



AGENDA
Regular Meeting of the
Prosper Planning & Zoning Commission
Prosper Town Hall
Council Chambers
250 W. First Street, Prosper, Texas
Tuesday, August 16, 2022, 6:00 p.m.

Notice Regarding Public Participation

Welcome to the Planning & Zoning Commission meeting. Individuals may attend the meeting in person, or access the meeting via videoconference, or telephone conference call.

To access the videoconference online, follow these instructions:

Join the Zoom Meeting by clicking on the following link:

<https://us02web.zoom.us/j/86944373392>

Enter Meeting ID: 869 4437 3392

To request to speak, click on "Participants" at the bottom of the screen, and click "Raise Hand." The meeting moderator will acknowledge your request and allow you to speak.

To join the meeting by phone, dial any one of the following numbers: +1 346 248 7799

Enter Meeting ID: 869 4437 3392

To request to speak, enter *9. The meeting moderator will acknowledge your request and allow you to speak.

Addressing the Planning & Zoning Commission:

- Those wishing to address the Commission must complete the [Public Comment Request Form](#) located on the Town website or in Council Chambers.
- **If you are attending in person**, please submit this form to the Board Chair or a staff member prior to the meeting. When called upon, please come to the podium and state your name and address for the record.
- **If you are attending online/virtually**, please submit this form prior to 5:00 p.m. on the day of the meeting. Please ensure your full name appears on the screen and you are unmuted so the meeting moderator can recognize you and allow you to speak. The Chat feature is not monitored during the meeting. The Town assumes no responsibility for technical issues that are beyond our control.

If you encounter any problems joining or participating in the meeting, please call our help line at 972-569-1191 for assistance.

Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may address the Commission when the item is considered by the Planning & Zoning Commission.

1. Call to Order / Roll Call
2. Pledge of Allegiance

3. CONSENT AGENDA

(Items placed on the Consent Agenda are considered routine in nature and are considered non-controversial. The Consent Agenda can be acted upon in one motion. A Planning & Zoning Commissioner may remove any item for discussion and separate action. Planning & Zoning Commissioners may vote nay on any single item without comment and may submit written comments as part of the official record.)

- 3a.** Consider and act upon minutes from the July 19, 2022, Planning & Zoning Commission Regular meeting.
- 3b.** Consider and act upon a Preliminary Site Plan for a House of Worship, on 11.8± acres, located on the south side of First Street, west of Custer Road. The property is zoned Planned Development-90 (PD-90). (D22-0059).
- 3c.** Consider and act upon a Conveyance Plat for Teel 380 Addition, Block A, Lots 1-8, on 21.9± acres, located on the northwest corner of US 380 and Teel Parkway. The property is zoned Planned Development-40 (PD-40) (D22-0070).
- 3d.** Consider and act upon a Site Plan for an existing Temporary Building at First Baptist Prosper, on 8.5± acres, located on the east side of Church Street, south of First Street. The property is zoned Single Family-15 (SF-15). (D19-0031).
- 3e.** Consider and act upon a Site Plan for three (3) Temporary Buildings at Bryant Elementary School, on 10.0± acres, located on the north side of Freeman Way, west of Teel Parkway. This property is zoned Planned Development-40 (PD-40). (D20-0034).

CITIZEN COMMENTS

The public is invited to address the Planning & Zoning Commission on any topic. However, the Commission is unable to discuss or take action on any topic not listed on this agenda. Please complete a "Public Comment Request Form" and present it to the Development Services Department prior to the meeting.

REGULAR AGENDA

If you wish to address the Planning & Zoning Commission, please fill out a "Public Meeting Appearance Card" and present it to the Chair, preferably before the meeting begins. Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Planning & Zoning Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may address the Commission when the item is considered by the Planning & Zoning Commission.

- 4.** Conduct a Public Hearing, and consider and act upon a request for a Specific Use Permit (SUP) for a Private Street Development, on 16.4± acres, located on the south side of First Street, east of Coit Road (S22-0008).
- 5.** Conduct a Public Hearing, and consider and act upon a request to rezone 7.9± acres from Office (O) to Planned Development-Office (PD-O), generally to modify the development standards to facilitate an office/retail development, including drive-through coffee shop as a permitted use, located on the northwest corner of Preston Road and Coleman Road. (Z21-0013).
- 6.** Conduct a Public Hearing, and consider and act upon a request to rezone 11.3+- acres of Commercial (C) to Planned Development-Commercial (PD-C) to allow uses such as

luxury office/warehouse, automobile storage, and recreational vehicle parking, located on the west side of Coleman Street, south of Prosper Trail. (Z22-0008).

7. Conduct a Public Hearing, and consider and act upon a request to rezone 5.6± acres from PD-21 and Single Family-15 (SF-15) to a new Planned Development-Office/Retail (PD-O/R) for office and retail uses, located on the west side of Preston Road north of Broadway Street. (Z22-0014).
8. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.
9. Adjourn.

Note: The order in which items are heard on the agenda is subject to change.

CERTIFICATION

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted at Prosper Town Hall, located at 250 W. First Street, Prosper, Texas 75078, a place convenient and readily accessible to the general public at all times, and said Notice was posted by 5:00 p.m., on Friday, August 12, 2022, and remained so posted at least 72 hours before said meeting was convened.

Michelle Lewis Sirianni, Town Secretary

Date Notice Removed

Pursuant to Section 551.071 of the Texas Government Code, the Town Council reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

NOTICE

Pursuant to Town of Prosper Ordinance No. 13-63, all speakers other than Town of Prosper staff are limited to three (3) minutes per person, per item, which may be extended for an additional two (2) minutes with approval of a majority vote of the Town Council.

<p>NOTICE OF ASSISTANCE AT PUBLIC MEETINGS: The Prosper Town Hall is wheelchair accessible. For special services or assistance, please contact the Town Secretary's Office at (972) 569-1011 at least 48 hours prior to the meeting time.</p>
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MINUTES
Regular Meeting of the
Prosper Planning & Zoning Commission
Prosper Town Hall
Council Chambers
250 W. First Street, Prosper, Texas
Tuesday, July 19, 2022, 6:00 p.m.

1. Call to Order / Roll Call

The meeting was called to order at 6:00 p.m.

Commissioners Present: Chair Brandon Daniel, Vice-Chair Sarah Peterson, Secretary Mike Pettis, Doug Charles, Sekou Harris, Damon Jackson and Tommy Van Wolfe

Staff Present: David Soto, Planning Manager; Doug Braches, Planning Technician

2. Recitation of the Pledge of Allegiance

3. CONSENT AGENDA

- 3a. Consider and act upon minutes from the July 5, 2022, Planning & Zoning Commission Regular meeting.**
- 3b. Consider and act upon a Site Plan for a House of Worship, on 5.4± acres, located on the south side of Denton Way, east of FM 1385. The property is zoned Agricultural (A). (D21-0111).**
- 3c. Consider and act upon a Conveyance Plat/Final Plat for North Texas Conference of the United Methodist Church Addition, Block A, Lots 1 and 2, on 9.9± acres, located on the south side of Denton Way, east of FM 1385. The property is zoned Agricultural (A). (D21-0112).**
- 3d. Consider and act upon a Final Plat for Prosper Center, Block B, Lot 3, on 5.6± acres, located on the north side of Prairie Drive, west of Mahard Parkway. The property is zoned Office (O). (D21-0132).**
- 3e. Consider and act upon a Preliminary Site Plan for a House of Worship, on 10.4± acres, located on the south side of Denton Way, east of FM 1385. The property is zoned Agricultural (A). (D22-0034).**
- 3f. Consider and act upon a Preliminary Plat OM Prosper Estates, for 10 single family residential lots and three (3) HOA/Open space lots, on 21.5± acres, located on the south side Frontier Parkway, between Coit Road and Custer Road. The property is located within our Extra-Territorial Jurisdiction (ETJ). (D22-0050).**
- 3g. Consider and act upon a Site Plan for a multi-tenant building, on 1.5± acres, located on the north side of Fishtrap Road, west of Legacy Drive. The property is zoned Planned Development-113 (PD-113). (D22-0052).**
- 3h. Consider and act upon a Final Plat for Mav Addition Block A, Lot 3R, on 1.5± acres, located on the north side of Fishtrap Road, west of Legacy Drive. The property is zoned Planned Development-113 (PD-113). (D22-0053).**

Motioned by Pettis, seconded by Jackson, to approve the Consent Agenda, subject to staff recommendations. Motion approved 7-0.

REGULAR AGENDA

- 4. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.**

Soto: Provided a summary of recent action taken by Town Council. Provided information for next Town Council work session on the topic of Drive-Throughs.

- 5. Adjourn.**

Motioned by Harris, seconded by Van Wolfe to adjourn. Motion approved 7-0 at 6:08 p.m..

Doug Braches, Planning Technician

Michael Pettis, Secretary



PLANNING

To: Planning & Zoning Commission

Item No. 3b

From: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – August 16, 2022

Agenda Item:

Consider and act upon a Preliminary Site Plan for a House of Worship, on 11.8± acres, located on the south side of First Street, west of Custer Road. The property is zoned Planned Development-90 (PD-90). (D22-0059).

Description of Agenda Item:

The Preliminary Site Plan is for a House of Worship consisting of 6,877 square feet. Access will be provided from First Street. The Preliminary Site Plan conforms to the Planned Development-90 (PD-90) development standards.

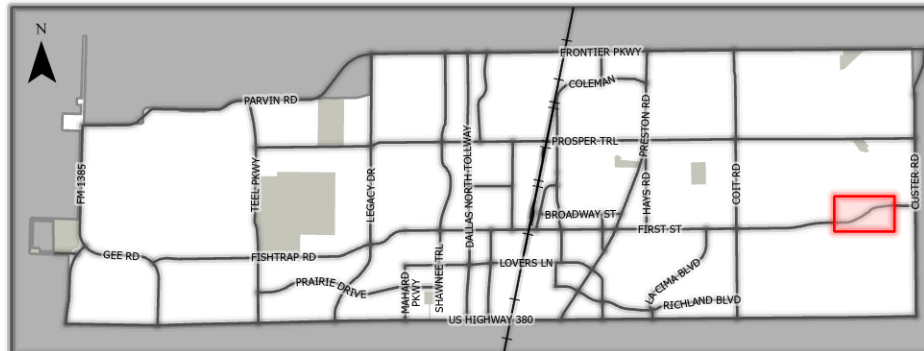
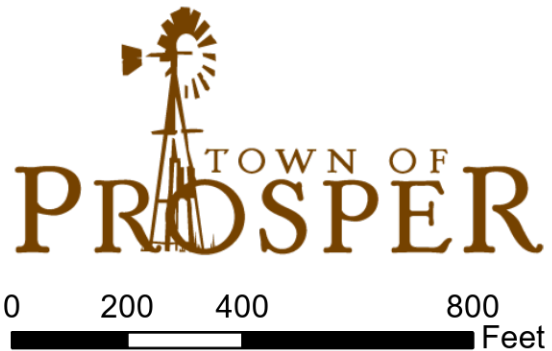
Attached Documents:

1. Location Map
2. Preliminary Site Plan

Staff Recommendation:

Staff recommends approval of the Preliminary Site Plan subject to:

1. Town staff approval of preliminary water, sewer, and drainage plans.
2. Town staff approval of all emergency access, fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

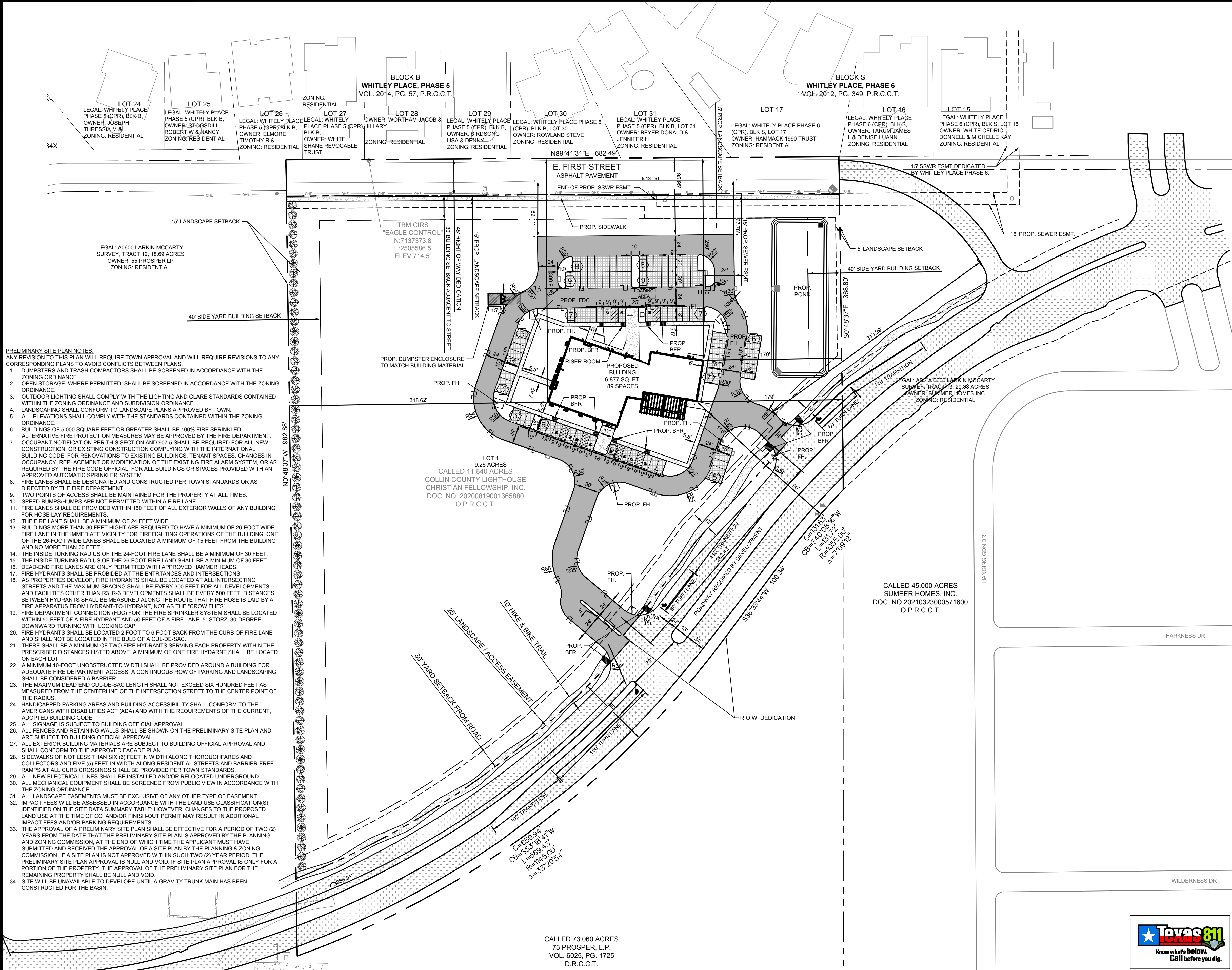


This map for illustration purposes only

D22-0059
Lighthouse Church

Preliminary Site Plan

PLOTTED BY: DREW DONOSKY
 PLOT DATE: 8/10/2022 4:38 PM
 LOCATION: Z:\PROJECTS\PROJECTS\2022-130 LIGHTHOUSE CHURCH PROSPER\CADD\SHEETS\PS.DWG
 LAST SAVED: 8/4/2022 2:00 PM



- PRELIMINARY SITE PLAN NOTES:
- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
1. DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 2. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 3. OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
 4. LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY TOWN.
 5. ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
 6. BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 7. OCCUPANT NOTIFICATION PER THIS SECTION AND 907.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION, OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE. FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL. FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
 8. FIRE LANES SHALL BE DESIGNATED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
 9. TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
 10. SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
 11. FIRE LANES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS.
 12. THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE.
 13. BUILDINGS MORE THAN 30 FEET HIGH ARE REQUIRED TO HAVE A MINIMUM OF 26-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIREFIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE LANES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET.
 14. THE INSIDE TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET.
 15. THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET.
 16. DEAD-END FIRE LANES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.
 17. FIRE HYDRANTS SHALL BE PROHIBITED AT THE ENTRANCES AND INTERSECTIONS.
 18. AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R3. R-3 DEVELOPMENTS SHALL BE EVERY 500 FEET. DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM HYDRANT-TO-HYDRANT, NOT AS THE "CROW FLYS".
 19. FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5" STORZ, 30-DEGREE DOWNWARD TURNING WITH LOCKING CAP.
 20. FIRE HYDRANTS SHALL BE LOCATED 2 FOOT TO 6 FOOT BACK FROM THE CURB OF FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC.
 21. THERE SHALL BE A MINIMUM OF TWO FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE PRESCRIBED DISTANCES LISTED ABOVE. A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT.
 22. A MINIMUM 10-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER.
 23. THE MAXIMUM DEAD END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS.
 24. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
 25. ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
 26. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE PRELIMINARY SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
 27. ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
 28. SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
 29. ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
 30. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
 31. ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
 32. IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
 33. THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING AND ZONING COMMISSION. AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
 34. SITE WILL BE UNAVAILABLE TO DEVELOPE UNTIL A GRAVITY TRUNK MAIN HAS BEEN CONSTRUCTED FOR THE BASIN.

SITE DATA SUMMARY													
LOT	ZONING	PROPOSED USE	LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	BLDG. AREA (SQ. FT.)	BLDG. HGT. (FT)	# OF STORIES	LOT COVERAGE				FLR AREA RATIO	
								REQ.	PROV.	REQ.	PROV.	REQ. RATIO	PROV.
PROPOSED LOT 1	PD-90	CHURCH	9.26	403,290	6,877	24'-6"	1	50% MAX	1.7%	0.5:1 MAX	0.02	CHURCH (1 PER 3 SEATS) 189 SEATS	63
													89
													4
													11
													79,944
													20%
													323,346
													80%

GRAPHIC SCALE

1 inch = 60 ft.

VICINITY MAP
N.T.S.

FLOODPLAIN NOTE

ACCORDING TO MAP NO. 48085C0255J, DATED 06/02/2009 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF COLLIN COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN NON-SHADED ZONE "X", (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN). IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

LEGEND

	STANDARD DUTY CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	FIRST STREET PAVEMENT BY OTHERS
	DUMPSTER AREA CONCRETE PAVEMENT
	SIDEWALK CONCRETE PAVEMENT
	PROPOSED CONCRETE CURB AND GUTTER
	PARKING COUNT
	FULL-DEPTH SAWCUT
	PROPOSED FIRE LANE STRIPPING

CASE #: D22-0059

ZONING DESCRIPTION:

PD-90

OWNER:

COLLIN COUNTY LIGHTHOUSE
CHRISTIAN FELLOWSHIP, INC.
4300 E. 1ST ST.
PROSPER, TX 75078
PH. 972.562.2500
JHOOK@LIGHTHOUSENTX.COM

CONTACT NAME: JEFF HOOK

APPLICANT:

CLAYMOORE ENGINEERING, INC.
301 S. COLEMAN ST.
PROSPER, TX 75078
PH. 817.281.0572

CONTACT NAME: MATT MOORE

SURVEYOR:

EAGLE SURVEYING, LLC
210 S. ELM ST., SUITE #104
DENTON, TX 76201
PH. 940.222.3009

CONTACT NAME: TYLER RANK

LEGAL DESCRIPTION:

ABS A0600 LARKIN MCCARTY
SURVEY, TRACT 59, 11.84 ACRES

CITY: PROSPER
STATE: TEXAS

COUNTY: COLLIN
SURVEY: LARKIN MCCARTY
ABSTRACT NO.: 600

DESIGN: ASD
DRAWN: SD
CHECKED: ASD
DATE: 8/10/2022

SHEET
SP-1

File No. 2022-130

TEXAS REGISTRATION #14199

CLAYMOORE

ENGINEERING

1903 CENTRAL DR., SUITE 400
BEDFORD, TX 76021
PHONE: 817.281.0572
WWW.CLAYMOOREENG.COM

PRELIMINARY

FOR REVIEW ONLY
Not for construction purposes.

