandscapeSite-2018-1016.dwg
Date: 10/22/18
Drawn by: BEM, RR, PA



PLANNING

Dallas | Fort Worth | Austin

EXHIBIT "E2" - PHASING DIAGRAM
US 380 / FM 1385 NEC
Prosper, Texas
63.905 Acres

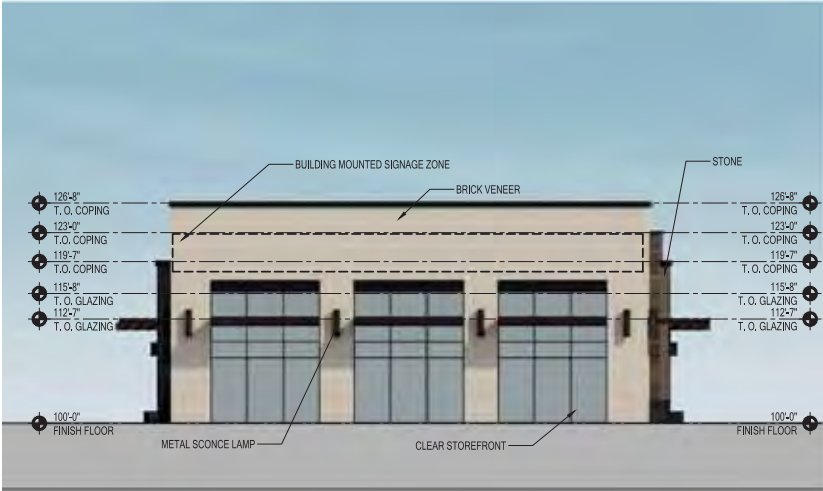
For Staff Use



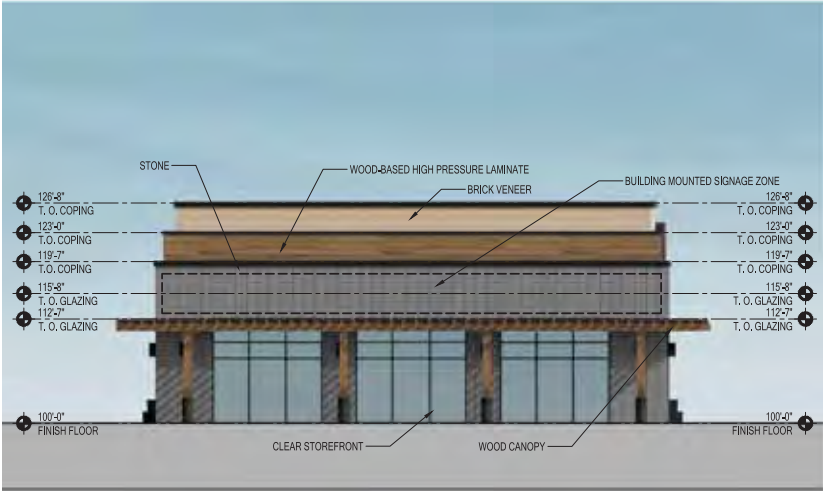
1 EAST ELEVATION
3/32" = 1'-0"



2 WEST ELEVATION
3/32" = 1'-0"



3 NORTH ELEVATION
3/32" = 1'-0"



4 SOUTH ELEVATION
3/32" = 1'-0"

| FACADE MATERIAL ANALYSIS | | |
|-----------------------------------|-----------|---------|
| 01 EAST ELEVATION | | |
| MATERIAL | AREA (SF) | % |
| BRICK VENEER | 1220 | 46.90% |
| WOOD-BASED HIGH PRESSURE LAMINATE | 509 | 19.60% |
| STONE | 873 | 33.60% |
| TOTALS* | 2602 | 100.00% |
| *GLAZING NOT INCLUDED | | |
| 02 WEST ELEVATION | | |
| MATERIAL | AREA (SF) | % |
| BRICK VENEER | 1220 | 47.50% |
| WOOD-BASED HIGH PRESSURE LAMINATE | 511 | 19.90% |
| STONE | 839 | 32.60% |
| TOTALS* | 2570 | 100.00% |
| *GLAZING NOT INCLUDED | | |
| 03 NORTH ELEVATION | | |
| MATERIAL | AREA (SF) | % |
| BRICK VENEER | 1474 | 100.00% |
| WOOD-BASED HIGH PRESSURE LAMINATE | 0 | 0.00% |
| STONE | 0 | 0.00% |
| TOTALS* | 1474 | 100.00% |
| *GLAZING NOT INCLUDED | | |
| 04 SOUTH ELEVATION | | |
| MATERIAL | AREA (SF) | % |
| BRICK VENEER | 161 | 10.70% |
| WOOD-BASED HIGH PRESSURE LAMINATE | 186 | 12.40% |
| STONE | 1157 | 76.90% |
| TOTALS* | 1504 | 100.00% |
| *GLAZING NOT INCLUDED | | |

| NOTES | |
|-------|--|
| 1 | This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division. |
| 2 | All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance. |
| 3 | When permitted, exposed utility boxes and conduits shall be painted to match the building. |
| 4 | All signage areas and locations are subject to approval by the Building Inspection Department. |
| 5 | Windows shall have a maximum exterior visible reflectivity of (10) percent. |

| MATERIALS TABLE | |
|-----------------|--------|
| | MAS 1 |
| | MAS 2 |
| | WOOD 1 |

Owner:
GF3 Partnership, LLC
Contact: Michael C. Fannin
15700 State Highway 121
Frisco, Texas 75035
972.747.9233
mcfannin@gmail.com

Job #: 17173.02
File Name: RestaurantRetailElevations_2018-0928.dwg
Date: 09/28/18
Drawn by: BEM, LA, PA



PLANNING

2808 Fairmount Street,
Suite 300
Dallas, Texas 75201 |
214.303.1500

3300 West 7th Street,
Suite 110
Fort Worth, Texas 76107 |
817.303.1500

EXHIBIT "F"
US 380 / FM 1385 NEC
Prosper, Texas
63.905 Acres





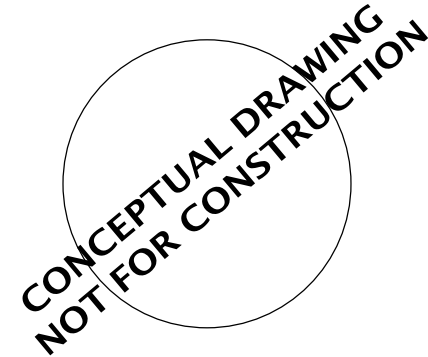
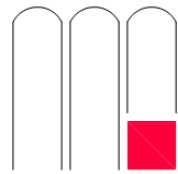
PERSPECTIVE - EAST VIEW



PERSPECTIVE - HOTEL MAIN ENTRY



PERSPECTIVE - NORTH VIEW



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ADDITION, US 380/FM 1385,
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ATLANTIC HOTEL
GROUP

1601 BRYAN STREET, SUITE M-210,
DALLAS, TEXAS 75201

Revisions:

| | | |
|---|---|----|
| 1 | ▲ | No |
| 2 | | |

date
01/03/2022

job no.
21122

sheet title
Z22-0001 EXHIBIT F

sheet no.

A0.4



PERSPECTIVE - SOUTH WEST VIEW



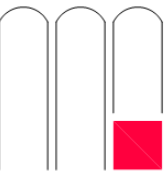
PERSPECTIVE - WEST VIEW (FACING PARK)



PERSPECTIVE - SOUTH EAST VIEW

MAYSE & ASSOCIATES, INC.

Architecture • Planning • Construction Management



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75254
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PROSPER, TX

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GROUP**

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DALLAS, TEXAS 75201

Revisions:

| | | |
|---|---|----|
| 1 |  | No |
| 2 | | |

date

01/03/2022

job no.

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sheet title

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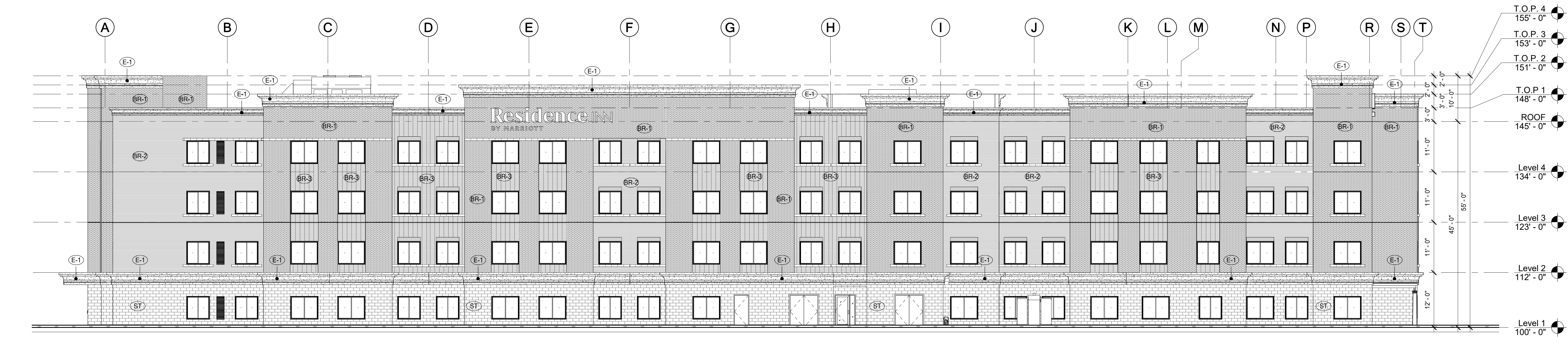
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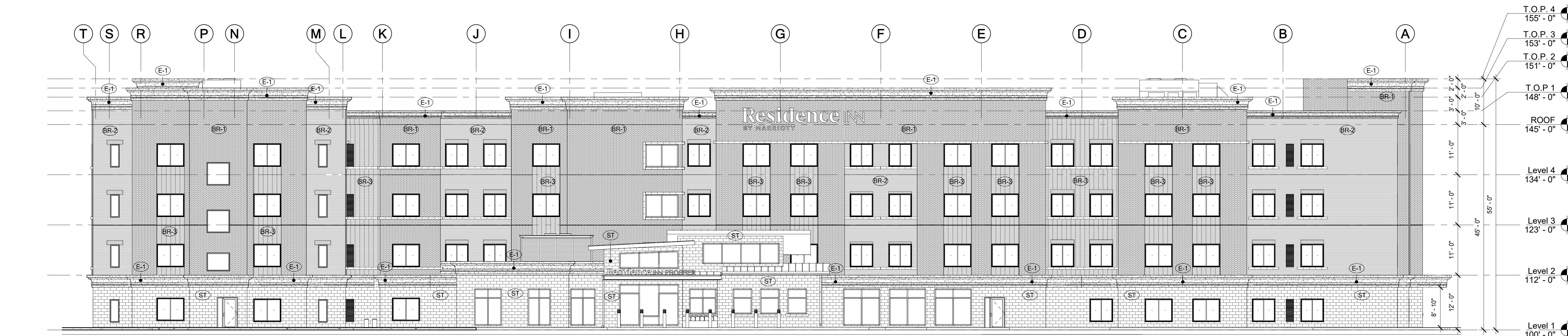
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2 WEST BUILDING ELEVATION