CLAYMOORE ENGINEERING

ENGINEERING AND PLANNING
CONSULTANTS

Engineer: DREW DONOSKY
P.E. No. 125651, Date 8/10/2022

LIGHTHOUSE CHURCH
PROSPER, TX.

PRELIMINARY SITE PLAN



To: Planning & Zoning Commission

Item No. 3c

From: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – August 16, 2022

Agenda Item:

Consider and act upon a Conveyance Plat for Teel 380 Addition, Block A, Lots 1-8, on 21.9± acres, located on the northwest corner of US 380 and Teel Parkway. The property is zoned Planned Development-40 (PD-40) (D22-0070).

Description of Agenda Item:

The purpose of the Conveyance Plat for Teel 380 Addition, Block A, Lots 1-8, is to create eight lots. The plat conforms to Planned Development-40 (PD-40) development standards.

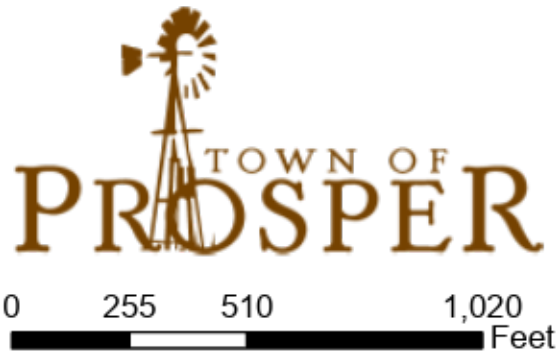
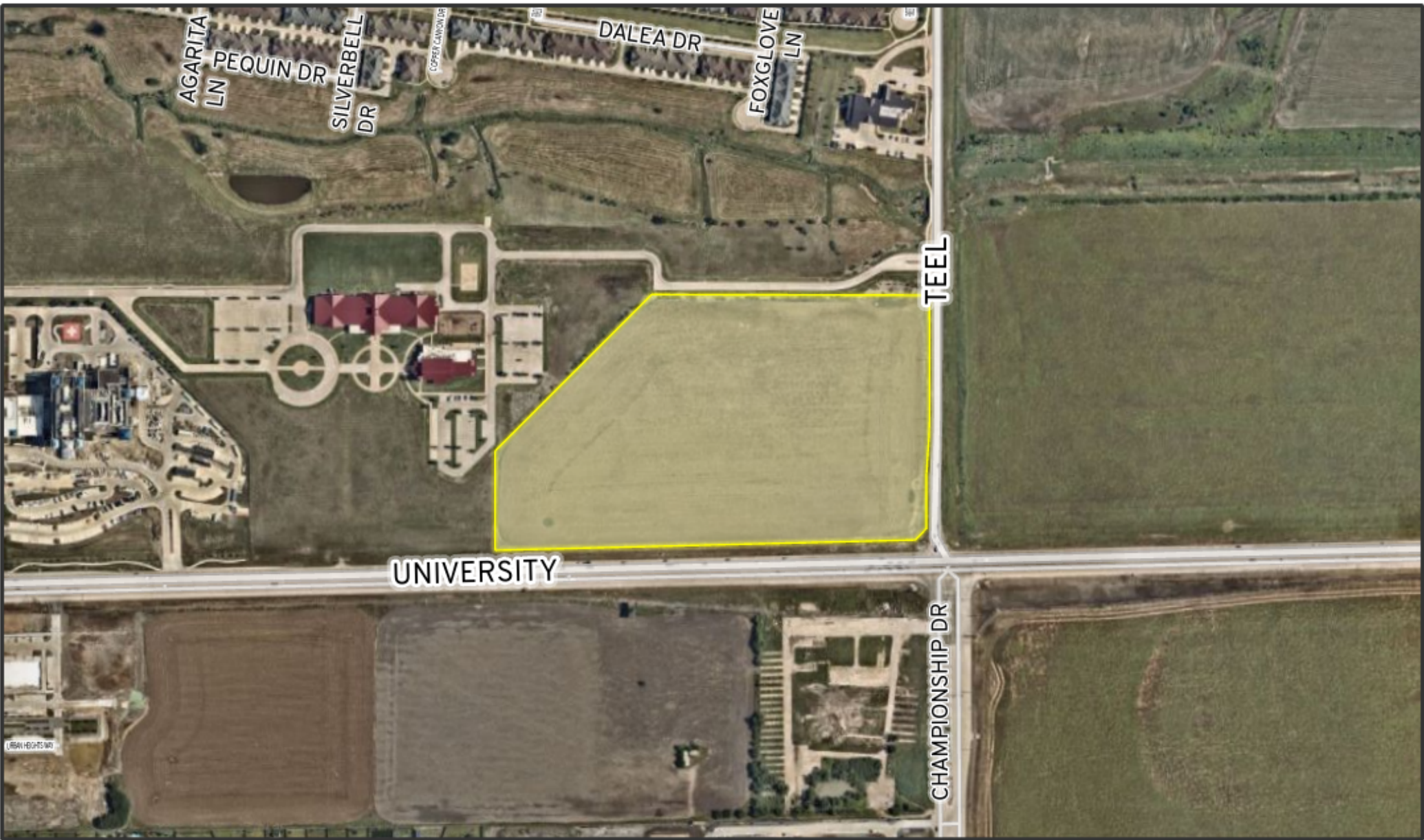
Attached Documents:

1. Location Map
2. Conveyance Plat

Staff Recommendation:

Staff recommends approval of Conveyance Plat, subject to:

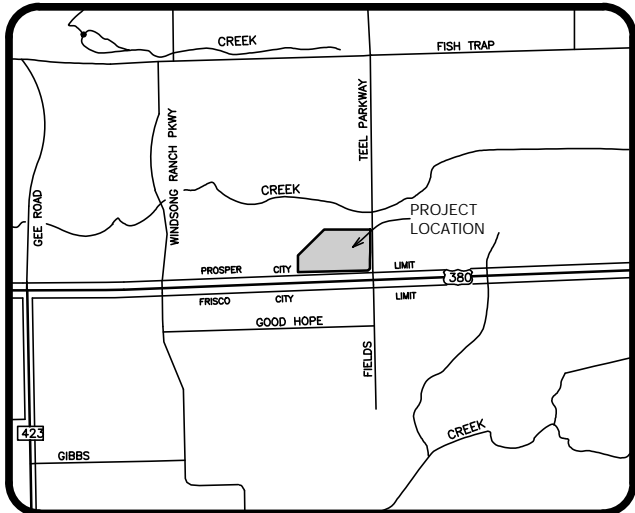
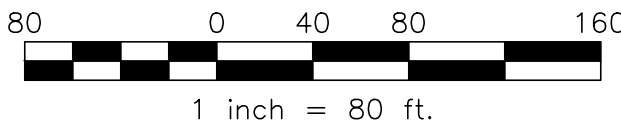
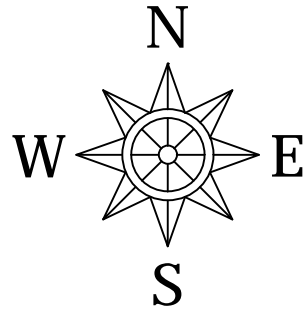
1. Town staff approval of all additions and/or alterations to the easements and dedications on the Conveyance Plat.



This map for illustration purposes only

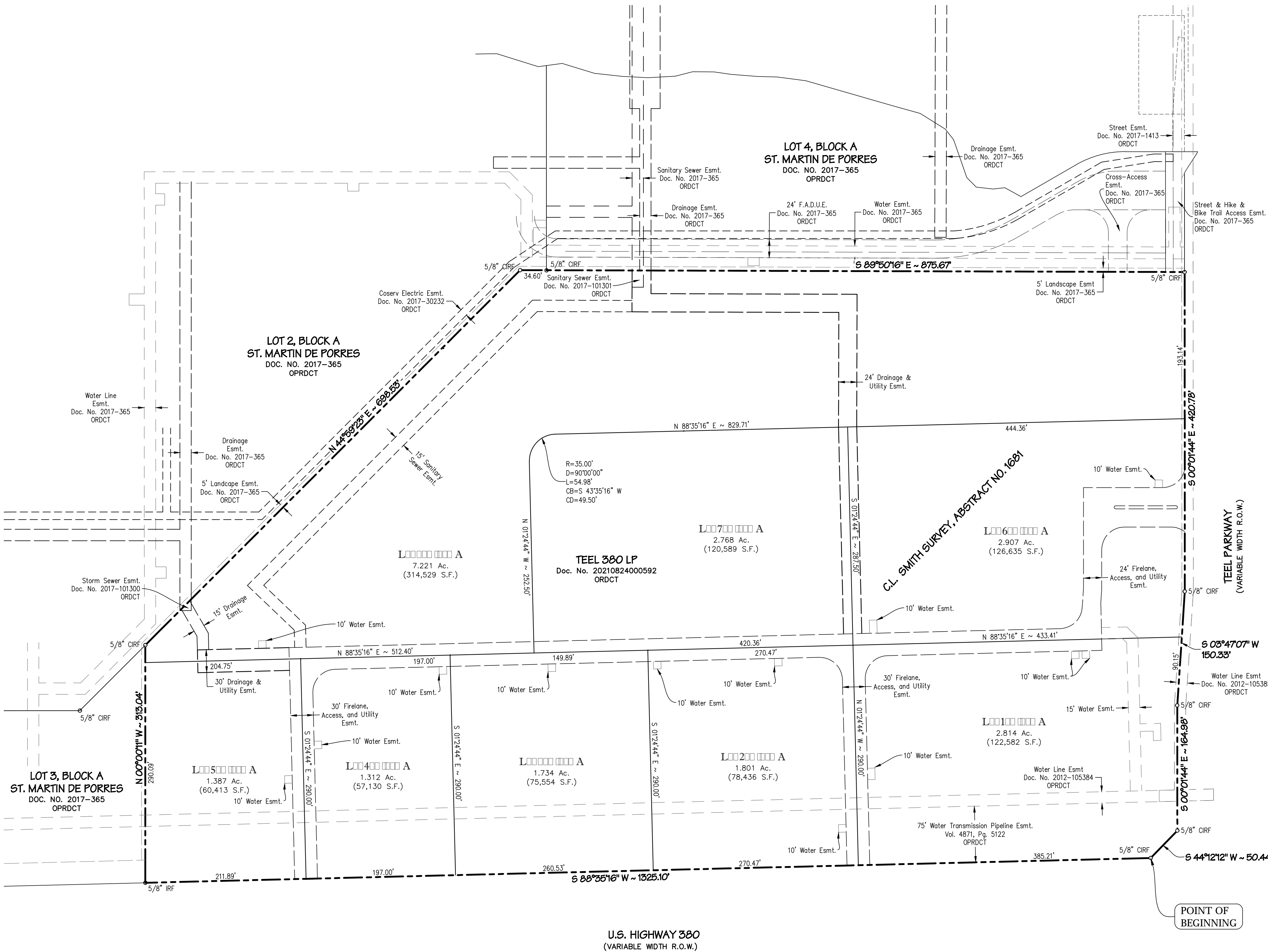
D22-0070
Teel 380 Addition

Conveyance Plat



LOCATION MAP
1" = 2000'

LEGEND	
(Not all items may be applicable)	
o	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPARSING" SET, UNLESS OTHERWISE NOTED
NOTE: IF UNABLE TO SET ACTUAL LOT CORNER, A 5 FOOT OFFSET IRON ROD MAY BE SET WITH A PINK PLASTIC CAP STAMPED "SPARSING-5' O/S PC".	
IRF	IRON ROD FOUND
CIRF	CAPPED IRON ROD FOUND
IPF	IRON PIPE FOUND
AMF	ALUMINUM MONUMENT FOUND
CM	CONTROL MONUMENT
Esmt.	EASEMENT
UHL	UTILITY
DE	DRAINAGE EASEMENT
DUE	DRAINAGE AND UTILITY EASEMENT
UE	UTILITY EASEMENT
WE	WATER EASEMENT
SSE	SANITARY SEWER EASEMENT
SE	SIDEWALK EASEMENT
STE	STREET EASEMENT
F.A.D.U.E.	FIRELANE, ACCESS, DRAINAGE & UTILITY EASEMENT
WME	WALL MAINTENANCE EASEMENT
HBE	HIKE & BIKE TRAIL EASEMENT
VAM	VISIBILITY, ACCESS & MAINTENANCE EASEMENT
(BTP)	BY THIS PLAT
R.O.W.	RIGHT-OF-WAY
Min. FF	MINIMUM FINISH FLOOR ELEVATION
BL	BUILDING LINE
◆	STREET NAME CHANGE
▲	BLOCK DESIGNATION
▶	STREET FRONTAGE
Cab.	CABINET
Vol.	VOLUME
Pg.	PAGE
No.	NUMBER
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FIRM	FLOOD INSURANCE RATE MAP
Ord. No.	ORDINANCE NUMBER
Inst./Doc.	INSTRUMENT OR DOCUMENT
DRDCT	DEED RECORDS, DENTON COUNTY, TEXAS
PRDCT	PLAT RECORDS, DENTON COUNTY, TEXAS
ORDCT	OFFICIAL RECORDS, DENTON COUNTY, TEXAS



- NOTES:
- This plat was prepared without the benefit of a commitment for title insurance. No research was performed for any easements other than that shown on the record plat of this property. Therefore, easements, agreements, and other documents may exist that affect the subject property that are not shown on this replat.
 - Basis of bearing: Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983. Adjustment Realization 2011.
 - Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
 - No floodplain exists on the site.

NOTICE:
A conveyance plat is a record of property approved by the Town of Prosper, Texas, for the purpose of sale or conveyance in its entirety or interest thereon defined. No building permit shall be issued nor permanent public utility service provided until a Final Plat is approved and public improvements approved in accordance with the provisions of the Subdivision Ordinance of the Town of Prosper.

STATE OF TEXAS
COUNTY OF DENTON

TEEL 380 LP is the owner of a tract of land situated in the C.L. Smith Survey, Abstract No. 1681, Town of Prosper, Denton County, Texas, being all of a tract conveyed to Teel 380 LP by deed recorded in Document No. 2021082400592 of the Official Records of Denton County, Texas, with the subject tract being more particularly described as follows:

BEGINNING at a 5/8 inch capped iron rod found at the south end of a corner clip at the intersection of the west right-of-way line of Teel Parkway (variable width right-of-way) and the north right-of-way line of U.S. Highway 380 (variable width right-of-way);

THENCE, S 88°35'16" W, 1325.10 feet to a 5/8 inch iron rod found at the southeast corner of Lot 3, Block A of St. Martin De Porres, an addition to the Town of Prosper, Denton County, Texas, according to the plat thereof recorded in Document No. 2017-365 of the Official Public Records of Denton County, Texas;

THENCE, N 00°00'11" W, 313.04 feet to a 5/8 inch capped iron rod found at the north corner of said Lot 3, Block A and lying in the southeast line of Lot 2, Block A of said St. Martin De Porres

THENCE, N 44°59'23" E, 698.53 feet to a 5/8 inch capped iron rod found;

THENCE, S 89°50'16" E, passing at a distance of 34.60 feet the southwest corner of Lot 4, Block A of said St. Martin De Porres, and continuing a total distance of 875.67 feet to a 5/8 inch capped iron rod found at the southeast corner of said Lot 4, Block A and lying in said west right-of-way line of Teel Parkway;

THENCE, S 00°01'44" E, 420.78 feet to a 5/8 inch capped iron rod found lying in said west right-of-way line of Teel Parkway;

THENCE, S 03°47'07" W, 150.33 feet to a 5/8 inch capped iron rod found lying in said west right-of-way line of Teel Parkway;

THENCE, S 00°01'44" E, 164.98 feet to a 5/8 inch capped iron rod found lying in said west right-of-way line of Teel Parkway at the north end of said corner clip at the intersection of the west right-of-way line of Teel Parkway and the north right-of-way line of U.S. Highway ;

THENCE, S 44°12'12" W, 50.44 feet to the POINT OF BEGINNING with the subject tract containing 955,868 square feet or 21.944 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That We, TEEL 380 LP, do hereby adopt this plat designating the hereinabove described property as TEEL 380 ADDITION, LOTS 1-8, BLOCK A, an Addition to the Town of Prosper, and do hereby dedicate to the public use forever the streets and alleys shown thereon and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strip for the purpose of constructing, reconstructing, inspecting, and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas.

Witness our hands at _____ County, Texas, this _____ day of _____, 2022.

TEEL 380 LP

By: Shiva Kondru, Manager

STATE OF TEXAS
COUNTY OF DENTON

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared _____ known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2022.

Notary Public, State of Texas

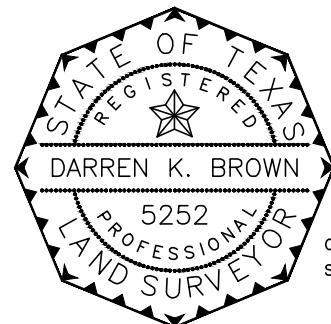
SURVEYOR'S CERTIFICATE

That I, Darren K. Brown, of Spiars Engineering, Inc., do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Prosper Texas.

Dated this _____ day of _____, 2022.

PRELIMINARY, THIS DOCUMENT
SHALL NOT BE RECORDED
FOR ANY PURPOSE

DARREN K. BROWN, R.P.L.S. NO. 5252



darren.brown@spiarsengineering.com

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Darren K. Brown, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2022.

Notary Public, State of Texas

CONVEYANCE PLAT

TEEL 380 ADDITION

LOTS 1-8, BLOCK A

SITUATED IN THE C.L. SMITH SURVEY, ABSTRACT NO. 1681
IN THE TOWN OF PROSPER, DENTON COUNTY, TEXAS

21.944 ACRES

CDR 20220801: PD40

TOWN OF PROSPER, TEXAS D22-0070

OWNER / APPLICANT
TEEL 380 LP

8668 John Hickman Parkway
Suite 907
Frisco, Texas 75034
Telephone (248) 345-3818
Contact: Shiva Kondru

ENGINEER / SURVEYOR
Spiars Engineering, Inc.

765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPLS No. F-2121 and No. F-10043100
Contact: David Bond

Scale: 1" = 80'

8/2/2022

SEI Job No. 21-152



PLANNING

To: Planning & Zoning Commission

Item No. 3d

From: Pamela Clark, Business System Specialist

Through: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – August 16, 2022

Agenda Item:

Consider and act upon a Site Plan for an existing Temporary Building at First Baptist Prosper, on 8.5± acres, located on the east side of Church Street, south of First Street. The property is zoned Single Family-15 (SF-15). (D19-0031).

Description of Agenda Item:

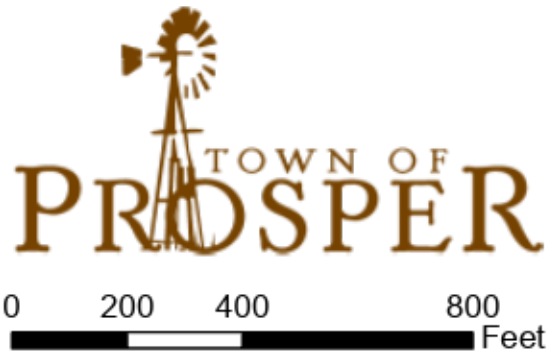
The Site Plan shows 17,182 square feet of church-related buildings, including an existing 5,146 square foot Temporary Building. The Site Plan for the Temporary Building was approved by the Planning & Zoning Commission on June 4, 2019 for a period of three (3) years. The applicant is requesting approval of an extension of the Site Plan to allow for the continued use of the Temporary Building for an additional one (1) year and has provided the attached letter outlining the basis for the request.

Attached Documents:

1. Location Map
2. Site Plan
3. Letter of Intent

Staff Recommendation:

Staff recommends approval of the Site Plan for the Temporary Building.

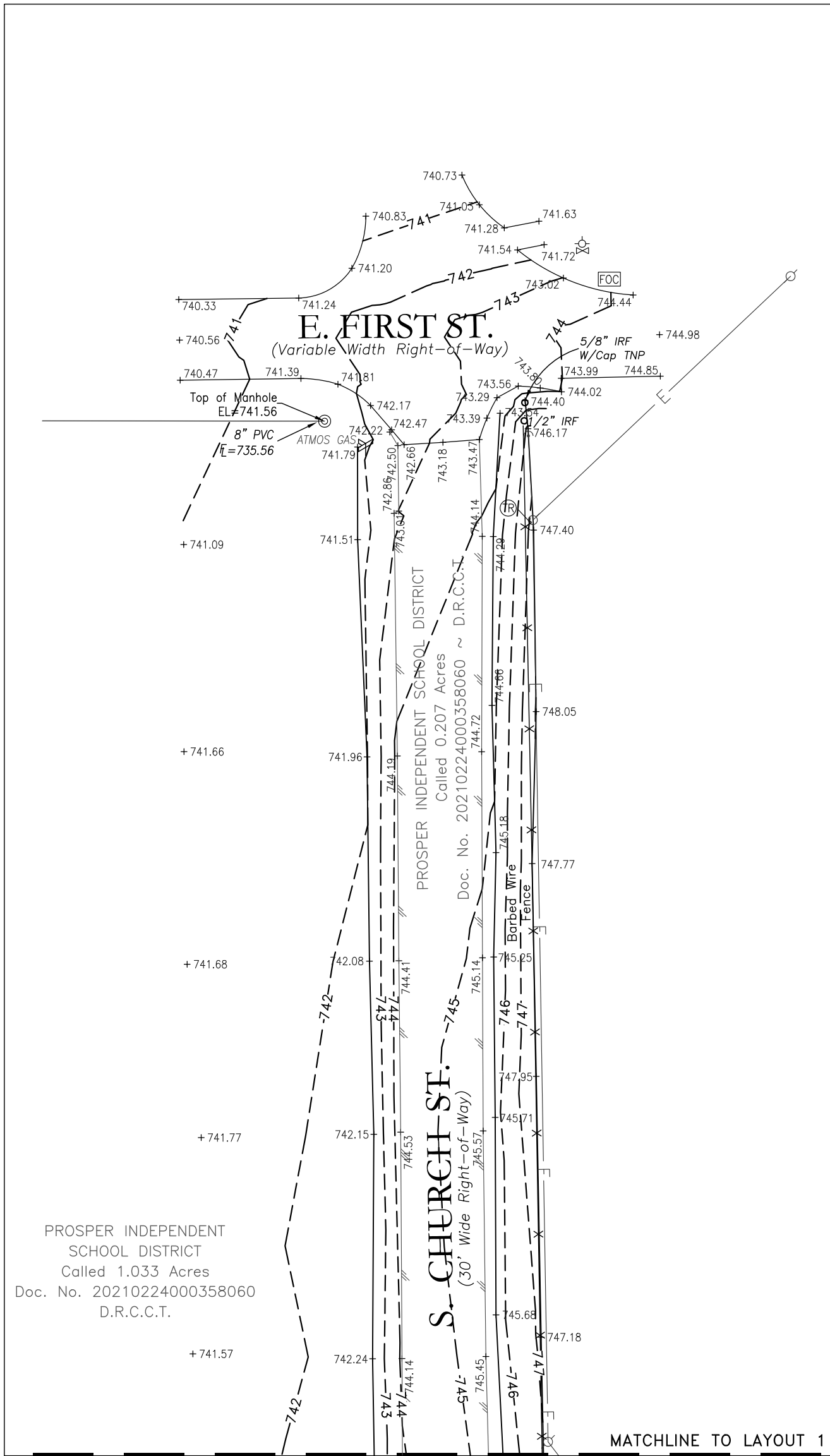


This map for illustration purposes only

D19-0031
First Baptist Temporary
Building
Site Plan

LAYOUT 1

Scale: 1" = 30'



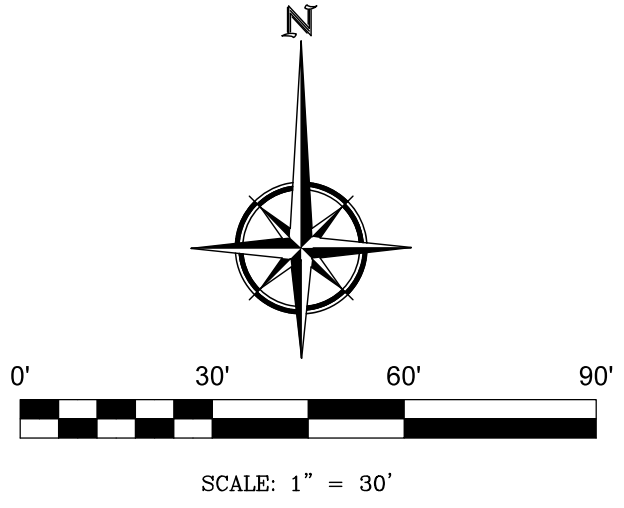
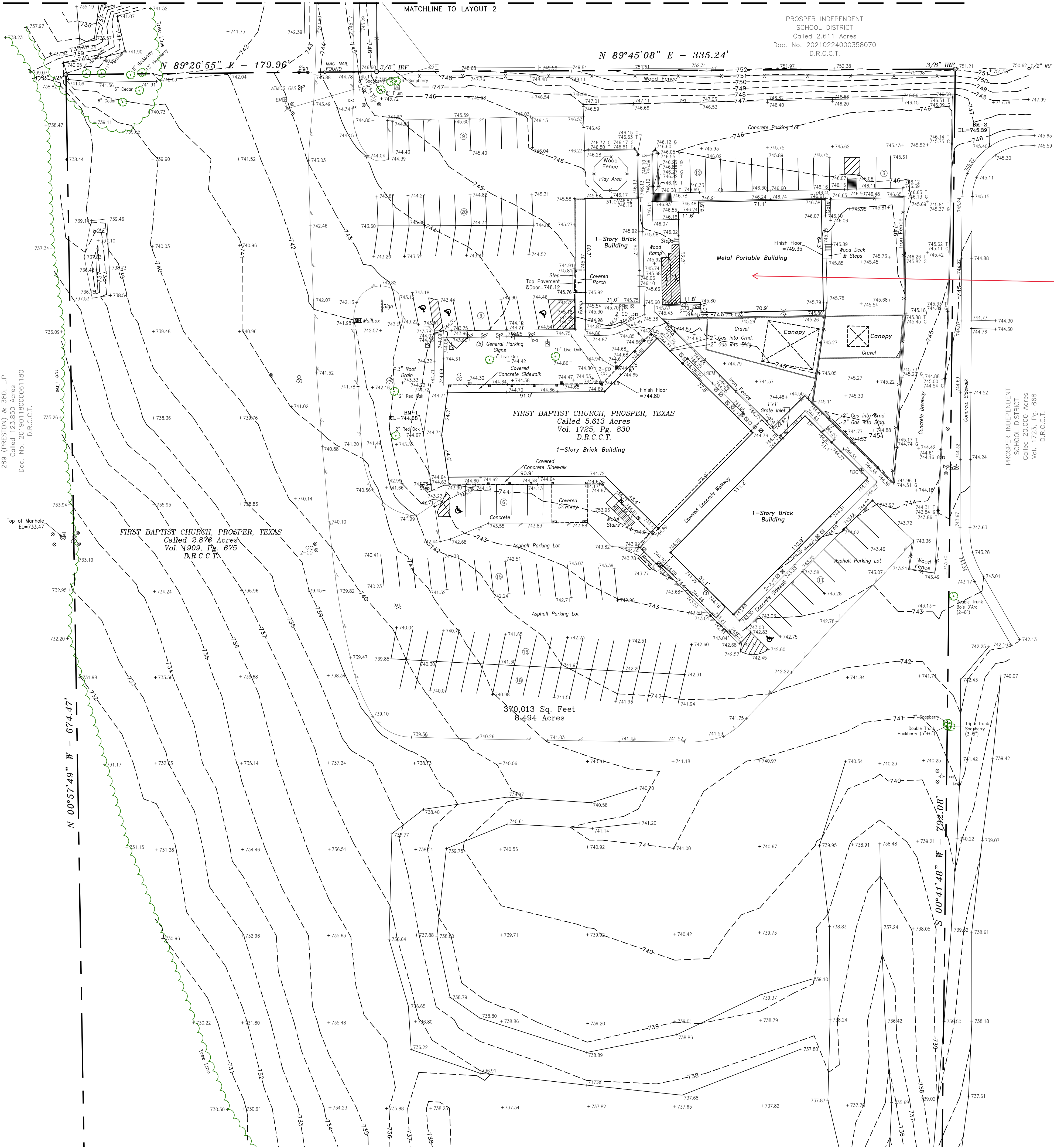
LEGEND

- FDC = FIRE DEPARTMENT CONNECTION
- = FIRE HYDRANT
- ▽ = WATER VALVE
- △ = WATER METER
- = POWER POLE
- ⊙ = GUY ANCHOR
- × = LIGHT STANDARD
- ⊠ = ELECTRIC BOX/METER (EM)
- EP = ELECTRIC PANEL
- ⊞ = AIR CONDITIONING UNIT
- ⊞ = GAS METER
- ⊞ = SANITARY SEWER MANHOLE
- ⊞ = SEWER CLEAN OUT
- ⊞ = TELEPHONE RISER
- ⊞ = UTILITY MARKER
- ⊞ = FIBER OPTIC CABLE BOX
- ⊞ = BUILDING COLUMN
- ⊞ = GUARD BOLLARD
- ⊞ = 9"x9" GRATE INLET
- ⊞ = BASKETBALL GOAL
- ⊞ = CONCRETE WALL
- ⊞ = SIGN
- ⊞ = 20" Hackberry
- ⊞ = TREE TYPE & SIZE

- BOUNDARY LINE
- ADJOINER BOUNDARY LINE
- OVERHEAD POWER LINE
- SANITARY SEWER LINE
- GAS LINE
- ASPHALT PAVEMENT

LAYOUT 2

Scale: 1" = 30'



EXISTING
TEMPORARY
BUILDINGS

CITY BENCHMARK USED FOR CONTROL

MON-3 = Celina Monument #3 is a bronze disk set in concrete on the same property as the City of Celina Wilson Creek Lift Station, 440± west of the intersection of Frontier Parkway and Pebble Creek Drive, 20± southeast of the southeast corner of an 8' screening wall column, 46± northeast of a gate keypad, 45± northwest of a power pole.
Elev.=676.10

SITE BENCHMARKS

BM-1 = "X" on west edge of concrete sidewalk, 10.5± west of the west center wall of the main church building.
Elev.=744.68

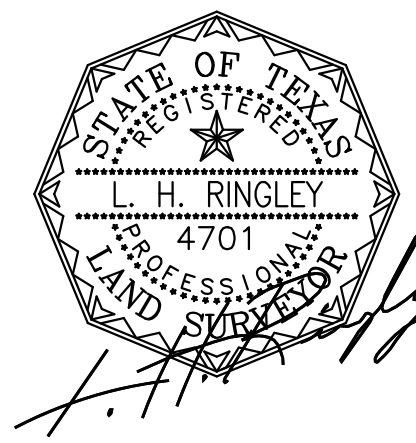
BM-2 = "X" on north edge of concrete sidewalk in the middle of a curve on the east adjoining property, 49± south of the northeast corner of the subject property.
Elev.=745.39

FLOOD ZONE NOTE:

This Surveyor has reviewed Flood Insurance Rate Map No. 48085C0235J (effective date June 2, 2009) published by the Federal Emergency Management Administration for Collin County, Texas and based upon said scaled map and graphic plotting, such review revealed that the subject parcel lies within "ZONE X" (Un-Shaded) and is outside of the 100 Year Flood Plain and is determined to be outside the 0.2% annual chance floodplain.

NOTE:

THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED FOR THE CONVEYANCE OF PROPERTY. THIS TOPOGRAPHIC SURVEY WAS PREPARED FOR CROSS ENGINEERING CONSULTANTS, INC. FOR THE DESIGN PURPOSES ONLY. THE BOUNDARY SHOWN HEREON WAS PLOTTED FROM THE CURRENT DEED AND PLACED UPON CORNER MONUMENTS FOUND ON THE GROUND DURING THE TIME OF THE SURVEY.



TOPOGRAPHIC SURVEY

FIRST BAPTIST CHURCH, PROSPER, TEXAS
8.49 ACRES

situated in the
Collin County School Land Survey, Abstract No. 147
City of Prosper, Collin County, Texas



RINGLEY & ASSOCIATES, INC.

SURVEYING • MAPPING • PLANNING
Texas Firm Registration No. 10061300
701 S. Tennessee • McKinney, Texas 75069
(972) 542-1266

Drawn by	Date	Scale	Job	Title	Sheet
Mark Hask	03/16/22	1" = 30'	2022-017	2022-017-T.DWG	1 of 1



March 10, 2022

Planning and Zoning Commission
Town of Prosper
250 W. First Street
Prosper, TX 75078

To Whom it May Concern:

First Baptist Church of Prosper, located at 601 S Church St, continues to regularly use the portable building on our campus that was initially approved by the Town of Prosper in 2016. The building has 6 classrooms that are used for multiple purposes throughout the week and were reapproved by the Town of Prosper in 2019. The purpose of having the portable building has been and continues to be for smaller group study on Sundays and is also used as classrooms for our First Friends preschool program Monday-Thursday. The portable building is an integral part of the Church's strategy for growth. We have begun the process of replacing the portable building with a permanent building. We have recently hired an architect, a civil engineer and have had an introductory meeting with Town of Prosper staff. COVID and building costs have drastically affected our timeline. We believe this very involved process will take over 24 months to complete. We request a 3-year site plan extension for the portable building in order to continue to accommodate our current operational needs while we diligently work through the process of replacing these temporary facilities with a permanent structure. Thank you for your time and consideration.

Sincerely,

Bill Mears
Elder
First Baptist Church of Prosper
Bmears4674@hotmail.com
469-667-5836



PLANNING

To: Planning & Zoning Commission

Item No. 3e

From: Pamela Clark, Business System Specialist

Through: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – August 16, 2022

Agenda Item:

Consider and act upon a Site Plan for three (3) Temporary Buildings at Bryant Elementary School, on 10.0± acres, located on the north side of Freeman Way, west of Teel Parkway. This property is zoned Planned Development-40 (PD-40). (D20-0034).

Description of Agenda Item:

The Site Plan shows the location of three (3) temporary buildings that have been placed on the subject property as shown below.



Attached Documents:

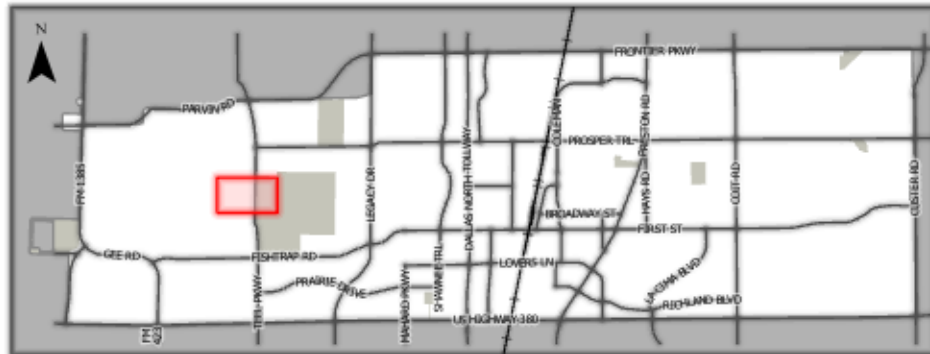
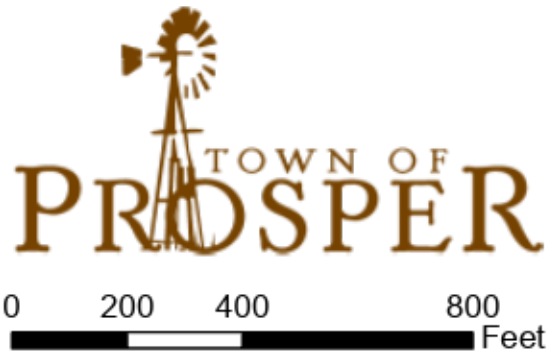
1. Location Map
2. Site Plan

Town Staff Recommendation:

Town staff recommends approval of the Site Plan, subject to:

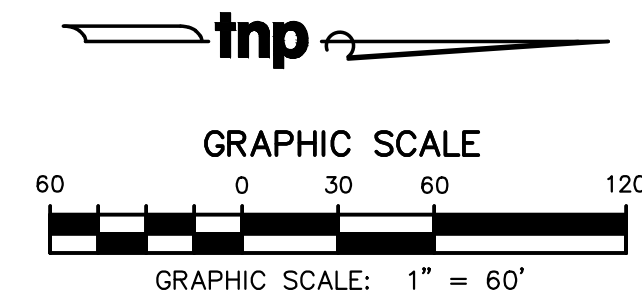
1. The issuance of Certificates of Occupancy for each temporary building from the Town's Building Inspections Division, which includes a health, life and safety inspection.
2. Staff approval of emergency access points, fire lanes, including striping, widths, radii, and location, signage, alarm and pull station systems, electrical panels, and fencing and gate hardware.

3. Staff approval of all utility connections.



This map for illustration purposes only

D20-0034
Bryant Elementary
Temporary Buildings
Site Plan



SITE PLAN NOTES

ANY REVISION TO THIS PLAN WILL REQUIRE TOWN BOARD REVIEW AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.

1. DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
2. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
3. OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
4. LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
5. ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
6. BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
7. FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
8. TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
9. SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
10. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
11. ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
12. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
13. ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
14. SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS, AND BARRIER FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
15. APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING DEPARTMENT.
16. SITE PLAN APPROVAL IS REQUIRED PRIOR TO GRADING RELEASE.
17. ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
18. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
19. ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.

THE APPROVAL OF A SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF EIGHTEEN (18) MONTHS FROM THE DATE OF APPROVAL BY THE PLANNING & ZONING COMMISSION. AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED APPROVAL OF ENGINEERING PLANS AND BUILDING PERMITS. IF THE ENGINEERING PLANS AND BUILDING PERMITS ARE NOT APPROVED, THE SITE PLAN SHALL BE CONSIDERED TOGETHER WITH ANY PRELIMINARY SITE PLAN FOR THE PROPERTY, IS NULL AND VOID.