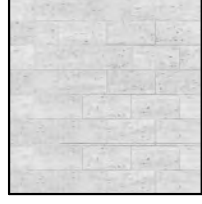
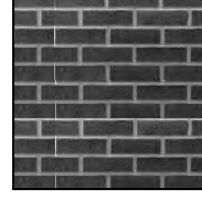
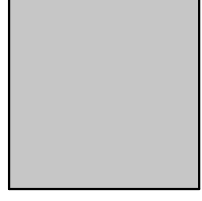
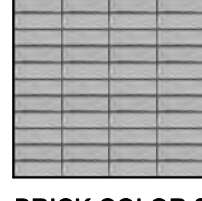
A3.0 3/32" = 1'-0"



1 EAST BUILDING ELEVATION

A3.0 3/32" = 1'-0"

FACADE MATERIAL ANALYSIS

| MATERIAL TABLE | | | |
|---|---|---|-----------------------------------|
|  | BRICK COLOR 1 MANGANESE IRON SPOT - VELOR (BR-1) |  | STONE COTTON WOOD HONEY (ST) |
|  | BRICK COLOR 2 AUTUMN SAND (BR-2) |  | EIFS APPLIQUE SAND BEACH (E-1) |
|  | BRICK COLOR 3 ARCTIC WHITE (BR-3) | | |

| NORTH ELEVATION | | | |
|-----------------|---------------|-------|--|
| MATERIAL | AREA | % | |
| STONE | 2,580 SF +/- | 25% | |
| BRICK COLOR 1 | 3,560 SF +/- | 34.5% | |
| BRICK COLOR 2 | 1,735 SF +/- | 16.8% | |
| BRICK COLOR 3 | 1,220 SF +/- | 11.9% | |
| EIFS COLOR 1 | 1,215 SF +/- | 11.8% | |
| TOTAL | 10,310 SF +/- | 100% | |

| SOUTH ELEVATION | | | |
|-----------------|--------------|-------|--|
| STONE | 1,490 SF +/- | 16.9% | |
| BRICK COLOR 1 | 3,710 SF +/- | 42% | |
| BRICK COLOR 2 | 1,915 SF +/- | 21.7% | |
| BRICK COLOR 3 | 560 SF +/- | 6.3% | |
| EIFS COLOR 1 | 1,165 SF +/- | 13.1% | |
| TOTAL | 8,840 SF +/- | 100% | |

| EAST ELEVATION | | | |
|----------------|---------------|-------|--|
| STONE | 4,140 SF +/- | 25% | |
| BRICK COLOR 1 | 6,530 SF +/- | 39.5% | |
| BRICK COLOR 2 | 2,400 SF +/- | 14.5% | |
| BRICK COLOR 3 | 1,450 SF +/- | 8.8% | |
| EIFS COLOR 1 | 2,025 SF +/- | 12.2% | |
| TOTAL | 16,545 SF +/- | 100% | |

| WEST ELEVATION | | | |
|----------------|---------------|-------|--|
| STONE | 2,455 SF +/- | 17.4% | |
| BRICK COLOR 1 | 5,895 SF +/- | 41.8% | |
| BRICK COLOR 2 | 2,255 SF +/- | 16% | |
| BRICK COLOR 3 | 1,480 SF +/- | 10.6% | |
| EIFS COLOR 1 | 2,035 SF +/- | 14.2% | |
| TOTAL | 14,130 SF +/- | 100% | |

EXTERIOR ELEV. GEN. NOTES

1. ALL MATERIALS END ON INSIDE CORNER UNLESS NOTED OTHERWISE
2. STUCCO CONTROL JOINTS & REVEAL PATTERNS SHALL BE RETURNED TO INSIDE CORNERS AT FACES NOT SHOWN. VERIFY WITH ARCHITECT
3. REFER TO ELECTRICAL FOR EXTERIOR WALL MOUNTED FIXTURES
4. ALL STONE VENEER WALLS TO HAVE CONTROL JOINTS AT ALL INSIDE CORNERS AND AT MINIMUM OF 75 FT.
5. ALIGN WINDOWS AT HEAD ACROSS BUILDING (TYP.)

MAYSE & ASSOCIATES, INC.
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LOTS 15&16 WESTSIDE
ADDITION, US 380/FM 1385,
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Residence INN
BY MARRIOTT

ATLANTIC
HOTELS

ATLANTIC HOTEL GROUP

1601 BRYAN STREET, SUITE M-210,
DALLAS, TEXAS 75201

Revisions:

1 No
2

EXTERIOR FINISH LEGEND

- BRICK COLOR 1
- BRICK COLOR 2
- BRICK COLOR 3
- STONE
- EIFS COLOR 1

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21122
sheet title
222-0001 EXHIBIT F
sheet no.

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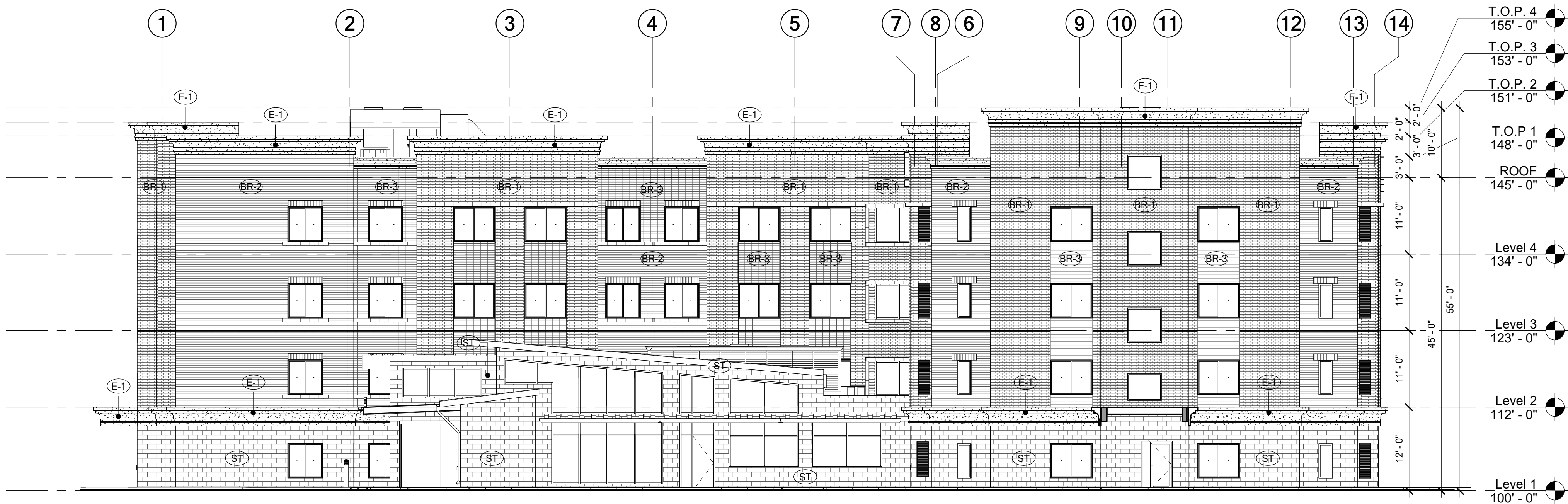
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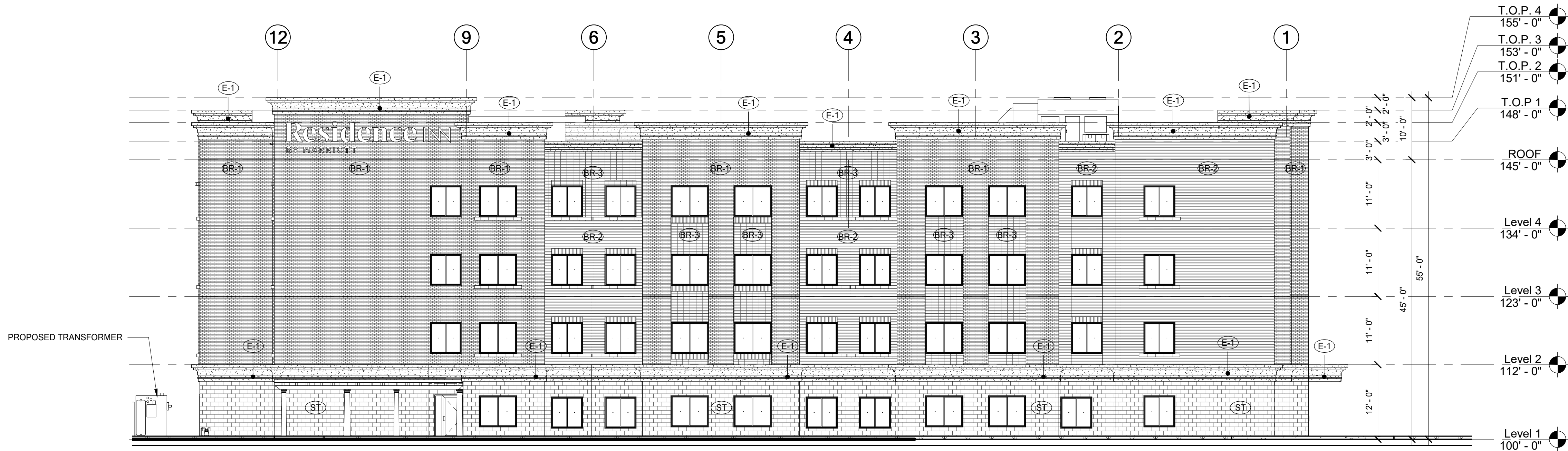
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2 NORTH BUILDING ELEVATION

A3.1 3/32" = 1'-0"



1 SOUTH BUILDING ELEVATION

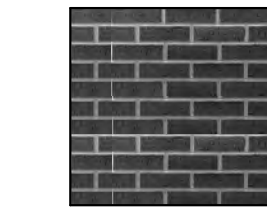
A3.1 3/32" = 1'-0"

FACADE MATERIAL ANALYSIS

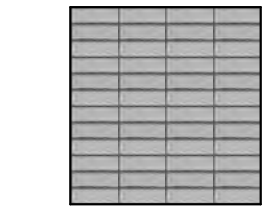
MATERIAL TABLE



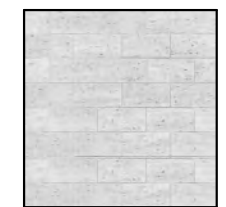
BRICK COLOR 1
MANGANESE IRON SPOT - VENDOR (BR-1)



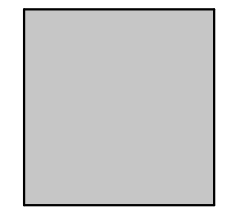
BRICK COLOR 2
AUTUMN SAND (BR-2)



BRICK COLOR 3
ARCTIC WHITE (BR-3)



STONE
COTTON WOOD HONEY (ST)



EIFS APPLIQUE
SAND BEACH (E-1)

NORTH ELEVATION

| MATERIAL | AREA | % |
|---------------|----------------------|-------------|
| STONE | 2,580 SF +/- | 25% |
| BRICK COLOR 1 | 3,560 SF +/- | 34.5% |
| BRICK COLOR 2 | 1,735 SF +/- | 16.8% |
| BRICK COLOR 3 | 1,220 SF +/- | 11.9% |
| EIFS COLOR 1 | 1,215 SF +/- | 11.8% |
| TOTAL | 10,310 SF +/- | 100% |

SOUTH ELEVATION

| | | |
|---------------|---------------------|-------------|
| STONE | 1,480 SF +/- | 16.9% |
| BRICK COLOR 1 | 3,710 SF +/- | 42% |
| BRICK COLOR 2 | 1,915 SF +/- | 21.7% |
| BRICK COLOR 3 | 960 SF +/- | 6.3% |
| EIFS COLOR 1 | 1,165 SF +/- | 13.1% |
| TOTAL | 8,840 SF +/- | 100% |

EAST ELEVATION

| | | |
|---------------|----------------------|-------------|
| STONE | 4,140 SF +/- | 25% |
| BRICK COLOR 1 | 6,530 SF +/- | 39.5% |
| BRICK COLOR 2 | 2,400 SF +/- | 14.5% |
| BRICK COLOR 3 | 1,450 SF +/- | 8.8% |
| EIFS COLOR 1 | 2,025 SF +/- | 12.2% |
| TOTAL | 16,545 SF +/- | 100% |

WEST ELEVATION

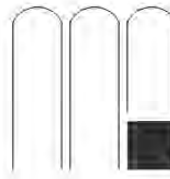
| | | |
|---------------|----------------------|-------------|
| STONE | 2,455 SF +/- | 17.4% |
| BRICK COLOR 1 | 5,885 SF +/- | 41.8% |
| BRICK COLOR 2 | 2,255 SF +/- | 16% |
| BRICK COLOR 3 | 1,480 SF +/- | 10.6% |
| EIFS COLOR 1 | 2,035 SF +/- | 14.2% |
| TOTAL | 14,130 SF +/- | 100% |

EXTERIOR ELEV. GEN. NOTES

1. ALL MATERIALS END ON INSIDE CORNER UNLESS NOTED OTHERWISE
2. STUCCO CONTROL JOINTS & REVEAL PATTERNS SHALL BE RETURNED TO INSIDE CORNERS AT FACES NOT SHOWN. VERIFY WITH ARCHITECT
3. REFER TO ELECTRICAL FOR EXTERIOR WALL MOUNTED FIXTURES
4. ALL STONE VENEER WALLS TO HAVE CONTROL JOINTS AT ALL INSIDE CORNERS AND AT MINIMUM OF 75 FT. ALIGN WINDOWS AT HEAD ACROSS BUILDING (TYP.)
- 5.

MAYSE & ASSOCIATES, INC.

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BY MARRIOTT**

LOTS 15&16 WESTSIDE
ADDITION, US 380/FM 1385,
PROSPER, TX

Residence INN
BY MARRIOTT



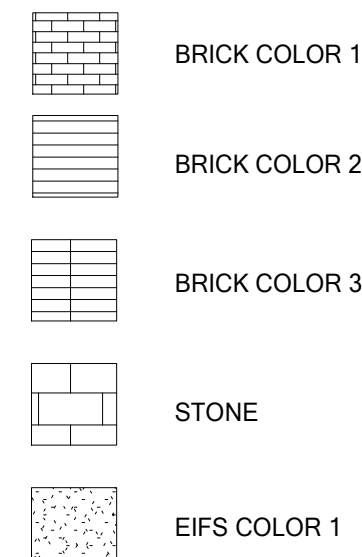
**ATLANTIC HOTEL
GROUP**

1801 BRYAN STREET, SUITE M-210,
DALLAS, TEXAS 75201

Revisions:

| I | # | No |
|---|---|----|
| 2 | | |

EXTERIOR FINISH LEGEND



date
01/03/2022

A job no.
21122

sheet title
222-0001 EXHIBIT F

sheet no.

A3.1



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**LOTS 15&16 WESTSIDE
ADDITION, US 380/FM 1385,
PROSPER, TX**



1601 BRYAN STREET, SUITE M-210,
DALLAS, TEXAS 75201

Revisions:

I  **No**

2

21122

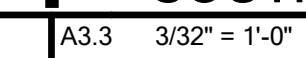
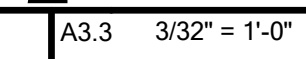
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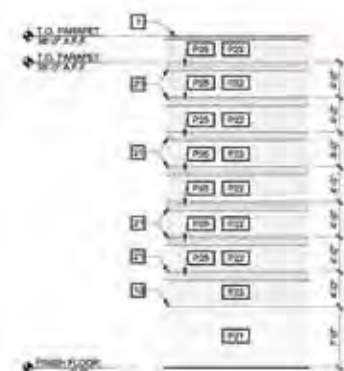
Z22-0001 EXHIBIT F

A3.3

| | |
|---------------|----------------------|
| STONE | 2,455 SF +/- |
| BRICK COLOR 1 | 5,895 SF +/- |
| BRICK COLOR 2 | 2,255 SF +/- |
| BRICK COLOR 3 | 1,490 SF +/- |
| EIFS COLOR 1 | 2,035 SF +/- |
| TOTAL | 14,130 SF +/- |

EIFS COLOR 1 (E-1)

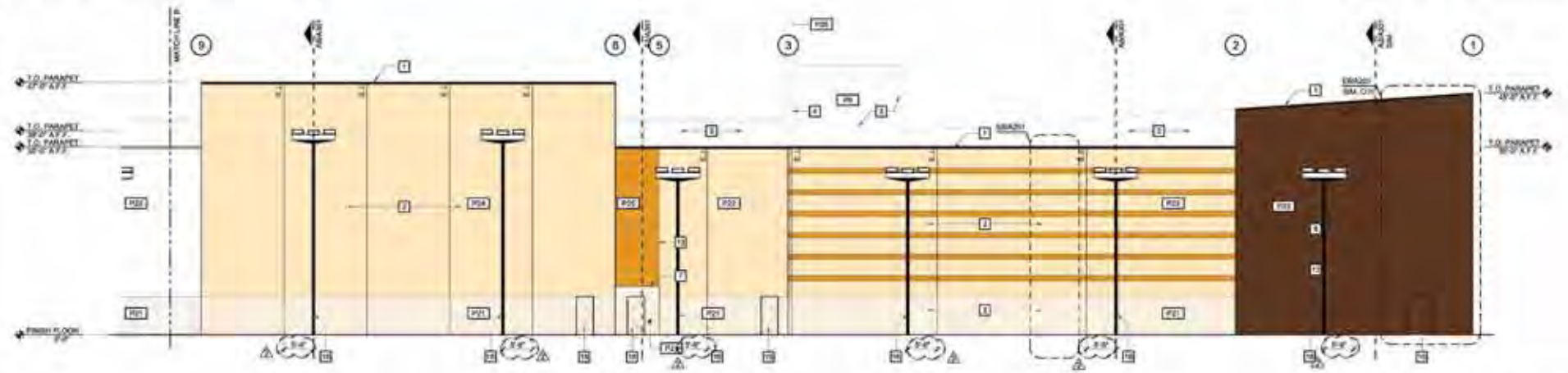




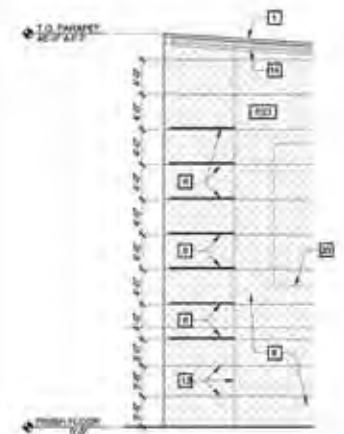
E6 PAINT DETAIL
SCALE: 1/8\"/>



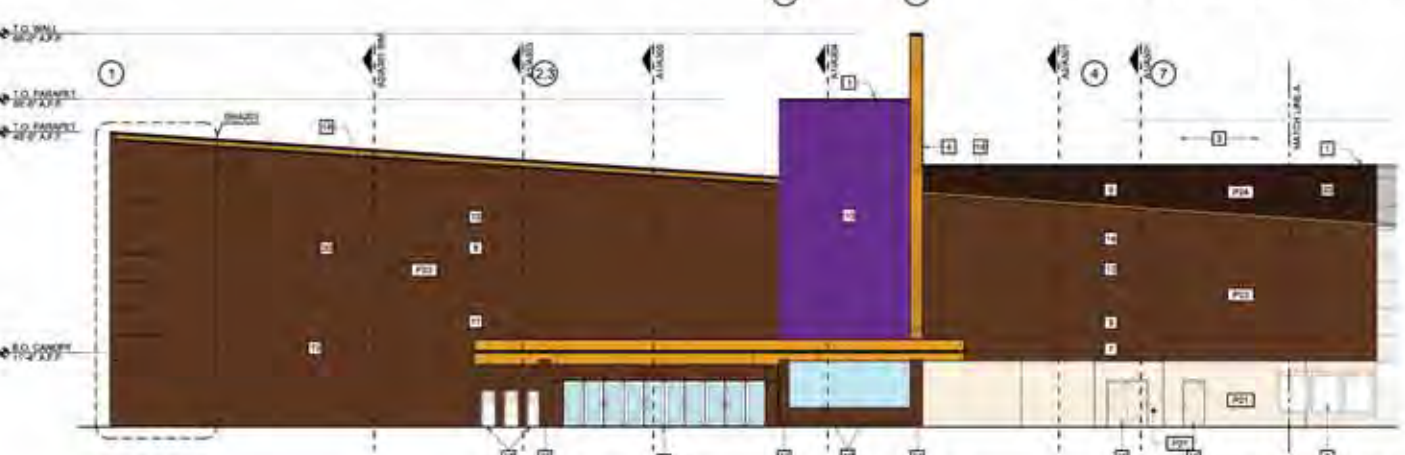
D1 NORTH ELEVATION - AREA 'B'
SCALE: 3/32\"/>