BUILDING AREA SUMMARY	
BUILDING AREA:	
ELEMENTARY SCHOOL:	95,904 SF
TOTAL BUILDING AREA:	95,904 SF

FEMA NOTE
BASED ON THE FEMA FLOOD MAP SERVICE CENTER, THE SUBJECT TRACT OF LAND SHOWN HEREON LIES WITHIN ZONE 'X' UNSHADED, DEFINED AS 'AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN' AS IDENTIFIED BY THE CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, MAP NO. 48121C0430G, EFFECTIVE DATE OF APRIL 11, 2011, FOR DENTON COUNTY, TEXAS AND INCORPORATED AREAS.

OWNER:
PROSPER I.S.D.
CONTACT: DR. GREGORY BRADLEY
PHONE: 214.299.2000
605 E. SEVENTH STREET
PROSPER, TEXAS 75078

ENGINEER:
TEAGUE NALL & PERKINS
CONTACT: MICHAEL S. WILSON, P.E.
817.336.5773 PH. 817.336.2813 F.
5237 N. RIVERSIDE DRIVE, SUITE 10
FORT WORTH, TEXAS 76137

ARCHITECT:
HUCKABEE, INC.
CONTACT: JOE TREMBLAY, AIA
972.292.7670 PH. 214.785.2965 F.
5830 GRANITE PARKWAY, SUITE 75
PLANO, TEXAS 75024

**SITE PLAN FOR
PROSPER ELEMENTARY SCHOOL
No. 14
BLOCK A, LOT 1
TOWN OF PROSPER, DENTON
COUNTY, TEXAS**


This document is for interim review and is not intended for construction, bidding or permit purposes.

MICHAEL S. WILSON, P.E. Date: APR 2020

Tx. Reg. # 95959

tnp project
HUC20046
sheet

no.	revision	by	date



scale
horiz
1"=60'
vert
N/A
date
APR 2020





PLANNING

To: Planning & Zoning Commission

Item No. 4

From: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – August 16, 2022

Agenda Item:

Conduct a Public Hearing, and consider and act upon a request for a Specific Use Permit (SUP) for a Private Street Development, on 16.4± acres, located on the south side of First Street, east of Coit Road (S22-0008).

Description of Agenda Item:

The zoning and land use of the surrounding properties are as follows:

	Zoning	Current Land Use	Future Land Use Plan
Subject Property	Single Family-15	Undeveloped	Medium Density Residential
North	Retail (R)	Undeveloped	Retail & Neighborhood Services
East	Planned Development-90 – Single Family	Undeveloped	Medium Density Residential
South	Planned Development-87	Undeveloped (Future Community Park)	Medium Density Residential
West	Planned Development-10	Saint Paul Episcopal Church & School	Medium Density Residential

The Zoning Ordinance allows for a Private Street Development subject to approval of a SUP, in accordance with the Conditional Development Standards outlined in Chapter 3, Section 1.4, which is outlined below for reference.

In conjunction with the SUP request, the applicant is proposing two associated exhibits, as follows:

1. Exhibit A (Boundary Survey)
2. Exhibit B (Conceptual Layout) – The exhibit shows the general layout of the subdivision, including two access points to Coit Road & First Street, and the location of the proposed gated entry/exit points.

The Zoning Ordinance contains four criteria to be considered in determining the validity of a SUP request. These criteria, as well as staff's responses are below:

1. *Is the use harmonious and compatible with its surrounding existing uses or proposed uses?*
2. *Are the activities requested by the applicant normally associated with the requested use?*
3. *Is the nature of the use reasonable?*
4. *Has any impact on the surrounding area been mitigated?*

Staff believes the applicant has satisfied the noted criteria and the proposed SUP does not have any negative impacts on the surrounding properties.

Future Land Use Plan – The Future Land Use Plan recommends Medium Density Residential uses for the property. This request conforms to the Future Land Use Plan.

Conformance to the Thoroughfare Plan – The property has direct access to First Street and Coit Road, a future four-lane divided thoroughfare. The SUP exhibits comply with the Thoroughfare Plan.

Parks – It is not anticipated that this property will be needed for the development of a park.

Legal Obligations and Review:

Notification was provided to neighboring property owners as required by State Law. Town staff has not received any Public Hearing Notice Reply forms.

Attached Documents:

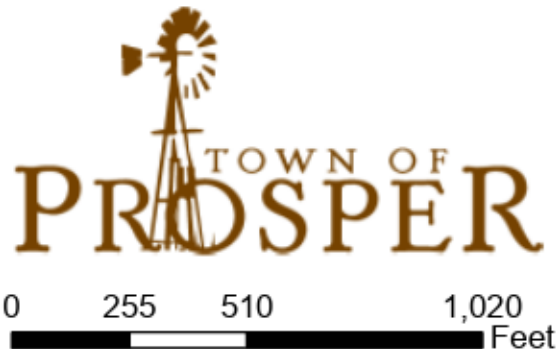
1. Zoning map of surrounding area
2. Proposed SUP Exhibits

Town Staff Recommendation:

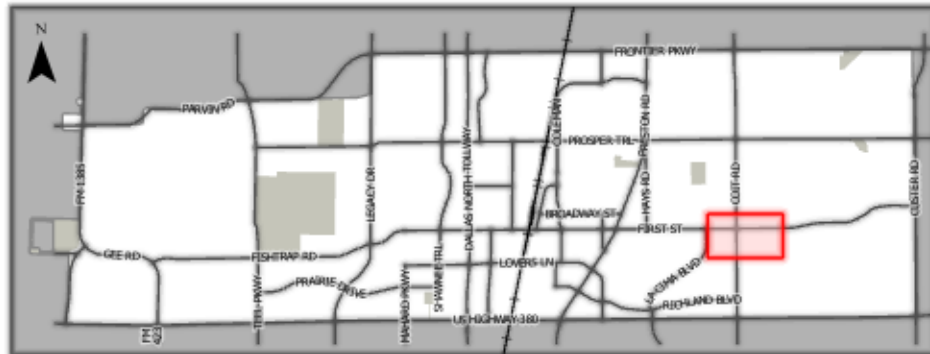
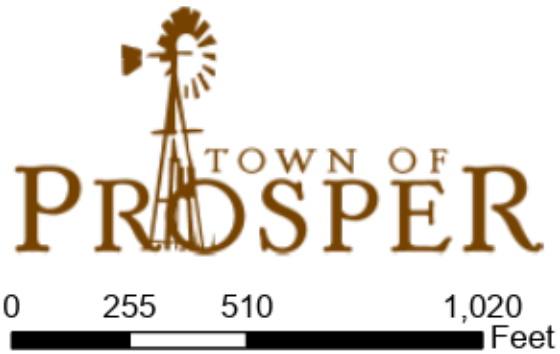
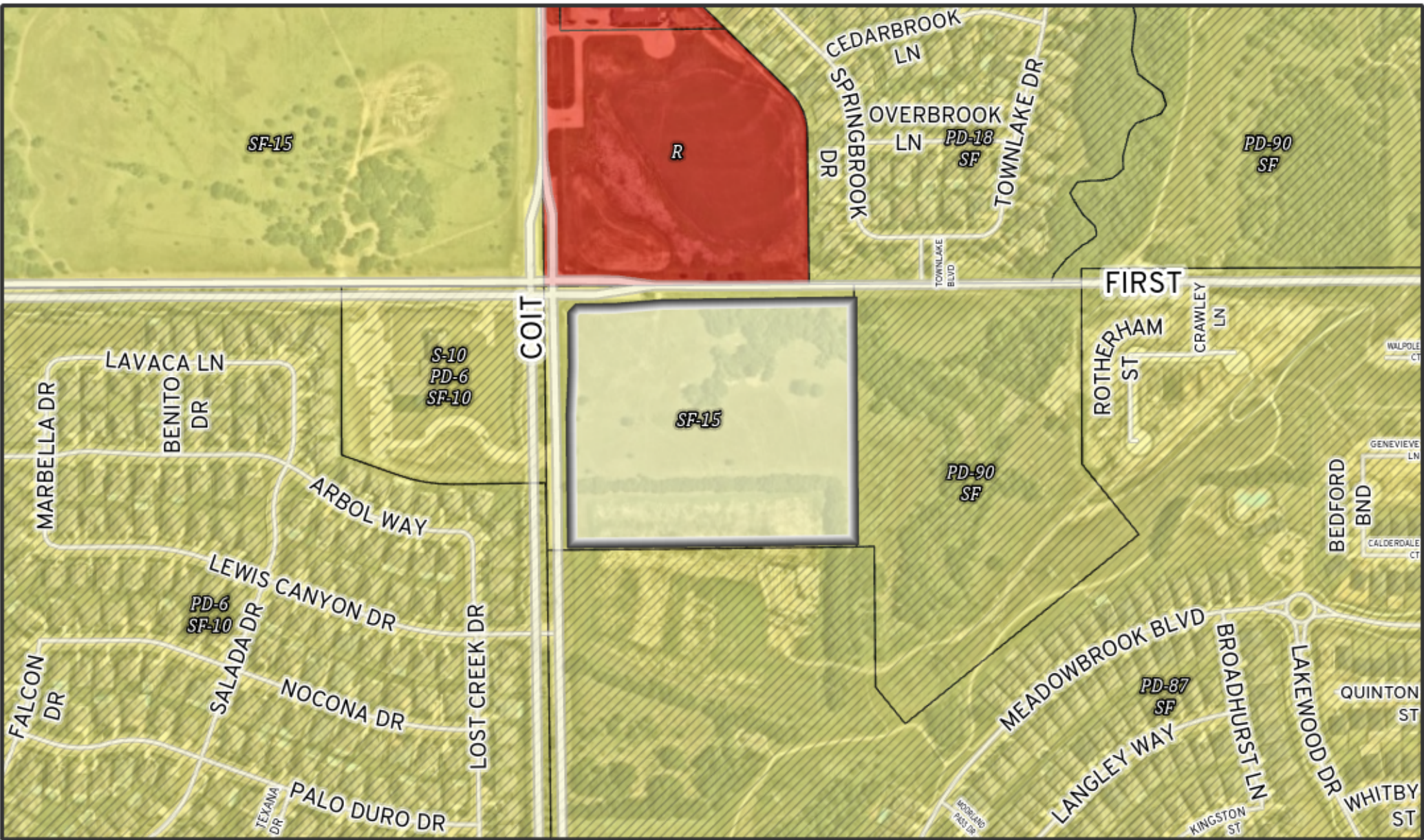
Town staff recommends the Planning & Zoning Commission approve the SUP request.

Town Council Public Hearing:

Upon a recommendation by the Planning & Zoning Commission, in accordance with the Town's Development Schedule, a Public Hearing for this item would be scheduled for the Town Council at their Regular meeting on September 13, 2022.

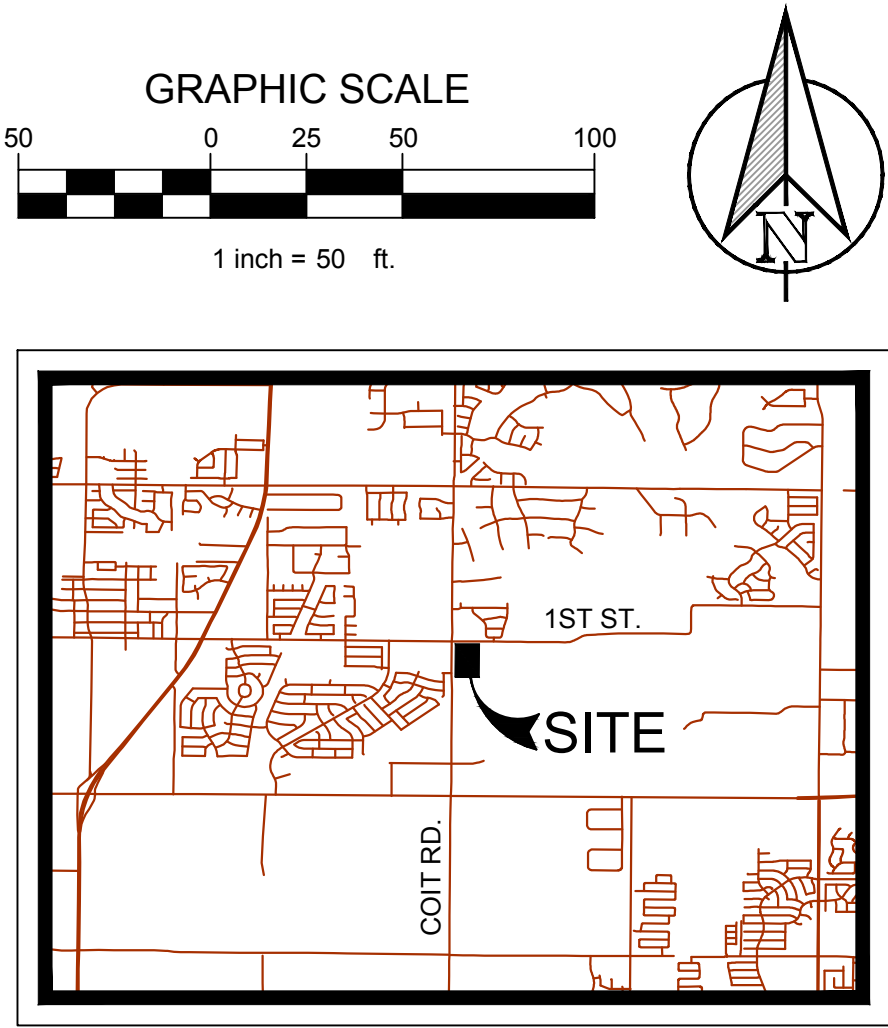
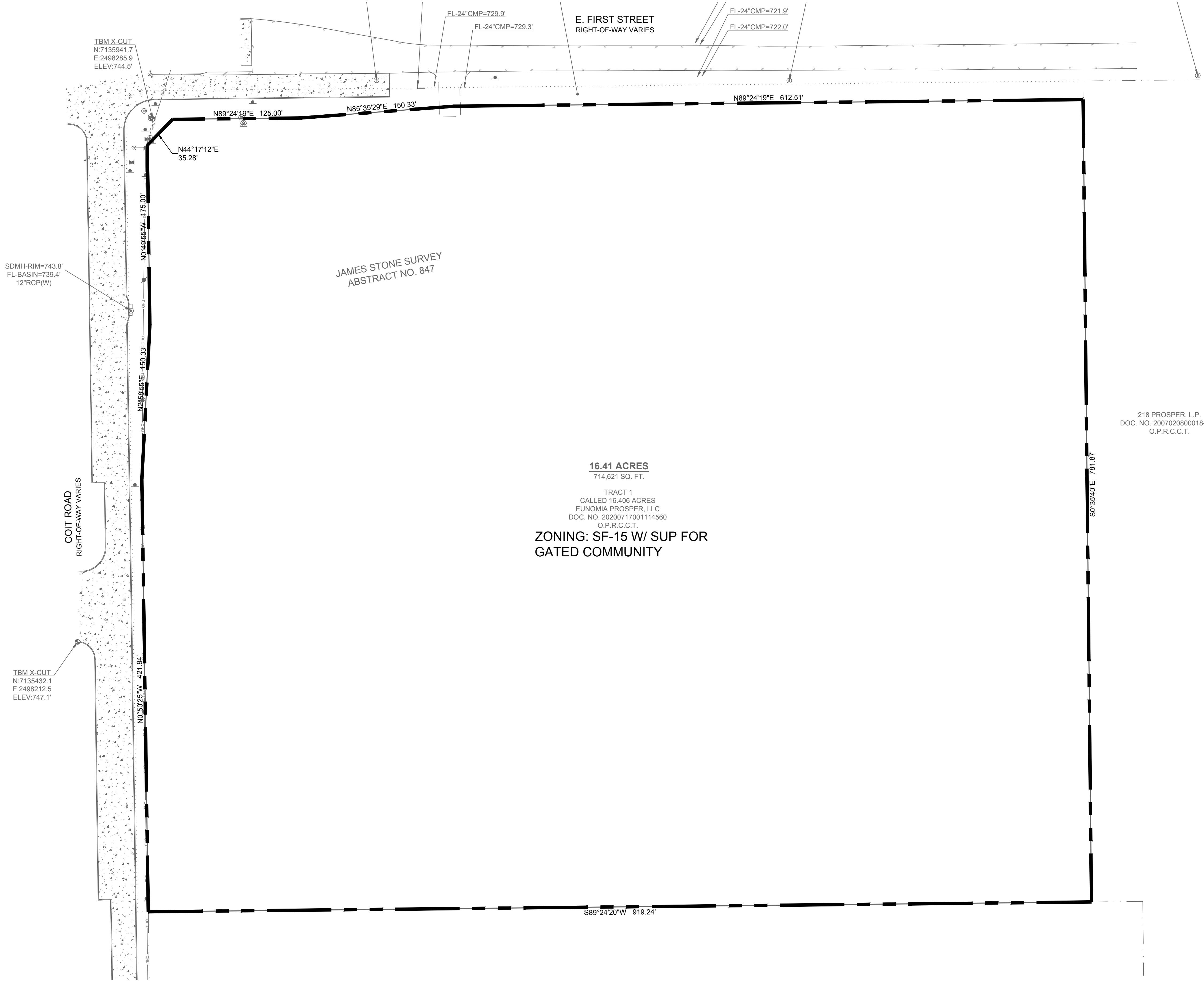


Specific Use Permit



S22-0008
SEC Coit & First St
Specific Use Permit

PLOTTED BY: DREW DONOSKY
 PLOT DATE: 7/29/2022 11:34 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2022-064 VENKAT PROSPER FIRST-COIT\CADD\SHEETS\EXHIBIT A.DWG
 LAST SAVED: 7/18/2022 4:40 PM



VICINITY MAP

N.T.S.