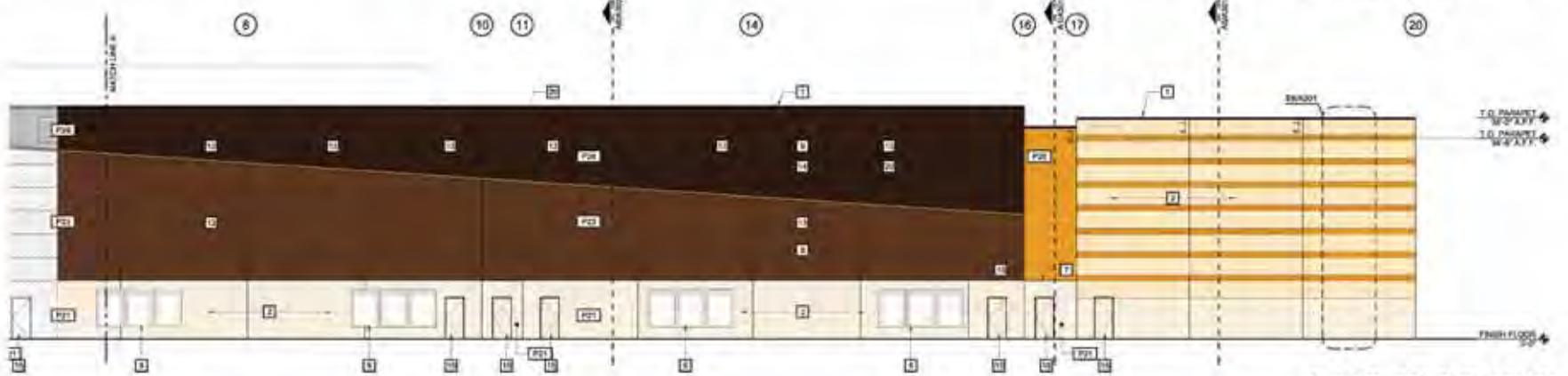
C1 NORTH ELEVATION - AREA 'A'
SCALE: 3/32\"/>



B6 EIFS DETAIL
SCALE: 3/32\"/>



B1 SOUTH ELEVATION - AREA 'A'
SCALE: 3/32\"/>



A1 SOUTH ELEVATION - AREA 'B'
SCALE: 3/32\"/>

- ### KEY NOTES
1. FINISHES METAL CORNER PER SPEC.
 2. EXPOSED TILT WALL PANEL, TEXTURED PAINT
 3. PARAPET BEYOND
 4. STUCCO FINISH - PAINT PER
 5. POSTER CASE SUPPLIED BY OWNER'S VENDOR, O.C. TO INSTALL AND PROVIDE POWER AND BLOCKING
 6. CORNER LIGHT, BE. ME. 100411
 7. PAINT FINISH OF ALUMINUM PERPENDICULAR TO VIEW, PER
 8. 2 1/2\"/>
 - 9. 4\"/>
 - 10. STUCCO FINISH GARDY - PAINT PER
 - 11. TILT FINISH - TILT
 - 12. REVEAL 1/8\"/>
 - 13. CONTIGUOUS CORNER LIGHT MOUNTED ON WALL SYSTEM, BE. ME. & BEAD 11 588
 - 14. HOLLOW METAL DOOR - PAINT TO MATCH ADJACENT COLOR, TYP
 - 15. TIED-IN METAL DOWNSPOUT WITH 3 DOWNSPOUT DRAIN TYP. PAINT TO MATCH PER BE. CHAIRS, ME. & CIVIL DRAWINGS
 - 16. TICKET KIOSK SUPPLIED AND INSTALLED BY OWNER'S VENDOR, O.C. TO INSTALL, PROVIDE POWER DATA AND BLOCKING
 - 17. ANODIZED ALUMINUM STATIONARY - BE. PLANT & WINDOW SCHEDULE
 - 18. TICKET COUNTER - ANODIZED ALUMINUM WINDOW - BE. WINDOW SCHEDULE
 - 19. DASHED LINE INDICATES SIGNAGE SUPPLIED AND INSTALLED BY OWNER'S VENDOR, O.C. TO PROVIDE POWER & BLOCKING
 - 20. REVEAL 1/8\"/>
 - 21. TILT WALL VERTICAL EXPANSION JOINTS 1/2\"/>

- ### GENERAL NOTES
- A. PROVIDE EGRESS WALL, BACK TO BE MOUNTED 1\"/>
 - B. SEAL ALL EXTERIOR PENETRATIONS, CONTROL JOINTS AND JOINTS IN DISCREET WALL ASSEMBLY
 - C. SEAL TOP OF ALL EXTERIOR LIGHT FIXTURES WITH CAULK, FINISH TO MATCH FIXTURE COLOR, REL. SPEC.
 - D. ALL EXTERIOR GROUND BUILDING AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW ON ALL SIDES
 - E. ALL EXTERIOR MATERIALS TO MEET LOCAL REQUIREMENTS AND SPECIFICATIONS
 - F. ALL SCORERS AND CONDUIT SHALL BE PAINTED TO MATCH ADJACENT FINISH MATERIALS
 - G. INSTALL INTEGRALLY COLORED EXTERIOR CAULK AT ALL CONTROL JOINTS AFTER BUILDING HAS BEEN PAINTED. CAULK SHALL CHANGE COLORING AS REQUIRED TO MATCH ADJACENT MATERIAL. FIELD COLOR COORDINATE EXACT COLOR WITH ARCHITECT. DO NOT PAINT CAULK.
 - H. SEAL TOP OF ALL EXTERIOR LIGHT FIXTURES WITH CAULK, FINISH TO MATCH EXTERIOR COLOR. REF. TO SPECIFICATIONS
 - I. ALL EXTERIOR SIGNAGE IS SUBJECT TO APPROVAL BY LOCAL AUTHORITY

SCREENING NOTE

ALL EXTERIOR GROUND BUILDING AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW ON ALL SIDES. EQUIPMENT TO BE SCREENED INCLUDES, BUT IS NOT LIMITED TO: HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT, PLUMBING LINES, DUCTWORK, TRANSFORMERS, AND METER BANKS. SCREENING MATERIALS MAY BE STUCCO, CONCRETE, WOOD, LANDSCAPING, OR OTHER OPACQUE MATERIAL. FINISH IS COMPATIBLE WITH THE BUILDING ARCHITECTURE AND EFFECTUALLY SCREENS MECHANICAL EQUIPMENT SO THAT IT IS NOT VISIBLE FROM A PUBLIC STREET OR ADJACENT LOT. SCREENING MATERIAL MAY HAVE EVENLY DISTRIBUTED PERFORATION OR PERFORATIONS NOT EXCEEDING 50% OF THE SURFACE AREA. ROOFTOP EQUIPMENT MAY BE SCREENED USING ENCLOSURE, PARTIAL SCREENS, OR PARAPET WALLS.

| FACADE MATERIAL ANALYSIS | | |
|--|-----------|------|
| D1 NORTH ELEVATION-AREA 'B' | | |
| MATERIAL | AREA (SF) | % |
| 2 1/2" AND THICKERLY FINISHED CONCRETE | 0 | 0.00 |
| STAINLESS STEEL TILE-T11 | 0 | 0.00 |
| STUCCO FINISH-PAINT PS | 0 | 0.00 |
| EXPOSED 1/2" WOOD PANEL TEXTURED PAINT | 582/ | 100 |
| 0" AND THINNERLY FINISHED CONCRETE | 0 | 0.00 |
| TOTAL | 582/ | 100 |
| | | |
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| C1 NORTH ELEVATION-AREA 'A' | | |
|-----------------------------|-----------|---|
| MATERIAL | AREA (SF) | % |
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B1 SOUTH ELEVATION AREA 'A'

| MATERIAL | AREA (SF) | % |
|--|-----------|------|
| 2 1/2" ARCHITECTURALLY FINISHED CONCRETE | 5001 | 80.2 |
| STAINLESS STEEL TILT UP | 0 | 0.0 |
| STUCCO FINISH PAINT RED | 718 | 11.3 |
| EXPOSED TILT WALL PANEL TEXTURED FINISH | 0 | 0.0 |
| 4" ARCHITECTURALLY FINISHED CONCRETE | 542 | 8.5 |
| TOTAL | 6351 | 100 |
| | | |
| | | |

A1 SOUTH ELEVATION AREA 'B'

| MATERIAL | AREA (SF) | % |
|---|-----------|------|
| 2 1/2" ARCHITECTURALLY FINISHED CONCRETE | 2929 | 32.5 |
| STAINLESS STEEL TILE-T11 | 0 | 00 |
| STUCCO FINISH-PANEL P5 | 0 | 00 |
| EXPOSED TILT WALL PANEL, TEXTURED PAINT | 3961 | 43.9 |
| 4" ARCHITECTURALLY FINISHED CONCRETE | 2113 | 23.5 |
| TOTAL | 9,003 | 100 |
| | | |

- ### NOTES
1. This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division.
 2. All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
 3. When permitted, exposed utility boxes and conduits shall be painted to match the building.
 4. All signage areas and locations are subject to approval by the Building Inspection Department.
 5. Windows shall have a maximum exterior visible reflectivity of (10) percent.