LEGAL DESCRIPTION

BEING A 16.41 ACRE TRACT OF LAND OUT OF THE JAMES STONE SURVEY, ABSTRACT NUMBER 847, SITUATED IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS, BEING ALL OF A CALLED TRACT 1 - 16.406 ACRE TRACT OF LAND CONVEYED TO EUNOMIA PROSPER, LLC BY DEED OF RECORD IN DOCUMENT NUMBER 20200717001114560 OF THE OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING, AT A 1/2 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CORWIN ENG" FOUND IN THE EAST RIGHT-OF-WAY LINE OF COIT ROAD (RIGHT-OF-WAY VARIES), BEING THE NORTHWEST CORNER OF LOT 1, BLOCK A, LAKEWOOD PRESERVE, A SUBDIVISION OF RECORD IN DOCUMENT NUMBER 2017-482 OF SAID OFFICIAL PUBLIC RECORDS, ALSO BEING THE MOST SOUTHERLY SOUTHEAST CORNER OF A CALLED 0.7038 ACRE TRACT OF LAND CONVEYED TO TOWN OF PROSPER, TEXAS, BY DEED OF RECORD IN DOCUMENT NUMBER 2011117001247370 OF SAID OFFICIAL PUBLIC RECORDS, ALSO BEING THE SOUTHWEST CORNER OF SAID 16.406 ACRE TRACT AND HEREOF;

THENCE, ALONG THE EAST RIGHT-OF-WAY LINE OF COIT ROAD, BEING THE COMMON EAST LINE OF SAID 0.7038 ACRE TRACT, AND BEING THE COMMON WEST LINE OF SAID 16.406 ACRE TRACT, THE FOLLOWING THREE (3) COURSES AND DISTANCES:

- N00°50'25"W, A DISTANCE OF 421.84 FEET TO A 1/2 INCH IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET;
- N02°58'55"E, A DISTANCE OF 150.33 FEET TO A 1/2 INCH IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET;
- N00°49'55"W, A DISTANCE OF 175.00 FEET TO A 1/2 INCH IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET AT THE SOUTH END OF A CUTBACK LINE AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF COIT ROAD AND THE SOUTH RIGHT-OF-WAY LINE OF E. FIRST STREET (RIGHT-OF-WAY VARIES), BEING THE MOST WESTERLY NORTHWEST CORNER OF SAID 16.406 ACRE TRACT AND HEREOF;

THENCE, N44°17'12"E, LEAVING THE EAST RIGHT-OF-WAY LINE OF COIT ROAD, ALONG SAID CUTBACK LINE, BEING THE COMMON SOUTHEAST LINE OF SAID 0.7038 ACRE TRACT, AND BEING THE COMMON NORTHWEST LINE OF SAID 16.406 ACRE TRACT, A DISTANCE OF 35.28 FEET TO A 1/2 INCH IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET IN THE SOUTH RIGHT-OF-WAY LINE OF E. FIRST STREET, BEING THE MOST NORTHERLY NORTHWEST CORNER OF SAID 16.406 ACRE TRACT AND HEREOF;

THENCE, ALONG THE SOUTH RIGHT-OF-WAY LINE OF E. FIRST STREET, BEING THE COMMON SOUTH LINE OF SAID 0.7038 ACRE TRACT, AND BEING THE COMMON NORTH LINE OF SAID 16.406 ACRE TRACT, THE FOLLOWING THREE (3) COURSES AND DISTANCES:

- N89°24'19"E, A DISTANCE OF 125.00 FEET TO A 1/2 INCH IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET;
- N85°35'29"E, A DISTANCE OF 150.33 FEET TO A 1/2 INCH IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET;
- N89°24'19"E, A DISTANCE OF 612.51 FEET TO A 1/2 INCH IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET IN THE WEST LINE OF A TRACT OF LAND CONVEYED TO 218 PROSPER, L.P. BY DEED OF RECORD IN DOCUMENT NUMBER 20070208000184370 OF SAID OFFICIAL PUBLIC RECORDS, BEING THE SOUTHEAST CORNER OF SAID 0.7038 ACRE TRACT, ALSO BEING THE NORTHEAST CORNER OF SAID 16.406 ACRE TRACT AND HEREOF, FROM WHICH A 5/8" INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "TMP" FOUND BEARS N00°35'40"W, A DISTANCE OF 1.96 FEET;

THENCE, S00°35'40"E, LEAVING THE SOUTH RIGHT-OF-WAY LINE OF E. FIRST STREET, ALONG THE WEST LINE OF SAID 218 PROSPER, L.P. TRACT, BEING THE COMMON EAST LINE OF SAID 16.406 ACRE TRACT, A DISTANCE OF 781.87 FEET TO A 5/8 INCH IRON ROD FOUND IN THE NORTH LINE OF SAID LOT 1, BEING THE MOST WESTERLY SOUTHWEST CORNER OF SAID 218 PROSPER, L.P. TRACT, ALSO BEING THE SOUTHEAST CORNER OF SAID 16.406 ACRE TRACT AND HEREOF, FROM WHICH A 1/2 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CORWIN ENG" FOUND AT THE NORTHEAST CORNER OF SAID LOT 1, BEING AN INTERIOR ELL CORNER OF SAID 218 PROSPER, L.P. BEARS N89°24'20"E, A DISTANCE OF 50.08 FEET;

THENCE, S89°24'20"W, ALONG THE NORTH LINE OF SAID LOT 1, BEING THE COMMON SOUTH LINE OF SAID 16.406 ACRE TRACT, A DISTANCE OF 919.24 FEET TO THE POINT OF BEGINNING, AND CONTAINING AN AREA OF 16.41 ACRES (714,621 SQUARE FEET) OF LAND, MORE OR LESS.

CASE #: S22-0008

VENKAT PROSPER

EXHIBIT A

DEVELOPER:

PROSPER SE FIRST & COIT LLC
2904 LOFTSMOOR LANE
PLANO, TX 75025-4190
EMAIL: MKILARU@HOTMAIL.COM CONTACT NAME: MOHAN KILARU

APPLICANT:

CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572 CONTACT NAME: MATT MOORE

SURVEYOR:

EAGLE SURVEYING, LLC
210 SOUTH ELM STREET, SUITE #104
DENTON, TX 76201
PH: 940.222.3009 CONTACT NAME: MATTHEW RAABE

LEGAL DESCRIPTION:

BEING A 16.41 ACRE TRACT OF LAND OUT OF THE JAMES STONE SURVEY, ABSTRACT NUMBER 847, SITUATED IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS, BEING ALL OF A CALLED TRACT 1 - 16.406 ACRE TRACT OF LAND CONVEYED TO EUNOMIA PROSPER, LLC BY DEED OF RECORD IN DOCUMENT NUMBER 20200717001114560 OF THE OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS.

CITY:	PROSPER	STATE:	TEXAS
COUNTY:	COLLIN	SURVEY:	JAMES STONE SURVEY
		ABSTRACT NO.:	847

TEXAS REGISTRATION #14199

CLAYMOORE ENGINEERING

1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PHONE 817.281.0572
WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY

FOR REVIEW ONLY
Not for construction purposes.

CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS

Engineer: MATT MOORE
P.E. No. 95813 Date 7/29/2022

VENKAT PROSPER
1ST STREET & COIT ROAD
PROSPER, TEXAS

No.	DATE	REVISION	BY

EXHIBIT A

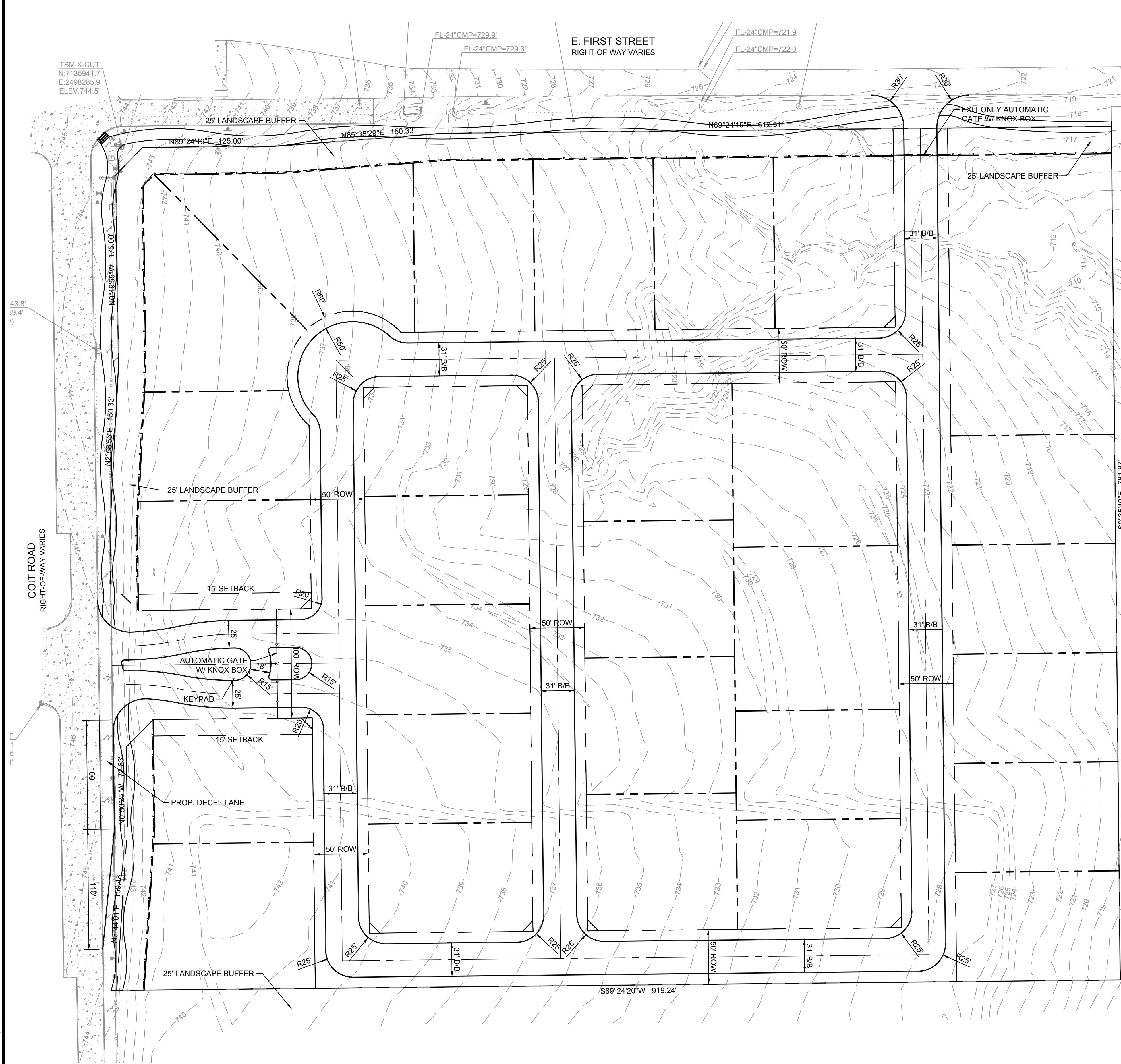
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DATE:	06/20/2022

SHEET

A

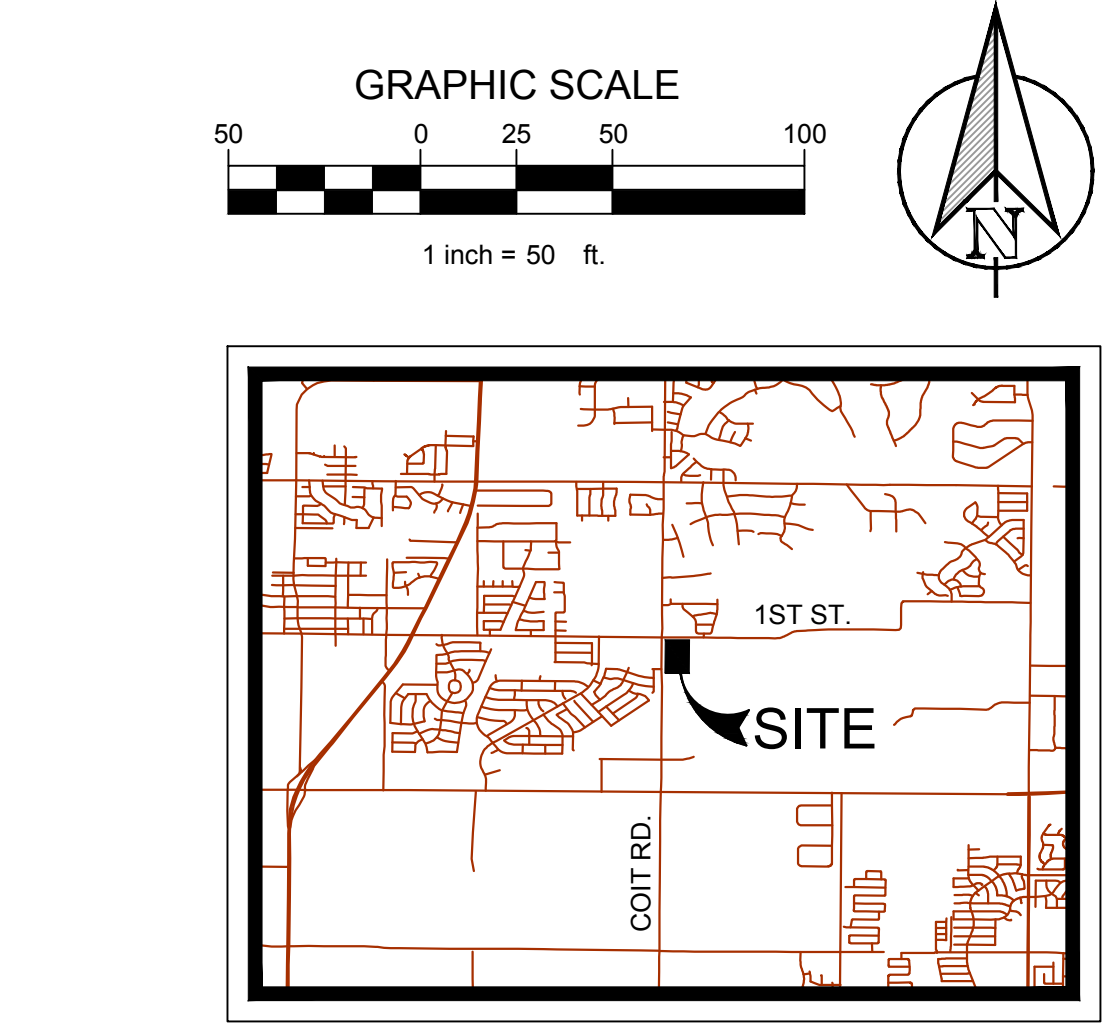
File No. 2022-064

PLOTTED BY: DREW DONOSKY
PLOT DATE: 7/29/2022 11:34 AM
LOCATION: Z:\PROJECTS\PROJECTS\2022-064 VENKAT PROSPER FIRST-COIT\CADD\SHEETS\EXHIBIT D.DWG
LAST SAVED: 7/18/2022 4:40 PM



TOWN OF PROSPER SITE PLAN GENERAL NOTES:

- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
- LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
- ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
- BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
- TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
- SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
- HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
- ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
- FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FAÇADE PLAN.
- SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) IN WIDTH ALONG RESIDENTIAL STREETS, AND BARRIER FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
- APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING DEPARTMENT.
- SITE PLAN APPROVAL IS REQUIRED PRIOR TO GRADING RELEASE.
- ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
- ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
- IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE APPROVAL OF A SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF EIGHTEEN (18) MONTHS FROM THE DATE OF APPROVAL BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED APPROVAL OF ENGINEERING PLANS AND BUILDING PERMITS. IF THE ENGINEERING PLANS AND BUILDING PERMITS ARE NOT APPROVED, THE SITE PLAN APPROVAL, TOGETHER WITH ANY PRELIMINARY SITE PLAN FOR THE PROPERTY, IS NULL AND VOID.



VICINITY MAP
N.T.S.

LEGAL DESCRIPTION

BEING A 16.41 ACRE TRACT OF LAND OUT OF THE JAMES STONE SURVEY, ABSTRACT NUMBER 847, SITUATED IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS, BEING ALL OF A CALLED TRACT 1 - 16.406 ACRE TRACT OF LAND CONVEYED TO EUNOMIA PROSPER, LLC BY DEED OF RECORD IN DOCUMENT NUMBER 20200717001114560 OF THE OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING, AT A 1/2 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CORWIN ENG" FOUND IN THE EAST RIGHT-OF-WAY LINE OF COIT ROAD (RIGHT-OF-WAY VARIES), BEING THE NORTHWEST CORNER OF LOT 1, BLOCK A, LAKEWOOD PRESERVE, A SUBDIVISION OF RECORD IN DOCUMENT NUMBER 2017-482 OF SAID OFFICIAL PUBLIC RECORDS, ALSO BEING THE MOST SOUTHERLY SOUTHEAST CORNER OF A CALLED 0.7038 ACRE TRACT OF LAND CONVEYED TO TOWN OF PROSPER, TEXAS, BY DEED OF RECORD IN DOCUMENT NUMBER 2011117001247370 OF SAID OFFICIAL PUBLIC RECORDS, ALSO BEING THE SOUTHWEST CORNER OF SAID 16.406 ACRE TRACT AND HEREOF;

THENCE, ALONG THE EAST RIGHT-OF-WAY LINE OF COIT ROAD, BEING THE COMMON EAST LINE OF SAID 0.7038 ACRE TRACT, AND BEING THE COMMON WEST LINE OF SAID 16.406 ACRE TRACT, THE FOLLOWING THREE (3) COURSES AND DISTANCES:

- N00°50'25"W, A DISTANCE OF 421.84 FEET TO A 1/2 INCH IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET;
- N02°58'55"E, A DISTANCE OF 150.33 FEET TO A 1/2 INCH IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET;
- N00°49'55"W, A DISTANCE OF 175.00 FEET TO A 1/2 INCH IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET AT THE SOUTH END OF A CUTBACK LINE AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF COIT ROAD AND THE SOUTH RIGHT-OF-WAY LINE OF E. FIRST STREET (RIGHT-OF-WAY VARIES), BEING THE MOST WESTERLY NORTHWEST CORNER OF SAID 16.406 ACRE TRACT AND HEREOF;

THENCE, ALONG THE EAST RIGHT-OF-WAY LINE OF COIT ROAD, ALONG SAID CUTBACK LINE, BEING THE COMMON SOUTHEAST LINE OF SAID 0.7038 ACRE TRACT, AND BEING THE COMMON NORTHWEST LINE OF SAID 16.406 ACRE TRACT, A DISTANCE OF 35.25 FEET TO A 1/2 INCH IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET IN THE SOUTH RIGHT-OF-WAY LINE OF E. FIRST STREET, BEING THE MOST NORTHERLY NORTHWEST CORNER OF SAID 16.406 ACRE TRACT AND HEREOF;

THENCE, ALONG THE SOUTH RIGHT-OF-WAY LINE OF E. FIRST STREET, BEING THE COMMON SOUTH LINE OF SAID 0.7038 ACRE TRACT, AND BEING THE COMMON NORTH LINE OF SAID 16.406 ACRE TRACT, THE FOLLOWING THREE (3) COURSES AND DISTANCES:

- N89°24'19"E, A DISTANCE OF 125.00 FEET TO A 1/2 INCH IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET;
- N85°35'29"E, A DISTANCE OF 150.33 FEET TO A 1/2 INCH IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET;
- N89°24'19"E, A DISTANCE OF 612.51 FEET TO A 1/2 INCH IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET IN THE WEST LINE OF A TRACT OF LAND CONVEYED TO 218 PROSPER, L.P. BY DEED OF RECORD IN DOCUMENT NUMBER 2007020800184370 OF SAID OFFICIAL PUBLIC RECORDS, BEING THE SOUTHEAST CORNER OF SAID 0.7038 ACRE TRACT, ALSO BEING THE NORTHEAST CORNER OF SAID 16.406 ACRE TRACT AND HEREOF, FROM WHICH A 5/8" INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "TMP" FOUND BEARS N00°35'40"W, A DISTANCE OF 1.96 FEET;

THENCE, S00°35'40"E, LEAVING THE SOUTH RIGHT-OF-WAY LINE OF E. FIRST STREET, ALONG THE WEST LINE OF SAID 218 PROSPER, L.P. TRACT, BEING THE COMMON EAST LINE OF SAID 16.406 ACRE TRACT, A DISTANCE OF 781.87 FEET TO A 5/8 INCH IRON ROD FOUND IN THE NORTH LINE OF SAID LOT 1, BEING THE MOST WESTERLY SOUTHWEST CORNER OF SAID 218 PROSPER, L.P. TRACT, ALSO BEING THE SOUTHEAST CORNER OF SAID 16.406 ACRE TRACT AND HEREOF, FROM WHICH A 1/2 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CORWIN ENG" FOUND AT THE NORTHEAST CORNER OF SAID LOT 1, BEING AN INTERIOR ELASTIC CORNER OF SAID 218 PROSPER, L.P. BEARS N89°24'20"E, A DISTANCE OF 50.08 FEET;

THENCE, S89°24'20"W, ALONG THE NORTH LINE OF SAID LOT 1, BEING THE COMMON SOUTH LINE OF SAID 16.406 ACRE TRACT, A DISTANCE OF 919.24 FEET TO THE POINT OF BEGINNING, AND CONTAINING AN AREA OF 16.41 ACRES (714,621 SQUARE FEET) OF LAND, MORE OR LESS.

CASE #: S22-0008

VENKAT PROSPER

EXHIBIT B

DEVELOPER:

PROSPER SE FIRST & COIT LLC
2904 LOFTSMOOR LANE
PLANO, TX 75025-4190
EMAIL: MKILARU@HOTMAIL.COM CONTACT NAME: MOHAN KILARU

APPLICANT:

CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572 CONTACT NAME: MATT MOORE

SURVEYOR:

EAGLE SURVEYING, LLC
210 SOUTH ELM STREET, SUITE #104
DENTON, TX 76201
PH: 940.222.3009 CONTACT NAME: MATTHEW RAABE

LEGAL DESCRIPTION:

BEING A 16.41 ACRE TRACT OF LAND OUT OF THE JAMES STONE SURVEY, ABSTRACT NUMBER 847, SITUATED IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS, BEING ALL OF A CALLED TRACT 1 - 16.406 ACRE TRACT OF LAND CONVEYED TO EUNOMIA PROSPER, LLC BY DEED OF RECORD IN DOCUMENT NUMBER 20200717001114560 OF THE OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS.

<u>CITY:</u> PROSPER		<u>STATE:</u> TEXAS
<u>COUNTY</u>	<u>SURVEY:</u>	<u>ABSTRACT NO.</u>
COLLIN	JAMES STONE SURVEY	847

NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.

TEXAS REGISTRATION #14190

CLAYMOORE
ENGINEERING

1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PHONE 817.281.0572
WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY

FOR REVIEW ONLY
Not for construction purposes.

CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS

Engineer: MATT MOORE
P.E. No. 95813 Date: 7/29/2022

VENKAT PROSPER
1ST STREET & COIT ROAD
PROSPER, TEXAS

No.	DATE	REVISION	BY

EXHIBIT B

DESIGN: ASD
DRAWN: ASD
CHECKED: MAM
DATE: 06/20/2022

SHEET

B

File No. 2022-064



PLANNING

To: Planning & Zoning Commission

Item No. 5

From: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – August 16, 2022

Agenda Item:

Conduct a Public Hearing, and consider and act upon a request to rezone 7.9± acres from Office (O) to Planned Development-Office (PD-O), generally to modify the development standards to facilitate an office/retail development, including drive-through coffee shop as a permitted use, located on the northwest corner of Preston Road and Coleman Road. (Z21-0013).

Description of Agenda Item:

The zoning and land use of the surrounding properties are as follows:

	Zoning	Current Land Use	Future Land Use Plan
Subject Property	Office	Undeveloped	Retail & Neighborhood Services District
North	Planned Development-10	Victory at Frontier	Retail & Neighborhood Services District
East	Planned Development-15	Undeveloped / Retail	Retail & Neighborhood Services District
South	Single Family-12.5 & S-34	Prosper United Methodist Church	Medium Density Residential
West	Planned Development-10	Undeveloped	Medium Density Residential

Requested Zoning – The purpose of this request is to rezone 7.9± acres from Office (O) to Planned Development-Office (PD-O), generally to modify the development standards to facilitate an office/retail development, including drive-through coffee shop as a permitted use. The applicant is proposing updates to uses, design standards, and architectural standards as mentioned below.

a. Uses: Uses Permitted by Right

- Restaurant with Drive-Through on Lot 2 – To be used only for a beverage establishment that serves non-alcoholic beverages.
- Retail Stores and Shops
- Gymnastics/Dance Studio
- Hotel, Full Service
- Restaurant
- Veterinarian Clinic and/or Kennel, Indoor
- Office/Showroom

Even though the restaurant with drive through will be utilize for non-alcoholic beverage establishments, staff has concerns with allowing additional drive-throughs to be constructed consecutively on the adjacent lot. Staff has also requested to require a Specific Use Permit for the Hotel, Full Service. Per our Zoning Ordinance, Hotel Full Service is only allowed by right in more intense commercial zoning districts. Staff has no other objections with the other proposed uses.

The applicant has made modifications to the development standards including architectural regulations as shown below:

	Office District	New Planned Development
Minimum Front Yard	30 Feet	30 Feet
Minimum Side Yard	<ul style="list-style-type: none"> • Twenty-five (25) feet for a one story building adjacent to any residential district. Forty (40) feet for a two-story building adjacent to any residential district • Ten (10) feet adjacent to any nonresidential district. 	<ul style="list-style-type: none"> • Ten (10) Feet Adjacent to any residential district. • No Side yard adjacent to any nonresidential district
Minimum Rear Yard	<ul style="list-style-type: none"> • Twenty-five (25) feet for a one story building adjacent to any residential district. Forty (40) feet for a two story building adjacent to any residential district • Ten (10) feet adjacent to any nonresidential district. 	<ul style="list-style-type: none"> • Ten (10) Feet Adjacent to any residential district. • No Side yard adjacent to any nonresidential district.

Maximum Height	Two stories, no greater than 40 feet.	Four Stories, no greater than 60 feet
Maximum Floor Area	Maximum 0.5:1.	No Maximum Floor Area.
Building Materials on Lots 1 & 2	<ul style="list-style-type: none"> • 100 % masonry (which includes clay fired brick, natural and manufactured stone, granite, marble, and stucco) • The use of stucco and EIFS are only permitted as secondary or accent materials (10% maximum allowance). 	<ul style="list-style-type: none"> • Masonry 60% • Architectural Panel 20% • Awnings 10% • Stucco 10%
Building Materials on Lots 3 & 4	<ul style="list-style-type: none"> • 100 % masonry (which includes clay fired brick, natural and manufactured stone, granite, marble, and stucco) • The use of stucco and EIFS are only permitted as secondary or accent materials (10% maximum allowance). 	<ul style="list-style-type: none"> • Masonry 40% • Architectural Panel 10% • Textured/ Paint 40% • Stucco 20%

As shown on Exhibit D, the site provides adequate parking and stacking. Exhibit F shows a conceptual rendering of the architectural look and style of the building. The applicant has agreed to enter a development agreement regarding the building materials. Exhibit G is a conceptual landscape plan, which depicts the location of required landscaping. The landscaping meets the minimum standards of the Town's Zoning Ordinance.

Future Land Use Plan – The Future Land Use Plan recommends Retail & Neighborhood Services District for the subject property. The proposed zoning request conforms to the Future Land Use Plan.

Retail and Neighborhood Services

Neighborhood services typically include retail establishments that provide merchandise for retail sale, banks, neighborhood office and small medical offices. Retail uses are particularly important because they contribute to Prosper's tax base through both property and sales taxes, making their inclusion attractive and often times competitive. Within Prosper, neighborhood service uses will likely occur at major intersections along the Dallas North Tollway, Highway 380 and Preston Road corridors. Neighborhood service uses should also be strategically placed along the Town's perimeter in order to attract patrons from neighboring communities, enhancing sales tax revenue opportunities. The majority of neighborhood service activity within Prosper will likely be included within the Dallas North Tollway, Highway 380, Town Center and Old Town districts.



Thoroughfare Plan – The property has direct access to the Preston Road. This request conforms to the Thoroughfare Plan.

Parks Master Plan – The Parks Master Plan does not indicate a park is needed on the subject property; however, a hike and bike trail has been constructed along Preston Road.

Legal Obligations and Review:

Notification was provided to neighboring property owners as required by the Zoning Ordinance and state law. To date, staff has not received any Public Hearing Notice Reply Forms in response to this request.

Attached Documents:

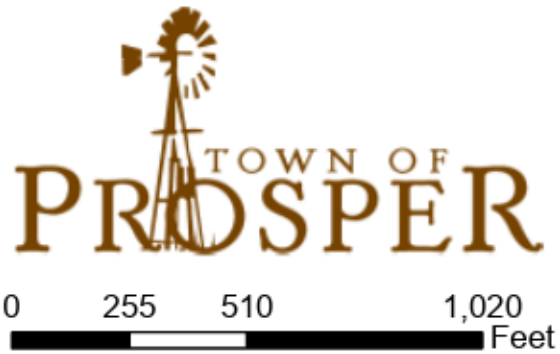
1. Aerial and Zoning Maps
2. Proposed Exhibits

Staff Recommendation:

Town staff does have some minor concerns with standards, however, recommends that the Planning & Zoning Commission approve the request.

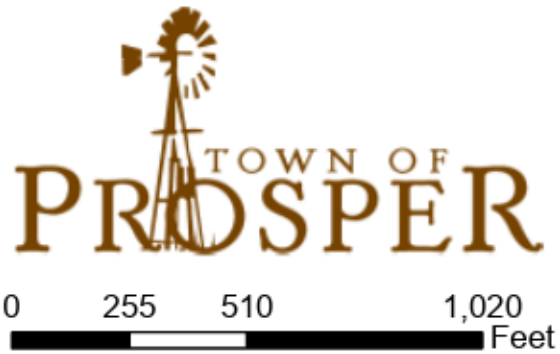
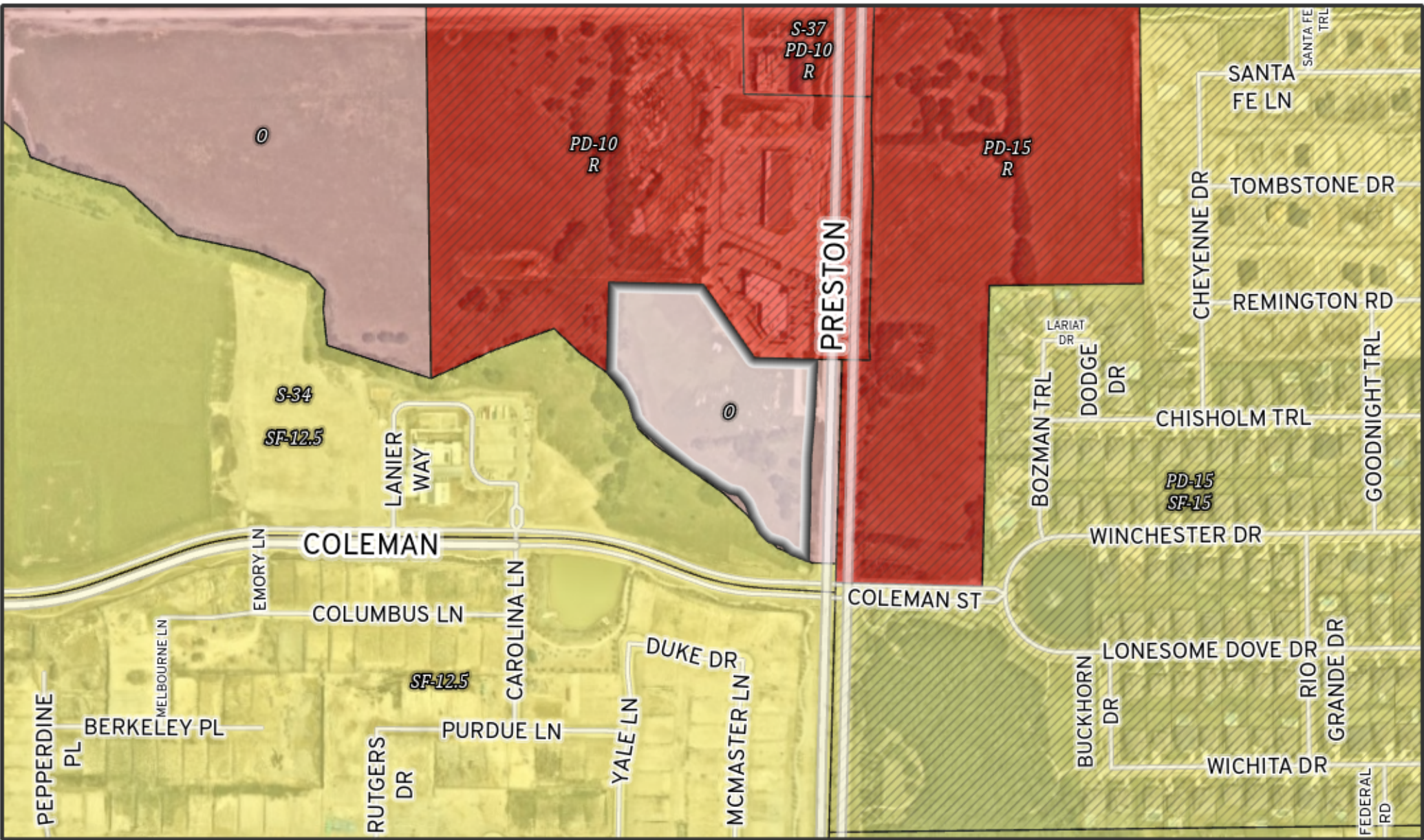
Town Council Public Hearing:

Upon a recommendation by the Planning & Zoning Commission, a Public Hearing on this item will be scheduled for the Town Council at their Regular meeting on September 13, 2022.



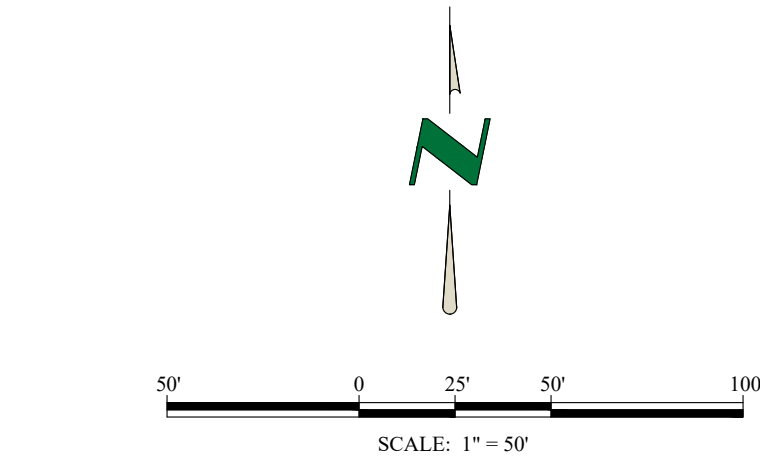
This map for illustration purposes only

Z21-0013
 Victory at Frontier South
 Planned Development



This map for illustration purposes only

Z21-0013
Victory at Frontier South
Planned Development



SURVEYOR'S NOTES:

- Bearings and distances are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD 83)(US Foot) with a combined scale factor of 1.000152710.
- Elevations are referenced to The North American Vertical Datum of 1988 (NAVD88).
- This property lies within Zone "A" and Zone "X" (Unshaded), of the Flood Insurance Rate Map for Collin County, Texas and Incorporated Areas, map no. 4808SC0120 J, with an effective date of June 2, 2009 via scaled map location and graphic plotting.
- Monuments are found unless specifically designated as set.
- There was no observed evidence of any structures on the subject property at the time of survey.

NOTE REGARDING UTILITIES

Utility locations are per observed evidence only.

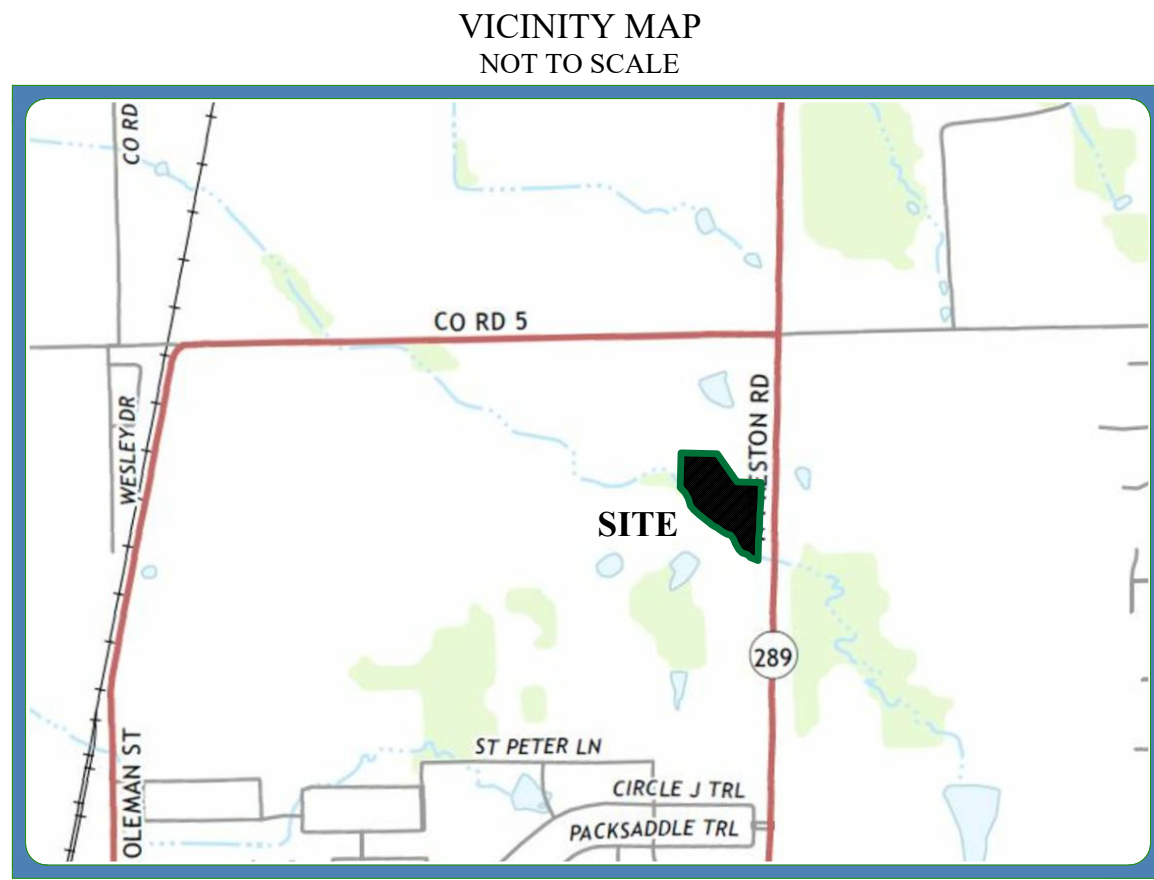
LEGEND

CATV ○ cable tv
EM ○ electric meter
— fence or guardrail
FDC ○ fire dept. connection
FH ○ fire hydrant
GV ○ gas valve
BOL ○ bollard
□ grate inlet
○ gas meter
— sign
○ sanitary sewer manhole
○ storm water manhole
○ telephone manhole
○ tank fill lid
□ telephone pedestal
— traffic signal pole
○ utility clean out
□ utility cabinet
□ utility vault
○ utility markings
UP ○ utility pole
○ utility sign
○ water shutoff
WV ○ water valve
○ water manhole
WM ○ water meter

tree
shrub/decorative tree
or tree with diameter < 4 in.
contour lines

LEGEND OF ABBREVIATIONS

- D.R.C.C.T. DEED RECORDS, COLLIN COUNTY, TEXAS
- O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
- P.R.C.C.T. PLAT RECORDS, COLLIN COUNTY, TEXAS
- ROW RIGHT OF WAY
- IRS 1/2 INCH CAPPED REBAR STAMPED "ASC" SET
- C.M. CONTROLLING MONUMENT



SITE BENCHMARKS:

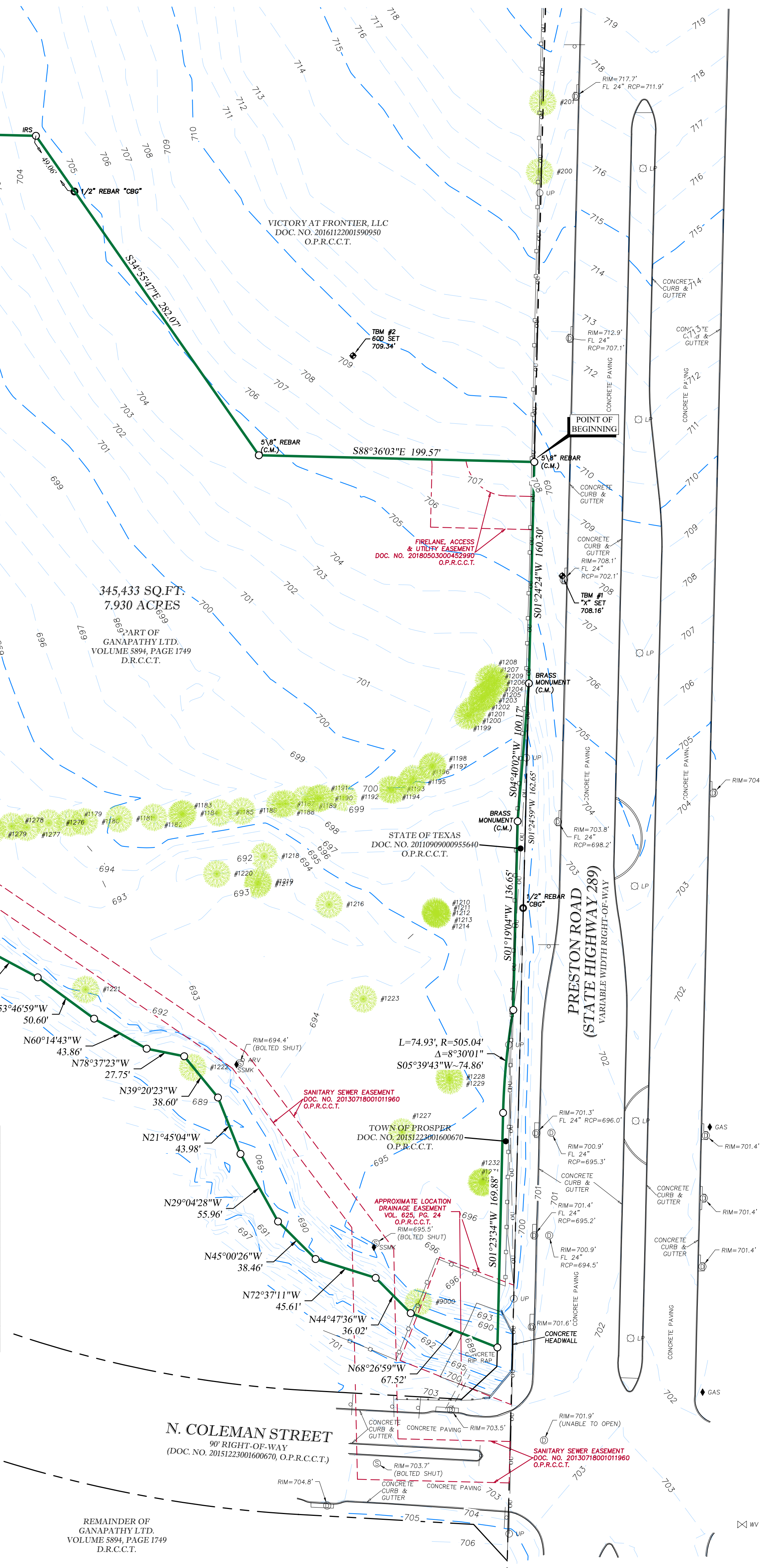
- An "X" set on a concrete storm sewer inlet within Preston Road (State Highway 289), approximately 20' east and 82' south of the Northeast corner of the subject property. Elevation=708.16'
- A 60D Nail set on natural ground within that tract of land described to Victory at Frontier, LLC by deed recorded in Document No. 20161122001590950, O.P.R.C.C.T., approximately 131' west and 77' north of its most easterly Southeast corner. Elevation=709.34'

Tag #	Description
#1254	12" ELM
#1235	15" ELM
#1235	12" ELM
#1234	7" ELM
#1237	7" ELM
#1236	18" ELM
#1258	6" ELM
#1255	8" ELM
#1256	11" ELM
#1257	9" HACK
#1259	7" HACK
#1260	6" ELM
#1262	15" HACK
#1261	7" HACK
#1263	6" CEDAR
#1253	9" HACK
#1252	7" LOCUST
#1251	13" ELM
#1250	14" ELM
#1248	9" ELM
#1247	17" ELM
#1249	10" ASH
#1246	12" ELM
#1245	8" ELM
#1244	14" WILLOW
#200	17" TREE
#201	8" TREE
#269	13" TREE
#270	9" TREE
#271	8" TREE

Tag #	Description
#1181	11" HACK
#1182	19" HACK
#1183	12" HACK
#1184	10" HACK
#1185	12" HACK
#1186	11" HACK
#1218	17" HACK
#1217	12" TREE
#1219	11" TREE
#1220	21" TREE
#1187	11" HACK
#1188	18" HACK
#1189	19" HACK
#1190	10" HACK
#1191	15" HACK
#1192	22" HACK
#1193	14" TREE
#1194	12" HACK
#1196	17" HACK
#1197	17" HACK
#1198	11" HACK
#1201	20" HACK
#1200	8" HACK
#1199	16" HACK
#1202	10" HACK
#1203	12" HACK
#1204	10" HACK
#1207	7" HACK
#1208	9" HACK

Tag #	Description
#1209	12" UNKN
#1206	8" HACK
#1205	11" HACK
#1221	10" UNKN
#1222	12" TREE
#1227	16" ELM
#1230	14" TREE
#1231	10" UNKN
#1232	12" UNKN
#9000	12" BOIS DARC
#1228	7" TREE
#1229	11" TREE
#1223	23" TREE
#1214	13" BOIS DARC
#1213	9" TREE
#1212	7" BOIS DARC
#1211	13" BOIS DARC
#1210	9" BOIS DARC
#1216	23" BOIS DARC
#1276	8" HACK
#1277	15" HACK
#1278	6" HACK
#1279	6" HACK
#1280	20" HACK
#1265	9" HACK
#1266	8" HACK
#1267	7" HACK
#1268	6" HACK
#1269	7" HACK

Tag #	Description
#272	6" TREE
#273	13" TREE
#274	20" TREE
#275	10" TREE
#277	12" TREE
#278	8" TREE
#279	11" TREE
#280	11" TREE
#281	11" TREE
#282	9" TREE
#283	10" TREE
#284	8" TREE
#1179	24" HACK
#1180	11" HACK



PROPERTY DESCRIPTION:

Being a 7.930 acre tract of land situated in the Spencer Rice Survey, Abstract No. 787, in the Town of Prosper, Collin County, Texas, being a part of that same tract of land described to Ganapathy, Ltd. by deed recorded in Volume 5894, Page 1749, of the Deed Records of Collin County, Texas (D.R.C.C.T.), and being more particularly described by metes and bounds as follows (Bearings and distances are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD 83)(US Foot) with a combined scale factor of 1.000152710):

BEGINNING at a 5/8 inch rebar found for the Southeast corner of a tract of land described to Victory at Frontier, LLC by deed recorded in Document No. 20161122001590950, of the Official Public Records of Collin County, Texas, same being the Northeast corner of said Ganapathy, Ltd. tract, and lying on the West right-of-way line of Preston Road (State Highway 289) (variable width right-of-way);

THENCE South 01 Degrees 24 Minutes 24 Seconds West, with the West right-of-way line of said Preston Road, a distance of 160.30 feet to a Brass Monument found for the North corner of a tract of land described to the State of Texas by deed recorded in Document No. 2011090900955640, O.P.R.C.C.T.;

THENCE South 04 Degrees 40 Minutes 02 Seconds West, continuing with the West right-of-way line of said Preston Road, and with the West line of said State of Texas tract, a distance of 100.17 feet to a Brass Monument found for corner;

THENCE South 01 Degrees 19 Minutes 04 Seconds West, continuing with the West right-of-way line of said Preston Road, and with the West line of said State of Texas tract, a distance of 136.65 feet to a point for corner on the Northwest line of a tract of land described to the Town of Prosper, Texas by deed recorded in Document No. 20151223001600670, O.P.R.C.C.T., and being the beginning of a non-tangent curve to the left, having a central angle of 8 Degrees 30 Minutes 01 Seconds, a radius of 505.04 feet, and a chord bearing and distance of South 05 Degrees 39 Minutes 43 Seconds West, 74.86 feet;

THENCE, in a southerly direction, with the West line of said Town of Prosper tract, continuing with the West right-of-way line of said Preston Road, and along said non-tangent curve to the left, an arc length of 74.93 feet to a point for corner;

THENCE South 01 Degrees 23 Minutes 34 Seconds West, continuing with the West line of said Town of Prosper tract and the West right-of-way line of said Preston Road, a distance of 169.88 feet to a point for the Southeast corner of the herein described tract, said point lying near the center of a concrete drainage rip rap;

THENCE, departing the West right-of-way line of said Preston Road, and the West line of said Town of Prosper tract, over, across, and through said Ganapathy, Ltd. tract, along a creek, the following courses and distances:

- North 68 Degrees 26 Minutes 59 Seconds West, a distance of 67.52 feet to a point for corner;
- North 44 Degrees 47 Minutes 36 Seconds West, a distance of 36.02 feet to a point for corner;
- North 72 Degrees 37 Minutes 11 Seconds West, a distance of 45.61 feet to a point for corner;
- North 45 Degrees 00 Minutes 26 Seconds West, a distance of 38.46 feet to a point for corner;
- North 29 Degrees 04 Minutes 28 Seconds West, a distance of 55.96 feet to a point for corner;
- North 21 Degrees 45 Minutes 04 Seconds West, a distance of 43.98 feet to a point for corner;
- North 39 Degrees 20 Minutes 23 Seconds West, a distance of 38.60 feet to a point for corner;
- North 78 Degrees 37 Minutes 23 Seconds West, a distance of 27.75 feet to a point for corner;
- North 60 Degrees 14 Minutes 43 Seconds West, a distance of 43.86 feet to a point for corner;
- North 53 Degrees 46 Minutes 59 Seconds West, a distance of 50.60 feet to a point for corner;
- North 61 Degrees 53 Minutes 52 Seconds West, a distance of 46.24 feet to a point for corner;
- North 51 Degrees 21 Minutes 56 Seconds West, a distance of 52.18 feet to a point for corner;
- North 51 Degrees 36 Minutes 52 Seconds West, a distance of 83.26 feet to a point for corner;
- North 48 Degrees 22 Minutes 22 Seconds West, a distance of 65.47 feet to a point for corner;
- North 39 Degrees 13 Minutes 51 Seconds West, a distance of 41.96 feet to a point for corner;
- North 15 Degrees 56 Minutes 22 Seconds West, a distance of 61.19 feet to a point for corner;
- North 28 Degrees 54 Minutes 13 Seconds West, a distance of 57.30 feet to a point for corner;

THENCE North 44 Degrees 07 Minutes 47 Seconds West, continuing through said Ganapathy, Ltd. tract, a distance of 56.24 feet to a point in a creek for corner, said point being the westernmost Southeast corner of said Victory at Frontier, LLC tract, same being the Northwest corner of the herein described tract;

THENCE North 01 Degrees 21 Minutes 08 Seconds East, with the westernmost East line of said Victory at Frontier, LLC tract, a distance of 284.91 feet to a 5/8 inch rebar found for the easternmost Northwest corner of said Ganapathy, Ltd. tract, same being an interior "ell" corner of said Victory at Frontier, LLC tract;

THENCE South 88 Degrees 38 Minutes 52 Seconds East, with a South line of said Victory at Frontier, LLC tract, a distance of 298.00 feet to a 1/2 inch rebar with a cap stamped "ASC" set for corner;

THENCE South 34 Degrees 54 Minutes 47 Seconds East, with the easternmost Southwest line of said Victory at Frontier, LLC tract, passing a 1/2 inch rebar with a cap stamped "CBG" found at a distance of 49.06 feet and continuing for a total distance of 282.07 feet to a 5/8 inch rebar found for the easternmost Southwest corner of said Victory at Frontier, LLC tract;

THENCE South 88 Degrees 36 Minutes 03 Seconds East, with the easternmost South line of said Victory at Frontier, LLC tract, a distance of 199.57 feet to the **POINT OF BEGINNING** and containing 345,433 square feet or 7.930 acres of land, more or less.

TITLE COMMITMENT NOTES

This survey was prepared without the benefit of a commitment for title insurance. Therefore, easements, agreements, or other documents, either recorded, or unrecorded may exist that affect the subject property that are not shown on this survey.

BOUNDARY TOPOGRAPHIC SURVEY

7.793 ACRES
Spencer Rice Survey, Abstract No. 787,
Town of Prosper, Collin County, Texas

DRAWN: E.R. CHECKED: T.M. DATE: 05/14/2018 JOB NO.: C1706220

WINDROSE
LAND SURVEYING | PLATING
220 ELM STREET, SUITE 200 | LEWISVILLE, TX 75057 | 214.217.2544
FIRM REGISTRATION NO. 10194331 | WINDROSESERVICES.COM

ARTHUR
LAND SURVEYING
220 Elm St., # 200 - Lewisville, TX 75057
Ph. 214.217.2544 - TFRNW 10063800
arthurssurveying.com Established 1986

K3
kirkman
ENGINEERING

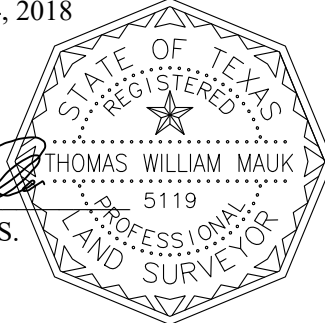
4821 Merlot Avenue, Suite 210
Grapevine, Texas 76051
Phone: 817-488-4960

SURVEYOR'S CERTIFICATE

This is to certify that I, Thomas W. Mauk, a Registered Professional Land Surveyor of the State of Texas, have prepared this map from an actual survey on the ground, and that this map correctly represents that survey made by me or under my direction and supervision. This survey meets the minimum requirements for a Category 1A, Condition II Land Title Survey. Fieldwork was completed on May 11, 2018.

Date of Plat/Map: May 14, 2018

Thomas W. Mauk, R.P.L.S.
No. 5119





Kirkman Engineering
5200 State Highway 121
Colleyville, TX 76034
PH 817.488.4960

RE: Victory at Frontier South

The proposed project is anticipated to provide for the orderly development the platted 7.793-acre tract at the Northwest corner of Preston Road and N Coleman Street. As part of this submittal, we are submitting a Concept PD for the Overall tract.

A mixture of uses is anticipated on this tract with potential Offices, Retail, Restaurant, and Restaurant with a drive thru. These uses are depicted on the Concept Plan. The natural buffer of the existing creek and flood play will provide sufficient barrier between this development and the residential zoned property to the south. The natural grade of this property is such that the buildings will be lower than the existing Preston Road elevation. The PD request an addition to the maximum building height to three stories and 60' tall. This plan is representative of what we feel is reasonable for the site, however, is not meant to establish a final site plan, it is intended to depict conceptual layouts only. Some of the uses shown on the concept plan may require a Specific Use Permit as described in the development standards.

The property is currently zoned Office (O). The proposal is to establish a PD to address the overall project continuity as well as provide for several deviations from the City Standards within the Office (O) district, and to allow uses that will be consistent with the overall development.

Kind Regards,

Patrick Filson

Patrick Filson, P.E.

EXHIBIT C DEVELOPMENT STANDARDS

Conformance with the Town's Zoning Ordinance and Subdivision Ordinance: Except as otherwise set forth in these development standards, the regulation of the Town's Zoning Ordinance as it exists or may be amended, and the Subdivision Ordinance, as it exists or may be amended shall apply.

1. Except as noted below, the tract shall develop in accordance with the Office (O) Districts, as it exists or may be amended.
 - a. Conceptual Site Plan: The tract shall continue to be used in general accordance with the attached concept plan, set forth in Exhibit D.
 - b. Building elevations: The tract shall continue to be used in general accordance with the attached façade plans, set forth in Exhibit F.
 - c. Landscape Plan: The tract shall continue to be used in general accordance with the attached landscape plan, set forth in Exhibit G
2. Uses. All the permitted uses in the office (O) District shall be allowed with the same provisions and restrictions, including uses permitted by a Specific Use Permit (SUP) and Conditional Use Permit (C), except as noted below:
 - a. Uses Permitted by Right
 - Restaurant with Drive-Through on Lot 2 – To be used only for a beverage establishment that serves non-alcoholic beverages.
 - Retail Stores and Shops
 - Gymnastics/Dance Studio
 - Hotel, Full Service
 - Restaurant
 - Veterinarian Clinic and/or Kennel, Indoor
 - Office/Showroom
 - b. Uses permitted upon approval of a Specific Use Permit:
 - Restaurant with Drive-Through on any Lot other than Lot 2.
 - Alcoholic Beverage Establishment
 - Hotel, Limited Service "C"

3. Size of Yards:

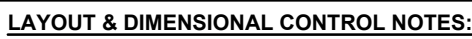
- a. Minimum Front yard: 30 Feet
- b. Minimum Side Yard:
 - Ten Feet Adjacent to any residential district.
 - No Side yard adjacent to any nonresidential district.
- c. Minimum Rear Yard.
 - Ten Feet Adjacent to any residential district.
 - No Side yard adjacent to any nonresidential district.
- d. Maximum Height: Four Stories, no greater than 60 feet above the primary entry level. (Height calculations do not include partially below grade levels)
- e. Maximum Floor Area: No Maximum Floor Area.

4. Architectural Regulations:

- a. All buildings on Lots 1 and 2 shall be consistent architecturally with the elevations provided within this PD.
 - Masonry 60%
 - Architectural Panel 20%
 - Awnings 10%
 - Stucco 10%
- b. All buildings on Lots 3 and 4 shall be consistent architecturally with the elevations provided within this PD.
 - Masonry 40% (Minimum Masonry Per Side 20%)
 - Architectural Panel 10%
 - Textured / Paint 40%
 - Stucco 20%
- c. All mechanical equipment shall be screened from public view. Rooftop mounted equipment shall be screened by a parapet wall or screening wall.
- d. Windows shall have a maximum exterior visible reflectivity of ten (10) percent.



Jones Jerral W Etal
Volume 5184 Page 212
O.P.R.C.C.T.
Land Use: Undeveloped

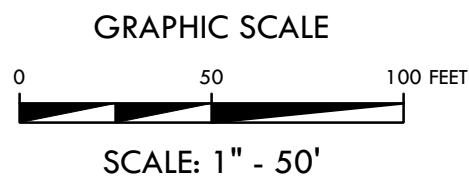


- NOTE TO CONTRACTOR:**
THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

SCREENING NOTE:
SCREENING SHALL BE PROVIDED WHERE RESIDENTIAL LOTS
ABUTS THE PROPOSED DEVELOPMENT PER THE ZONING
REQUIREMENTS AS OUTLINED IN THE PLANNED DEVELOPMENT
REGULATIONS.