© 2018 KEENON RAYNER AIA
 111 Tenth Street, Norman, Texas 77050-1500 Fax 713.585.3196

OWNER:
 ShowBiz
 111 Tenth Street
 Norman, TX 77050
 713.585.3196

STRUCTURE:
 T.C. Engineers
 111 Tenth Street
 Norman, TX 77050
 713.585.3196

MEP:
 J. & S. Engineers
 111 Tenth Street
 Norman, TX 77050
 713.585.3196

Keenon Rayner, AIA
 STATE OF OKLAHOMA REGISTERED ARCHITECT AREA
 111 Tenth Street, Norman, Texas 77050-1500 Fax 713.585.3196



| REV. | DATE | REVISION |
|------|------------|--------------------------|
| 01 | 01/10/2018 | ISSUE FOR PERMIT |
| 02 | 02/01/2018 | CMD HEALTH DEPT. COM. 11 |
| 03 | 02/01/2018 | CITY RESPONSES 01 |
| 04 | 04/10/2018 | ISSUE FOR CONSTRUCTION |
| 05 | 04/04/2018 | REVISION 2 |

PROJECT NAME AND ADDRESS:
 SHOWBIZ EDMOND

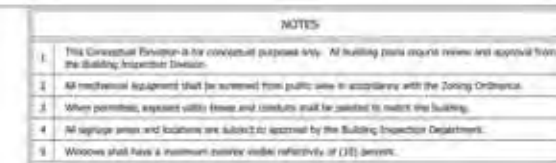
**WE CORNER OF W BOONER RD. AND E. COVELL RD.
 EDMOND, OKLAHOMA 73434**

OWNER: MRS. MGR
DESIGNER: MRS. MGR

TITLE: EXTERIOR ELEVATIONS

DATE: 01/10/2018

A201



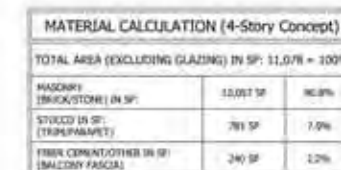
GLA-ATL, LLC

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FAX 404.228.0250

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| MATERIAL CALCULATION (PHASE 2-BLDG. 1) | | |
|--|----------|-------|
| TOTAL AREA (EXCLUDING GLAZING) IN SF: 4,679 = 100% | | |
| MASONRY (BRICK/STONE) IN SF: | 3,981 SF | 85.2% |
| STUCCO IN SF: (TROMPEL/PAVEMENT) | 626 SF | 13.4% |
| CEMENT CONCRETE/OTHER IN SF (BALCONY PAVING) | 58 SF | 1.2% |



PROJECT INFO.








NOTES

| BUILDING HEIGHTS. | |
|-------------------|---------------|
| NUMBER OF STORIES | REDUCE HEIGHT |
| 4 | 54'-11" |
| 3 | 49'-5" |
| 2/3 | 43'-7" |

- ALL MECHANICAL UNITS SHALL BE LOCATED FROM PUBLIC VIEWS, OR AS REQUIRED BY ZONING ORDINANCES.
- THE SITE PLAN/RENDERING REFLECT THE DESIGN FORM AND INTENT OF THE REFERENCED BUILDING. ADDITIONAL DETAIL, GARAGE, TRASH SERVICES, AND OTHER ELEMENTS TO BE INCORPORATED AS PRACTICAL DEVELOPS.
- SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY. ANY AND ALL FULLY DETAILED EXACTLY LOCATED SITE DESIGN, PLEASE REFERENCE EXHIBIT D "CONCEPTUAL SITE PLAN".
- ALL MATERIAL CALCULATIONS DO NOT INCLUDE HATCH TON IN MATERIALS ABOUT THE COMMON ROOF HATCHES.

ABBREVIATIONS

ABBREVIATIONS

| | | | |
|------|-------------|---|----------------|
| ALLM | ALLIUM |  | ELEVATION HGT. |
| BLOG | BUILDING |  | DWG. NO. |
| BQWY | BUILDING |  | DWG. TITLE |
| FF | FRESH FLOOR |  | SCALE |
| CT | CITY |  | TITLE |

MATERIAL LEGEND

| TAG | SWATCH | DESCRIPTION | TAG | SWATCH | DESCRIPTION | TAG | SWATCH | DESCRIPTION | TAG | SWATCH | DESCRIPTION |
|------|---|--|-----|---|--|-----|---|--|---|---|--|
| S-1 |  | VENDOR: BORAL CASTLET CUT-FRENCH GRAY COLOR: GRAY MATERIAL: NATURAL STONE | B-1 |  | VENDOR: BORAL BRICK COLOR: BIRMINGHAM CLASSIC MATERIAL: CLAY-FIRED BRICK | F-1 |  | VENDOR: SHERWIN WILLIAMS COLOR: IVETTS HIGHLAND WHITE NUMBER: SW7566 R-242, G-238, B-228 MATERIAL: TRIM & GUTTER | F-4 |  | VENDOR: SHERWIN WILLIAMS COLOR: BARCELONA BEIGE NUMBER: SW7530 R-194, G-180, B-158 MATERIAL: SUB-TOP, CORNER CORBELS |
| ST-1 |  | VENDOR: SHERWIN WILLIAMS COLOR: STUDIO TAUPE NUMBER: SW7549 R-173, G-156, B-123 MATERIAL: STUCCO | B-2 |  | VENDOR: BORAL BRICK COLOR: SUMMER HARVEST MATERIAL: CLAY-FIRED BRICK | F-2 |  | VENDOR: SHERWIN WILLIAMS COLOR: LUSCIOUS BRONZE NUMBER: SW7048 R-94, G-85, B-74 MATERIAL: SAILINGS & DOORS | B-3 |  | VENDOR: CERTANTEES SERIES: LANDMARK COLOR: WEATHERED WOOD MATERIAL: ASPHALT SHINGLES |
| | | | B-3 |  | VENDOR: BORAL BRICK COLOR: TAVNYTOWN MATERIAL: CLAY-FIRED BRICK | F-3 |  | VENDOR: SHERWIN WILLIAMS COLOR: SAN ANTONIO SAGE NUMBER: SW7731 R-167, G-151, B-120 MATERIAL: CORNER HEADERS | *EQUAL ALTERNATES MAY BE SUBSTITUTED WITH APPROVAL FROM ARCHITECT AND OWNER | | |

*EQUAL ALTERNATES MAY BE SUBSTITUTED
WITH APPROVAL FROM ARCHITECT AND
OWNER

Subdivision's Name: WestSide
 Block / Lot Number: 4 / 1-19
 Client: Davis Development
 Phone: 770.478.5211
 Address: 1050 Eagles Landing Parkway, Suite 800
 Stockbridge, Georgia 30231
 Architect: Gehlert Looms Assoc.
 Phone: 404.228.1958
 Address: 849 11th St.
 Atlanta, Georgia 30318
 Applicant: PCF Investments
 Phone: (214) 619-4930
 Address: 15700 S.H. 121
 Pears, Texas 79033

Scale: AS NOTED
Date: 11/07/2018
Drawn By: BT



GLA-ATL, LLC

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1
R-2 REAR/INTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



1
R-2 REAR/INTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

| FACADE PLANS | | | | | | | | | | | | | | | PROJECT INFO. | | |
|--|----------------|--|---|---|--|-------------|---|---|-------------|---|---|---|---|---|--|--|-------------|
| NOTES | | NOTES | FACADE PLAN NOTES | MATERIAL LEGEND | | | | | | | | | | | <div>Subdivision's Name: WestSide</div> <div>Block / Lot Number: A / 1-19</div> <div>Client: Davis Development</div> <div>Phone: 770.474.5213</div> <div>Address: 1090 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30081</div> <div>Architect: Gefheber Lewis Assoc.</div> <div>Phone: 404.228.1958</div> <div>Address: 649 11th St. Atlanta, Georgia 30318</div> <div>Applicant: MCF Investments</div> <div>Phone: (214) 619-4930</div> <div>Address: 15700 S.H. 121 Frisco, Texas 75035</div> <div>Scale: AS NOTED</div> <div>Date: 08/28/2018</div> <div>Drawn By: BT</div> <div>NOT RELEASED FOR CONSTRUCTION</div> <div>www.glaatl.com</div> | | |
| 1 This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division. | | 1. RENDERING AND ELEVATIONS ON SHEETS R-2, R-3, AND R-4 ARE REPRESENTATIVE. THE BUILDING DO NOT EXACTLY REFLECT THOSE OF THE PROPOSED PROJECT, BUT ARE INDICATIVE OF DESIGN INTENT AND SIMILAR CONDITIONS. | 1. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW, OR AS REQUIRED BY ZONING GUIDELINES. 2. BUILDING RENDERINGS REFLECT THE DESIGN FORM AND INTENT OF THE REFERENCED BUILDINGS. ADDITIONAL DETAIL, GARAGE, TRASH SERVICES, AND OTHER ELEMENTS TO BE INCORPORATED AS DESIGN DEVELOPS. 3. SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY AND MAY NOT FULLY REFLECT EXACT CURRENT SITE DESIGN. PLEASE REFERENCE EXHIBIT D "CONCEPTUAL SITE PLAN". 4. MATERIAL CALCULATIONS DO NOT INCLUDE MINOR TRIM OR MATERIALS ABOVE THE COMMON ROOF BEARING PLANE. | TAG | SWATCH | DESCRIPTION | TAG | SWATCH | DESCRIPTION | TAG | SWATCH | DESCRIPTION | TAG | SWATCH | | | DESCRIPTION |
| 2 All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance. | S-1 | | |  | VENDOR: BORAL CASTFIT CUT: FRENCH GRAY COLOR: GRAY MATERIAL: NATURAL STONE | B-4 |  | VENDOR: BORAL BRICK COLOR: REDINGTON CLASSIC MATERIAL: CLAY-FIRED BRICK | P-1 |  | VENDOR: SHERWIN WILLIAMS COLOR: WEB GRAY NUMBER: SW705 R-97, G-102, B-105 MATERIAL: SIDING | |  | COLOR: BRONZE MATERIAL: WINDOWS (ALUM.) | | | |
| 3 When permitted, exposed utility boxes and conduits shall be painted to match the building. | ST-1 | | |  | VENDOR: SHERWIN WILLIAMS COLOR: STUDIO TAUPÉ NUMBER: SW7548 R-173, G-156, B-133 MATERIAL: STUCCO | B-5 |  | VENDOR: BORAL BRICK COLOR: SUMMER HARVEST MATERIAL: CLAY-FIRED BRICK | P-2 |  | VENDOR: SHERWIN WILLIAMS COLOR: REPOSE GRAY NUMBER: SW715 R-204, G-201, B-192 MATERIAL: TRIM & GUTTER | R-1 |  | VENDOR: CERTAINTEED SERIES: LANDMARK COLOR: HEATHER BLEND MATERIAL: ASPHALT SHINGLES | | | |
| 4 All signage areas and locations are subject to approval by the Building Inspection Department. | | | | | | B-6 |  | VENDOR: BORAL BRICK COLOR: TARRYTOWN MATERIAL: CLAY-FIRED BRICK | P-3 |  | VENDOR: SHERWIN WILLIAMS COLOR: URBANE BRONZE NUMBER: SW748 R-94, G-80, B-74 MATERIAL: RAILINGS & DOORS | *EQUAL ALTERNATES MAY BE SUBSTITUTED WITH APPROVAL FROM ARCHITECT AND OWNER | | | | | |
| 5 Windows shall have a maximum exterior visible reflectivity of (10) percent. | | | | | | | | | | | | | | | | | |
| ABBREVIATIONS | | | | | | | | | | | | | | | | | |
| ALUM. | ALUMINUM | ELEVATION HGT. | | | | | | | | | | | | | | | |
| BLDG. | BUILDING | DWG. NO. DWG. TITLE | | | | | | | | | | | | | | | |
| BRZKY. | BREEZEWAY | DRAWING SCALE | | | | | | | | | | | | | | | |
| FF. | FINISHED FLOOR | ENCL. TITLE | | | | | | | | | | | | | | | |
| STL. | STEEL | | | | | | | | | | | | | | | | |



GLA-ARCHITECTS, LLC

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PHONE: 404.228.1958
FAX: 404.228.1959

WWW.GLARCH.COM

This document is a preliminary rendering of a proposed project. It is not intended to be used for construction or as a basis for any other project. It is the responsibility of the client to ensure that the project is completed in accordance with the approved plans and specifications.

2 FRONT ELEVATION
R-3

SCALE: 3/32" = 1'-0"

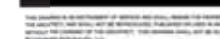


1 FRONT ELEVATION
R-3

SCALE: 3/32" = 1'-0"



| FACADE PLANS | | | | | | | | | | | | | | PROJECT INFO. | | | | |
|---|---|--|--|----------------------|--|--------|-------------|---|--------|-------------|--|---|-------------|---|--|--|--------|-------------|
| NOTES | | NOTES | FACADE PLAN NOTES | | MATERIAL LEGEND | | | | | | | | | | <div>Subdivision's Name: WestSide</div> <div>Block / Lot Number: A / 1-19</div> <div>Client: Davis Development</div> <div>Phone: 770.474.5213</div> <div>Address: 1090 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30081</div> <div>Architect: Gefheber Lewis Assoc.</div> <div>Phone: 404.228.1958</div> <div>Address: 649 11th St. Atlanta, Georgia 30318</div> <div>Applicant: MCF Investments</div> <div>Phone: (214) 619-4930</div> <div>Address: 15700 S.H. 121 Pico, Texas 75035</div> <div>Scale: AS NOTED</div> <div>Date: 08/28/2018</div> <div>Drawn By: BT</div> <div>NOT RELEASED FOR CONSTRUCTION</div> <div>www.glaatl.com</div> | | | |
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| 3. When permitted, exposed utility boxes and conduits shall be painted to match the building. | 3. SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY AND MAY NOT FULLY REFLECT EXACT CURRENT SITE DESIGN. PLEASE REFERENCE EXHIBIT D "CONCEPTUAL SITE PLAN". | | ST-1 | | VENDOR: SHERWIN WILLIAMS COLOR: STUDIO TAUPE NUMBER: SW7548 R-173, G-156, B-133 MATERIAL: STUCCO | B-5 | | VENDOR: BORAL BRICK COLOR: SUMMER HARVEST MATERIAL: CLAY-FIRED BRICK | P-2 | | VENDOR: SHERWIN WILLIAMS COLOR: REPOSE GRAY NUMBER: SW7115 R-204, G-201, B-192 MATERIAL: TRIM & GUTTER | R-1 | | VENDOR: CERTAINTPEED SEKOJ: LANDMARK COLOR: HEATHER BLEND MATERIAL: ASPHALT SHINGLES | | | | |
| 4. All signage areas and locations are subject to approval by the Building Inspection Department. | 4. MATERIAL CALCULATIONS DO NOT INCLUDE MINOR TRIM OR MATERIALS ABOVE THE COMMON ROOF BEARING PLANE. | | | | | B-6 | | VENDOR: BORAL BRICK COLOR: TARKYTOWN MATERIAL: CLAY-FIRED BRICK | P-3 | | VENDOR: SHERWIN WILLIAMS COLOR: URBAN BRONZE NUMBER: SW7048 R-194, G-102, B-104 MATERIAL: RAILINGS & DOORS | *EQUAL ALTERNATES MAY BE SUBSTITUTED WITH APPROVAL FROM ARCHITECT AND OWNER | | | | | | |
| 5. Windows shall have a maximum exterior visible reflectivity of (10) percent. | ABBREVIATIONS | | | | | | | | | | | | | | | | | |
| | | ALUM. ALUMINUM | | ELEV. ELEVATION HGT. | | | | | | | | | | | | | | |
| | | BLDG. BUILDING | | DWG. NO. DWG. TITLE | | | | | | | | | | | | | | |
| | | BRZKY. BREEZEWAY | | SCALE | | | | | | | | | | | | | | |
| | | FF. FINISHED FLOOR | | | | | | | | | | | | | | | | |
| | | STL. STEEL | | AI (ENCL) TITLE | | | | | | | | | | | | | | |



SCALE: 300' = 1"

| NOTES | | NOTES | FACADE PLAN NOTES | FACADE PLANS | | | | | | | | | | | | PROJECT INFO. | | |
|-------|--|---|---|---|--|--|--|--|--|--|--|--|--|--|--|--|--|---|
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| 2 | All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance. | | | TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION | | | | | | | | | | | | Address: 1050 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30281 Architect: Geheber Lewis Assoc. Phone: 404.228.1958 Address: 648 11th St. Atlanta, Georgia 30318 Applicant: MCF Investments Phone: (214) 619-8930 Address: 15700 S.H. 121 Pritchett, Texas 75036 Scale: AS NOTED Date: 08/28/2018 Drawn By: BT | | |
| 3 | When permitted, exposed utility boxes and conduits shall be painted to match the building. | | | TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION | | | | | | | | | | | | Address: 1050 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30281 Architect: Geheber Lewis Assoc. Phone: 404.228.1958 Address: 648 11th St. Atlanta, Georgia 30318 Applicant: MCF Investments Phone: (214) 619-8930 Address: 15700 S.H. 121 Pritchett, Texas 75036 Scale: AS NOTED Date: 08/28/2018 Drawn By: BT | | |
| 4 | All signage areas and locations are subject to approval by the Building Inspection Department. | | | TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION | | | | | | | | | | | | Address: 1050 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30281 Architect: Geheber Lewis Assoc. Phone: 404.228.1958 Address: 648 11th St. Atlanta, Georgia 30318 Applicant: MCF Investments Phone: (214) 619-8930 Address: 15700 S.H. 121 Pritchett, Texas 75036 Scale: AS NOTED Date: 08/28/2018 Drawn By: BT | | |
| 5 | Windows shall have a maximum exterior visible reflectivity of (10) percent. | | | TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION TAG SWATCH DESCRIPTION | | | | | | | | | | | | Address: 1050 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30281 Architect: Geheber Lewis Assoc. Phone: 404.228.1958 Address: 648 11th St. Atlanta, Georgia 30318 Applicant: MCF Investments Phone: (214) 619-8930 Address: 15700 S.H. 121 Pritchett, Texas 75036 Scale: AS NOTED Date: 08/28/2018 Drawn By: BT | | |
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| | | ALUM. ALUMINUM BLDG. BUILDING BRZVY. BREEZEWAY FF. FINISHED FLOOR STL. STEEL | | 0-00 ELEVATION HGT. DWG. NO. DWG. TITLE A1 DRAWING SCALE A1 ENCL. TITLE | | | | | | | | | | | | | | Address: 1050 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30281 Architect: Geheber Lewis Assoc. Phone: 404.228.1958 Address: 648 11th St. Atlanta, Georgia 30318 Applicant: MCF Investments Phone: (214) 619-8930 Address: 15700 S.H. 121 Pritchett, Texas 75036 Scale: AS NOTED Date: 08/28/2018 Drawn By: BT |
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| COMMERCIAL TRACT LANDSCAPE DATA | |
|--|--|
| LANDSCAPE PERIMETER TREES ADJACENT TO MAJOR OR MINOR THOROUGHFARE: | |
| ONE ROW OF 3" CALIPER TREE EVERY 30 FEET O.C. | 110 TREES REQUIRED 112 TREES PROVIDED |
| SURFACE PARKING SPACES: 1,561 SPACES (NOT INCL. PARALLEL SPACES) | |

THIS TABLE IS NOT UPDATED FOR LOT 15 AND LOT 16 CHANGES



- SECURITY GATE
- ⊙ 3" CALIPER TREE-TYPE I
- ⊗ 3" CALIPER EVERGREEN TREE-TYPE II
- 15 GALLON SHRUB

Note: The minimum requirements for perimeter landscaping and parking terminus landscaping islands will be provided at the time of Site Plan, subject to Park and Recreation Department approval.

U.S. HIGHWAY 380
(UNIVERSITY DRIVE)



Owner:
GF3 Partnership, LLC
Contact: Michael C. Fannin
15700 State Highway 121
Frisco, Texas 75035
972.747.9233
mcfannin@gmail.com

Job #: 17173.02
File Name: LandscapeSite-2018-1016.dwg
Date: 10/30/18
Drawn by: BEM, RR, PA

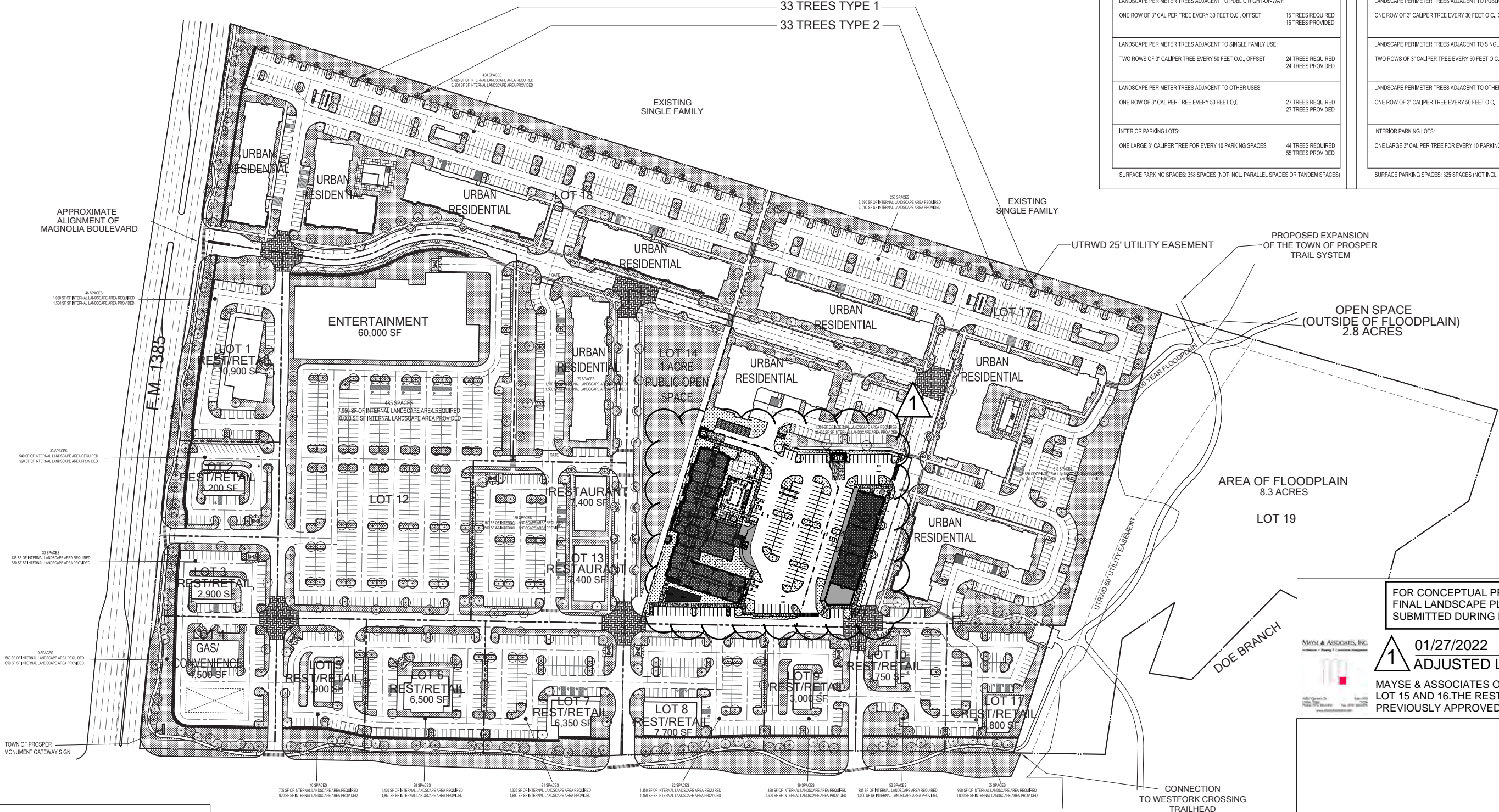


PLANNING

Dallas | Fort Worth | Austin

EXHIBIT "G"

US 380 / FM 1385 NEC
Prosper, Texas
63.905 Acres



| MULTIFAMILY TRACT 1 LANDSCAPE DATA | MULTIFAMILY TRACT 2 LANDSCAPE DATA |
|---|--|
| LANDSCAPE PERIMETER TREES ADJACENT TO PUBLIC RIGHT-OF-WAY: ONE ROW OF 3" CALIPER TREE EVERY 30 FEET O.C., OFFSET 15 TREES REQUIRED 16 TREES PROVIDED | LANDSCAPE PERIMETER TREES ADJACENT TO PUBLIC RIGHT-OF-WAY: ONE ROW OF 3" CALIPER TREE EVERY 30 FEET O.C., OFFSET 0 TREES REQUIRED 0 TREES PROVIDED |
| LANDSCAPE PERIMETER TREES ADJACENT TO SINGLE FAMILY USE: TWO ROWS OF 3" CALIPER TREE EVERY 50 FEET O.C., OFFSET 24 TREES REQUIRED 24 TREES PROVIDED | LANDSCAPE PERIMETER TREES ADJACENT TO SINGLE FAMILY USE: TWO ROWS OF 3" CALIPER TREE EVERY 50 FEET O.C., OFFSET 17 TREES REQUIRED 17 TREES PROVIDED |
| LANDSCAPE PERIMETER TREES ADJACENT TO OTHER USES: ONE ROW OF 3" CALIPER TREE EVERY 50 FEET O.C. 27 TREES REQUIRED 27 TREES PROVIDED | LANDSCAPE PERIMETER TREES ADJACENT TO OTHER USES: ONE ROW OF 3" CALIPER TREE EVERY 50 FEET O.C. 27 TREES REQUIRED 36 TREES PROVIDED |
| INTERIOR PARKING LOTS: ONE LARGE 3" CALIPER TREE FOR EVERY 10 PARKING SPACES 44 TREES REQUIRED 55 TREES PROVIDED | INTERIOR PARKING LOTS: ONE LARGE 3" CALIPER TREE FOR EVERY 10 PARKING SPACES 41 TREES REQUIRED 70 TREES PROVIDED |
| SURFACE PARKING SPACES: 358 SPACES (NOT INCL. PARALLEL SPACES OR TANDEM SPACES) | |
| SURFACE PARKING SPACES: 325 SPACES (NOT INCL. PARALLEL SPACES OR TANDEM SPACES) | |

Z22-0001
EXHIBIT C
DEVELOPMENT STANDARDS
WESTSIDE

Conformance with the Town's Zoning Ordinance and Subdivision Ordinance: Except as otherwise set forth in these Development Standards, the regulations of the Town's Zoning Ordinance, as it exists or may be amended, and the Subdivision Ordinance, as it exists or may be amended, shall apply.

Tract A – Retail District

- A1. Except as noted below, the Tract shall develop in accordance with the Retail District as it exists or may be amended.
- A2. Uses. Uses shall be permitted in accordance with the Retail District with the exception of the following:

Permitted Uses

1. Restaurant (with Drive-Through)
 - a. A restaurant with drive-through shall be permitted by right in accordance with the Conditional Development Standards, outlined in the Zoning Ordinance. A maximum of two (2) noncontiguous drive-through restaurants shall be permitted along US 380, and a maximum of two (2) drive-through restaurants shall be permitted along FM 1385, as shown on Exhibit D.
2. Hotel, ~~Limited Service~~Extended Stay
 - a. ~~A maximum of two (2) limited service~~Extended stay hotels shall be permitted by right on the subject property, as shown on Exhibit D, and shall otherwise be permitted in accordance with the Conditional Development Standards, outlined in the Zoning Ordinance.

Prohibited Uses:

1. Athletic Stadium or Field, Public
 2. Automobile Parking Lot/Garage
 3. Automobile Paid Parking Lot/Garage
 4. Recycling Collection Point
 5. School District Bus Yard
- A3. Regulations. Regulations shall be permitted in accordance with the Retail District with the exception of the following:
1. Maximum Height
 - a. Commercial Amusement, Indoor: Two (2) stories, no greater than fifty (50) feet at the parapet height, with an additional twenty (20) feet above the parapet for a marquee.
 - b. Hotel, ~~Limited Service~~Extended Stay: Five (5) stories, no greater than seventy-five (75) feet.
 - i. Minimum height of four (4) stories.
- A4. Design Guidelines
1. Elevation Review and Approval
 - a. Conceptual Elevations, conforming to Exhibit F, shall be submitted at the time of Preliminary Site Plan, subject to approval by the Planning & Zoning Commission.

- b. Detailed Façade Plans conforming to the Conceptual Elevations shall be submitted for each building at the time of Site Plan, subject to approval by the Planning & Zoning Commission. Façade Plans for the ~~Limited Service~~Extended Stay Hotels and the Indoor Commercial Amusement uses shall also be subject to Town Council approval.

2. Architectural Standards

- a. At least eighty percent (80%) of each building's façade (excluding doors and windows) shall be finished in one of the following materials: Masonry (brick or stone)
 - i. Commercial Amusement, Indoor may utilize architectural finished concrete as a primary masonry material, and may be used for up to one hundred percent (80%) of a building elevation, as shown on Exhibit F. In addition, a maximum of ten percent (10%) secondary material, and minimum of ten percent (10%) stone, per elevation, shall be required for Commercial Amusement, Indoor.
 - ~~ii. Limited Service Hotels may utilize sintered stone as a primary masonry material, as shown on Exhibit F.~~
- b. For retail/restaurant uses, no more than thirty percent (30%) of each façade elevation shall use wood-based high pressure laminate (i.e. Prodema, Trespa, CompactWood), as shown on Exhibit F.
- c. No more than fifteen percent (15%) of each façade elevation may use a combination of accent materials such as cedar or similar quality decorative wood, architectural metal panel, tile, stucco, or Exterior Insulating Finishing System (EIFS). Stucco and EIFS may only be used eight feet (8') above the ground floor and is prohibited on all building elevations with the exception of its use for exterior trim and molding features. Commercial Amusement, Indoor shall be limited to a maximum ten percent (10%).
- d. Architectural embellishments not intended for human occupancy that are integral to the architectural style of the buildings, including spires, belfries, towers, cupolas, domes, marquees and roof forms whose area in plan is no greater than fifteen percent (15%) of the ground floor footprint may exceed the height limits by up to ten feet (10').
- e. No single material shall exceed eighty percent (80%) percent of an elevation area. Except for Commercial Amusement, Indoor, a minimum of twenty percent (20%) of the front façade and all facades facing public right-of-way shall be natural or manufactured stone. A minimum of ten percent (10%) of all other facades shall be natural or manufactured stone. Commercial Amusement, Indoor shall require a minimum ten percent (10%) stone, per elevation.
 - i. All buildings shall be designed to incorporate a form of architectural articulation every thirty feet (30'), both horizontally along each wall's length and vertically along each wall's height. Acceptable articulation may include the following:
 - ii. Canopies, awnings, or porticos;
 - iii. Recesses/projections;
 - iv. Arcades;
 - v. Arches;
 - vi. Display windows, including a minimum sill height of thirty (30) inches;
 - vii. Architectural details (such as tile work and moldings) integrated into the building facade;
 - viii. Articulated ground floor levels or base;
 - ix. Articulated cornice line;
 - x. Integrated planters or wing walls that incorporate landscape and sitting areas;
 - xi. Offsets, reveals or projecting rib used to express architectural or structural bays; or
 - xii. Varied roof heights;

- f. All buildings shall be architecturally finished on all four (4) sides with same materials, detailing, and features.
- g. Except for the Commercial Amusement, Indoor, all primary and secondary exterior building materials (exclusive of glass) shall be of natural texture and shall be neutrals, creams, or other similar, non-reflective earth tone colors. Bright, reflective, pure tone primary or secondary colors, such as red, orange, yellow, blue, violet, or green are not permitted.
- h. Corporate identities that conflict with the building design criteria shall be reviewed on a case-by-case basis and approved by the Director of Development Services or his/her designee. The applicant may appeal the decision to the Planning & Zoning Commission and Town Council using the appeal procedure in Chapter 4, Section 1 of the Town's Zoning Ordinance.
- i. Exposed conduit, ladders, utility boxes, and drain spouts shall be painted to match the color of the building or an accent color. Natural metal finishes (patina) are an acceptable alternative to paint.
- j. All retail/commercial buildings with facades greater than two hundred feet (200') in length shall incorporate wall plane projections or recesses that are at least six feet (6') deep. Projections/recesses must be at least twenty five percent (25%) of the length of the facade. Except for Commercial Amusement, Indoor, no uninterrupted length of facade may exceed one hundred feet (100') in length.

3. Windows and Doors

- a. All ground floor front facades of buildings along streets or public ways with on-street parking or that face directly onto Open Space and contain non-residential uses shall have transparent storefront windows covering no less than thirty percent (30%) of the façade area. Hotels shall have no less than ten percent (10%) of the façade.
 - i. Clear glass is required in all non-residential storefronts. Smoked, reflective, or black glass that blocks two-way visibility is only permitted above the first story. Windows shall have a maximum exterior visible reflectivity of thirty percent (30%).

~~b. At the time of Site Plan in conjunction with the detailed Façade Plans for a Limited Service Hotel, window detailing shall be provided, including but not limited to articulations, recesses, and/or projections.~~

4. Awning, Canopies, Arcades, and Overhangs

- a. Awnings shall not be internally illuminated.
- b. Canopies shall not exceed one hundred linear feet (100') without a break of at least five feet (5').
- c. Awnings and canopies shall not extend beyond ten feet (10') from the main building façade.

A5. Additional Standards

1. Open Space

- a. Urban Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of one (1) acre of useable land area that will serve as the central park to the commercial development. A minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Rural Open Space; a minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Glenbrooke neighborhood via Kent Drive. Gates and/or fencing on any pedestrian or vehicular way accessing Kent Drive shall be prohibited.

- ii. The urban park open space shall be constructed at the time of construction of phase 1. The urban park open space shall be constructed at the developer's cost.
 - iii. The hike and bike trail system and trailhead shall be constructed at the time of construction of phase 1B. The hike and bike trail system shall be constructed at the developer's cost.
 - b. Rural Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of nine (9) acres of useable land area that will serve the greater community with both active and passive open space.
 - c. Combined Urban Open Space and Rural Open Space shall collectively satisfy all Open Space requirements for both Tract A and Tract B as required by the Town of Prosper Zoning Ordinance.
2. Landscape Screening and Buffering
- a. A thirty-foot (30') landscape easement shall be required along roadways when an adjacent building sides or backs the road. The landscape buffer shall consist of a minimum three-foot (3') foot berm.
 - b. A minimum of twenty feet (20') of landscape easement shall be exclusive of all utility easements, right turn lanes, drainage easements, and rights-of-way. None of the required trees and/or shrubs shall be located within any utility easement.
 - c. A minimum ten-foot (10') landscape buffer is required adjacent to Urban and Rural Open Space.
 - d. Berming shall be required behind the Entertainment/Indoor Commercial Amusement structure located in Phase 2A as reflected on the Phasing Diagram.
3. Lot Frontage
- a. Lots are not required to front on a public right-of-way, provided an access easement is established by plat prior to issuance of a Certificate of Occupancy (CO) for any building on a lot not fronting on right-of-way.
4. Parking Requirement
- ~~a.~~ Hotel, Extended Stay: One (1) parking space, equivalent to seventy-five percent (75%) of the total number of rooms/keys provided.
 - a. Parking spaces for Lots 15 and 16 may be shared, provided the minimum requirements per the zoning ordinance and herein are met.



Prosper is a place where everyone matters.

RESULTS

Agenda

Prosper Town Council Meeting
Council Chambers
Prosper Town Hall
250 W. First Street, Prosper, Texas
Tuesday, February 22, 2022
5:45 PM

Notice Regarding Public Participation

Welcome to the Prosper Town Council. Individuals may attend the meeting in person, or access the meeting via videoconference, or telephone conference call.

Join the Zoom Meeting by clicking on the following link: <https://us02web.zoom.us/j/87047432329>

To join the meeting by phone, dial (346) 248-7799

Enter Meeting ID: 870 4743 2329

Addressing the Town Council:

Those wishing to address the Town Council must complete the [Public Comment Request Form](#) located on the Town website or in Council Chambers.

If you are attending in person, please submit this form to the Town Secretary prior to the meeting. When called upon, please come to the podium and state your name and address for the record.

If you are attending online/virtually, please submit this form to the Town Secretary prior to 5:00 p.m. on the day of the meeting. Please ensure your full name appears on the screen and you are unmuted so the meeting moderator can recognize you and allow you to speak. The Chat feature is not monitored during the meeting. The Town assumes no responsibility for technical issues that are beyond our control.

If you encounter any problems joining or participating in the meeting, please call our help line at 972-569-1191 for assistance.

Call to Order/ Roll Call.

Invocation, Pledge of Allegiance and Pledge to the Texas Flag.

Announcements of recent and upcoming events.

Presentations.

1. Receive a Parks and Recreation Department update. (DB)

CONSENT AGENDA: APPROVED 7-0

Items placed on the Consent Agenda are considered routine in nature and non-controversial. The Consent Agenda can be acted upon in one motion. Items may be removed from the Consent Agenda by the request of Council Members or staff.

2. Consider and act upon the minutes from the February 8, 2022, Town Council meeting. (MLS)
3. Consider and act upon the minutes from the February 11, 2022, Town Council Work Session meeting. (MLS)
4. Consider and act upon the minutes from the February 12, 2022, Town Council Work Session meeting. (MLS)
5. Consider and act upon authorizing the Town Manager to execute a Professional Services Agreement between Kimley-Horn and Associates, Inc., and the Town of Prosper, Texas, related to the design of Legacy Drive from Prairie Drive to Fishtrap Road project. (HW)
6. Consider and act upon authorizing the Town Manager to execute a Professional Services Agreement between Spiars Engineering, Inc., and the Town of Prosper, Texas, related to the design of the Teel Parkway from US 380 to Fishtrap Road project. (HW)
7. Consider and act upon authorizing the Town Manager to execute a Professional Services Agreement between Garver, LLC, and the Town of Prosper, Texas, related to the design of the Coleman Street from Gorgeous Road to Prosper Trail and Coleman Street from Prosper Trail to Talon Lane/Amberly Lane projects. (HW)
8. Consider and act upon approving the purchase and installation of furniture for the Engineering Services Department and Development Services Department, from Workspace Interiors by Office Depot, through the Omnia Partners Cooperative; and authorizing the Town Manager to execute the Proposal and Terms and Conditions of Purchase for same. (DH)
9. Consider and act upon receiving the 2021 Annual Racial Profiling Report for the Prosper Police Department as required by state law. (DK)
10. Consider and act upon whether to direct staff to submit a written notice of appeal on behalf of the Town Council to the Development Services Department, pursuant to Chapter 4, Section 1.5(C)(7) and 1.6(B)(7) of the Town's Zoning Ordinance, regarding action taken by the Planning & Zoning Commission on any Site Plan or Preliminary Site Plan, including Prosper Business Park, Shops at Prosper Trail, and Prosper Center. (AG)

CITIZEN COMMENTS

The public is invited to address the Council on any topic. However, the Council is unable to discuss or take action on any topic not listed on this agenda. Please complete a "Public Comment Request Form" and present it to the Town Secretary prior to the meeting.

REGULAR AGENDA:

If you wish to address the Council, please fill out a "Public Comment Request Form" and present it to the Town Secretary, preferably before the meeting begins. Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Council for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may either address the Council during the Citizen Comments portion of the meeting or when the item is considered by the Town Council.

Possibly direct Town staff to schedule topic(s) for discussion at a future meeting.

EXECUTIVE SESSION:

Recess into Closed Session in compliance with Section 551.001 et seq. Texas Government Code, as authorized by the Texas Open Meetings Act, to deliberate regarding:

Section 551.087 – To discuss and consider economic development incentives.

Section 551.072 – To discuss and consider purchase, exchange, lease or value of real property for municipal purposes and all matters incident and related thereto.

Section 551.074 – To discuss and consider personnel matters and all matters incident and related thereto.

Section 551.074 - To discuss and consider the Town Manager's performance review.

Section 551.071 - To consult with the Town Attorney regarding Intergovernmental Agreement between the Town and the US Government, and all matters incident and related thereto.

Reconvene in Regular Session and take any action necessary as a result of the Closed Session.

Adjourn.

CERTIFICATION

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted at Prosper Town Hall, located at 250 W. First Street, Prosper, Texas 75078, a place convenient and readily accessible to the general public at all times, and said Notice was posted by 5:00 p.m., on Friday, February 18, 2022, and remained so posted at least 72 hours before said meeting was convened.

Michelle Lewis Sirianni, Town Secretary

Date Notice Removed

Pursuant to Section 551.071 of the Texas Government Code, the Town Council reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

NOTICE

Pursuant to Town of Prosper Ordinance No. 13-63, all speakers other than Town of Prosper staff are limited to three (3) minutes per person, per item, which may be extended for an additional two (2) minutes with approval of a majority vote of the Town Council.

NOTICE OF ASSISTANCE AT PUBLIC MEETINGS: The Prosper Town Council meetings are wheelchair accessible. For special services or assistance, please contact the Town Secretary's Office at (972) 569-1011 at least 48 hours prior to the meeting time.