DETENTION NOTE:
AN OFF-SITE REGIONAL DETENTION WILL BE DESIGNED TO ACCOMMODATE FOR THE INCREASE OF PROPOSED STORM DISCHARGE PRODUCED BY THIS DEVELOPMENT. DESIGN FOR THE OFF-SITE REGIONAL DETENTION WILL BE FINALIZED PRIOR TO SITE PLAN AND CIVIL DESIGN.

FLOOD PLAIN NOTE:
FEMA FLOODPLAIN RECLAMATION WILL BE DESIGNED DURING THE
CIVIL PERMIT PROCESS.



VICTORY AT FRONTIER SOUTH, LP
(INST. NO. 20180824001065580)
TOWN OF PROSPER, COLLIN COUNTY, TEXAS
PREPARATION DATE: XX/XX/XXXX

OWNER/APPLICANT
VICTORY REAL ESTATE GROUP
6125 LUTHER LANE STE 583
DALLAS, TX 75225-6202
PH: 214-934-2566
CONTACT: BOBBY MENDOZA

ENGINEER
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-488-4960
CONTACT: KE PROJECT PM, PE

LANDSCAPE ARCHITECT
LONDON LANDSCAPES
P.O. BOX 28
COLLINSVILLE, TEXAS 76233
PH: 972-800-0676
EMAIL: AMY_LONDON@
LONDON-LANDSCAPES.NET
CONTACT: AMY LONDON, RLA

SURVEYOR
BARTON CHAPA SURVEYING
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-864-1957
CONTACT: JACK BARTON, RPLS

VICTORY | GROUP
Victory Real Estate Group

6125 LUTHER LANE SUITE 583
DALLAS, TX 75225-6202
214-934-2566

VICTORY AT
FRONTIER - SOUTH
LOTS 1 - 4
TOWN OF PROSPER
COLLIN COUNTY, TEXAS

[illegible]

O	UM	ER:	I	10	1
ISSUE DATE:			/	/	0

CONCEPT PLAN

S EET:

C3.0



EXHIBIT E
DEVELOPMENT SCHEDULE

The development schedule critical path is through the Flood Plain reclamation and FEMA permitting process and assumes the PD Zoning Process will be complete by the 3rd Quarter 2022

1. FEMA Flood Plain – Permitting and Reclamation 1st Quarter of 2023
2. PSP, Site Plan and Building Permits for the infrastructure to serve each lot 3rd Quarter of 2023
3. Building Permits for Building on Lots 1, 2, and 3. Complete 4th Quarter of 2023
4. The remaining lots will developed as demand dictates.

Kind Regards,

Patrick Filson

Patrick Filson, P.E.

	NORTH ELEVATION	EAST ELEVATION	WEST ELEVATION	SOUTH ELEVATION
	AREA	AREA	AREA	AREA
TOTAL FACADE	2,864 SQ. FT. (100%)	1,258 SQ. FT. (100%)	1,258 SQ. FT. (100%)	2,864 SQ. FT. (100%)
MATERIALS EXCEPT GLAZING	2,084 SQ. FT. (73%)	1,084 SQ. FT. (86%)	1,084 SQ. FT. (86%)	2,084 SQ. FT. (73%)
* BRICK	519 SQ. FT. (20%)	480 SQ. FT. (38%)	480 SQ. FT. (38%)	811 SQ. FT. (28%)
* STONE	674 SQ. FT. (24%)	340 SQ. FT. (27%)	340 SQ. FT. (27%)	458 SQ. FT. (34%)
* CAST STONE	166 SQ. FT. (6%)	91 SQ. FT. (7%)	91 SQ. FT. (7%)	169 SQ. FT. (6%)
* ROOF SHINGLES	665 SQ. FT. (23%)	173 SQ. FT. (14%)	173 SQ. FT. (14%)	665 SQ. FT. (23%)
GLAZING/PENETRATION	780 SQ. FT. (27%)	174 SQ. FT. (14%)	174 SQ. FT. (14%)	261 SQ. FT. (9%)

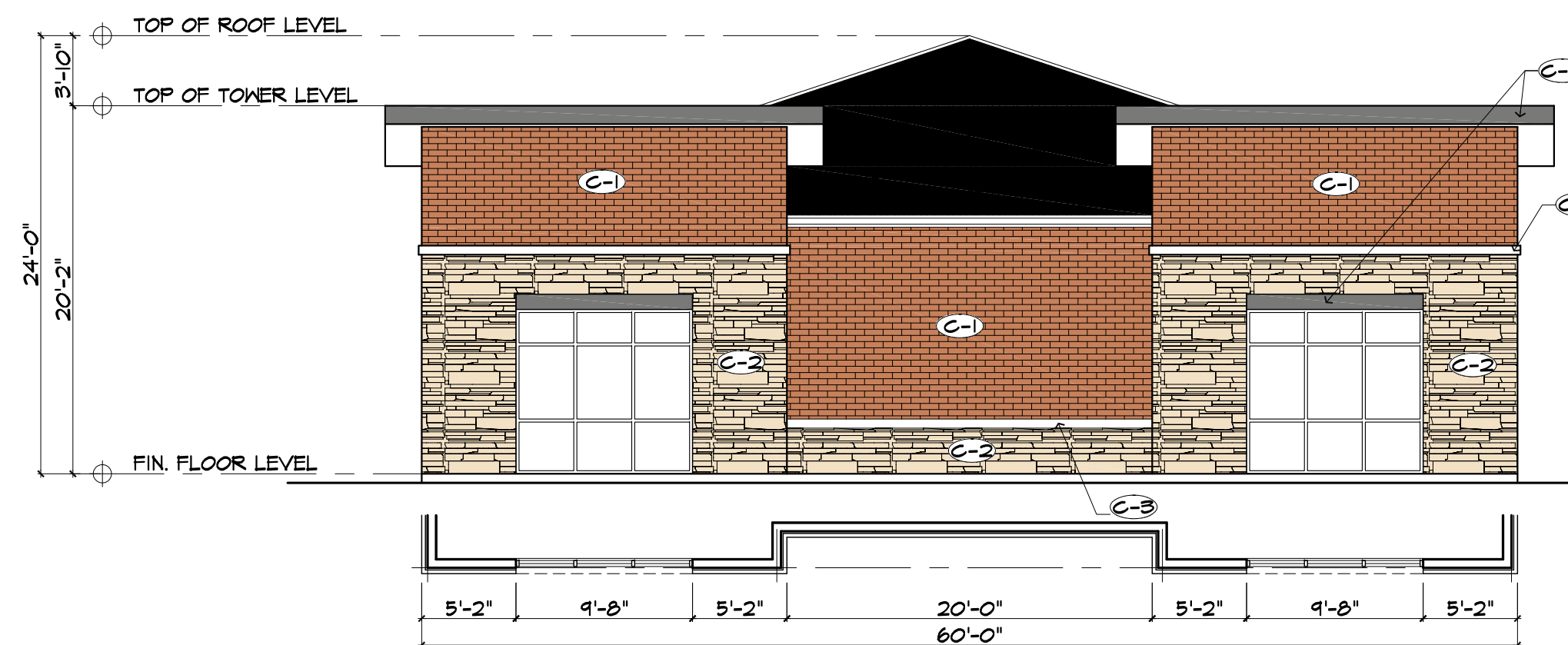
FINISH LEGEND	
	BRICK - ACME BRICK (CHURCHILL)
	BORAL PRO-FIT LEDGESTONE SOUTHWEST
	CAST STONE - COTTON WHITE (SW 7104)
	CAST STONE & PAINTED PASCIA WESTCHESTER GRAY (SW 2844)
FACADE NOTES	
<ul style="list-style-type: none">THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION.ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE THE SPECIFICATIONS OF THE ZONING ORDINANCE.WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION.WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.ANY DEVIATION FROM THE APPROVED FACADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.	



04 NORTH ELEVATION (REAR)
SCALE: 1/8"=1'-0"



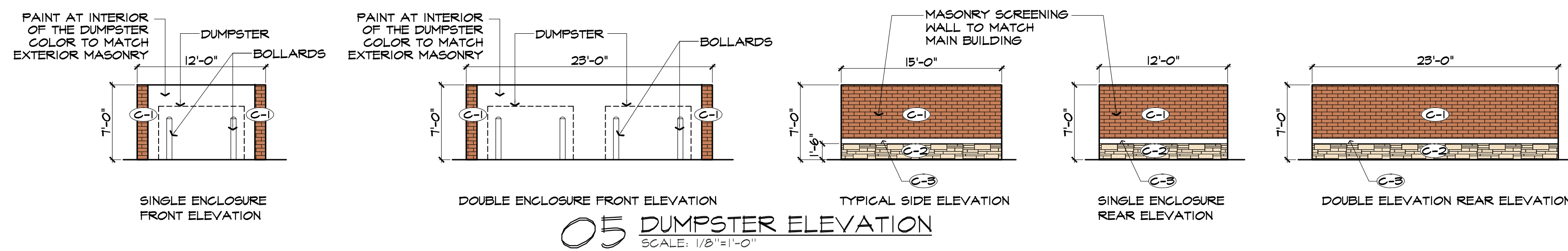
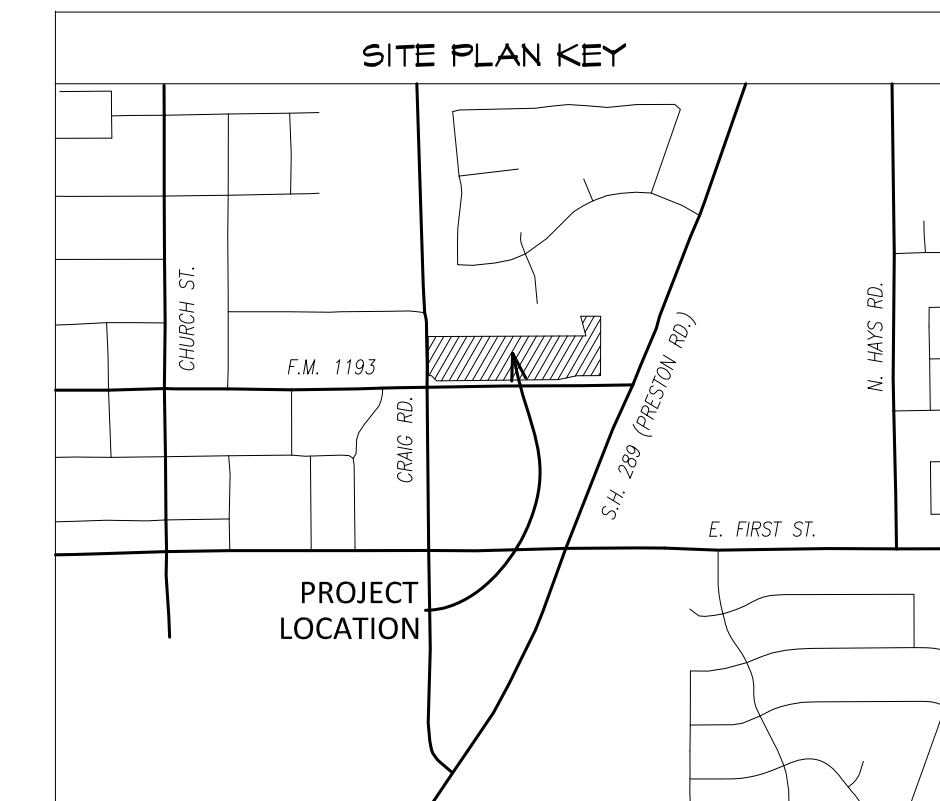
02 EAST ELEVATION (RIGHT)
SCALE: 1/8"=1'-0"



03 WEST ELEVATION (LEFT)
SCALE: 1/8"=1'-0"



01 SOUTH ELEVATION (FRONT)
SCALE: 1/8"=1'-0"



05 DUMPSTER ELEVATION
SCALE: 1/8"=1'-0"

ACTION	
APPROVED	DENIED
STAFF	DATE
STAFF	DATE
NEIGHBORHOOD #	

SEE THE STAFF APPROVAL LETTER OR P & Z RESULT MEMO FOR ANY CONDITIONS ASSOCIATED WITH THE THE APPROVAL OF THE PROJECT.

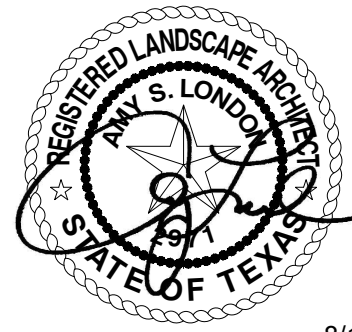
City Project No.

MEDICAL - RETAIL OFFICES
WINIKATES NORTH
S.H. 289 PRESTON RD.
TOWN OF PROSPER, TEXAS
Preparation Date: 08/11/21

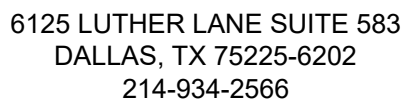
OWNER
Prosper Texas Capital LLC
1225 Baynes Drive
McKinney, TX 75071,0034
Telephone: (214) 278-4808
Email: j_patel22@yahoo.com

ENGINEER

APPLICANT
ADR-DESIGNS-LLC
TOTAL DESIGN MANAGERS
601 SADDLE HILL DRIVE,
GRAND PRAIRIE, TX 75050
PH: 972-262-1333
FAX: 214-272-2987
E-Mail: adrdesignsllc@adrdesigns.com



8/10/2:



VICTORY AT
FRONTIER - SOUTH
LOTS 1 - 4
TOWN OF PROSPER
COLLIN COUNTY, TEXAS

LANDSCAPE CALCULATIONS

A MINIMUM 10% OF PLATTED AREA TO BE LANDSCAPED

- REQUIRED: LANDSCAPE AREA:
27,592 SF
 - PROVIDED: LANDSCAPE AREA:
56,757 SF
- 30' LANDSCAPE BUFFER ALONG PRESTON ROAD MEASURED FROM THE PROPERTY LINE**
- REQUIRED: 1 CANOPY TREE FOR EVERY 30 LINEAR FEET
397.1 LF / 30 = 14 TREES
 - PROVIDED: 14 TREES
 - REQUIRED: A MINIMUM OF 15 SHRUBS WITH A MINIMUM SIZE OF FIVE (5) GALLONS EACH WILL BE PLANTED IN THE LANDSCAPE AREA FOR EVERY 30 LINEAR FEET OF FRONTAGE
397.1 LF / 30 = 14 X 15 SHRUBS = 210 SHRUBS
 - PROVIDED: 279 SHRUBS
- 5' LANDSCAPE BUFFER ALONG THE PERIMETERS OF THE PROPERTY**
- REQUIRED: ONE SMALL TREE AND ONE FIVE-GALLON SHRUB SHALL BE PLANTED EVERY 15 LINEAR FEET.
SOUTH: 350 LF / 15 = 23 TREES AND 23 SHRUBS
WEST: 332 LF / 15 = 22 TREES AND 22 SHRUBS
NORTH: 769.35 LF / 15 = 52 TREES AND 52 SHRUBS
 - PROVIDED:
SOUTH: 27 TREES AND 39 SHRUBS
WEST: 22 TREES AND 32 SHRUBS
NORTH: 45 TREES AND 99 SHRUBS
 - BORDERING CHURCH PROPERTY:
REQUIRED: 347 LF / 1 EVERGREEN TREE/ 30' = 12 TREES
1 NELLIE R STEVENS' EVER 6" = 58 SHRUBS
 - PROVIDED: 12 TREES AND 58 SHRUBS

INTERIOR PARKING LANDSCAPING (ALL REQUIRED AND PROVIDED)

- REQUIRED: 15 SQ. FT. OF LANDSCAPING FOR EACH PARKING SPACE SHALL BE PROVIDED WITHIN THE PAVED BOUNDARIES OF THE PARKING LOT AREA.
 - PROVIDED: YES
 - REQUIRED: LANDSCAPE ISLAND (160 SF & NO LESS THAN 9' WIDE AND AN EQUAL LENGTH TO THE ABUTTING PARKING SPACE) AT THE END OF EVERY PARKING ROW WITH A CANOPY TREE
 - PROVIDED: YES
 - REQUIRED: EVERY 15 PARKING SPACES MUST BE INTERRUPTED BY A LANDSCAPE ISLAND
 - PROVIDED : YES
 - REQUIRED: A CANOPY TREE WITHIN 150 FEET OF EVERY PARKING SPACE
 - PROVIDED: YES
- DRIVE THRU LANDSCAPING**
- REQUIRED: 1 TREE PER 15 LF AND SHRUBS 3' O.C.
 - PROVIDED: 1 TREE 15 LF AND SHRUBS 3' O.C.

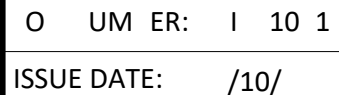


EXHIBIT C
LANDSCAPE
PLAN

S EET:

L1.00



PLANNING

To: Planning & Zoning Commission

Item No. 6

From: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – August 16, 2022

Agenda Item:

Conduct a Public Hearing, and consider and act upon a request to rezone 11.3+- acres of Commercial (C) to Planned Development-Commercial (PD-C) to allow uses such as luxury office/warehouse, automobile storage, and recreational vehicle parking, located on the west side of Coleman Street, south of Prosper Trail. (Z22-0008).

Description of Agenda Item:

The zoning and land use of the surrounding properties are as follows:

	Zoning	Current Land Use	Future Land Use Plan
Subject Property	Commercial	Undeveloped	Retail & Neighborhood Services District
North	Commercial	Eagles Crossing	Retail & Neighborhood Services District
East	Single Family-15	Prosper ISD	Medium Density Residential
South	Commercial & Single Family-15	Undeveloped & Dairy Manufacturers Inc	Retail & Neighborhood Services
West	Planned Development-26	Undeveloped	Business Park

Requested Zoning – The purpose of this request is to rezone 11.3+- acres of Commercial (C) to Planned Development-Commercial (PD-C) to allow uses such as luxury office/warehouse, automobile storage, and recreational vehicle parking. The applicant is proposing updates to the uses, design standards, and architectural standards as mentioned below.

- a. Uses: Uses Permitted by Right
- Automobile Storage

- Recreational Vehicle / Truck Parking Lot or Garage (RV Parking)
- Luxury Office / Warehouse

It is important to note that all uses shall be enclosed within a building. No open storage will be permitted.

As shown on Exhibit D, the site provides adequate parking and stacking. Exhibit F shows a conceptual rendering of the architectural look and style of the building. The applicant is proposing the office/warehouse to be primarily made of brick as shown below. All other buildings not shown on Exhibit F will be metal buildings with masonry veneer. The applicant has agreed to enter a development agreement regarding the building materials.



Exhibit G is a conceptual landscape plan, which depicts the location of required landscaping. The landscaping meets the minimum standards of the Town's Zoning Ordinance.

Future Land Use Plan – The Future Land Use Plan recommends Retail & Neighborhood Services District for the subject property. The proposed zoning request conforms to the Future Land Use Plan.

Retail and Neighborhood Services

Neighborhood services typically include retail establishments that provide merchandise for retail sale, banks, neighborhood office and small medical offices. Retail uses are particularly important because they contribute to Prosper's tax base through both property and sales taxes, making their inclusion attractive and often times competitive. Within Prosper, neighborhood service uses will likely occur at major intersections along the Dallas North Tollway, Highway 380 and Preston Road corridors. Neighborhood service uses should also be strategically placed along the Town's perimeter in order to attract patrons from neighboring communities, enhancing sales tax revenue opportunities. The majority of neighborhood service activity within Prosper will likely be included within the Dallas North Tollway, Highway 380, Town Center and Old Town districts.



Thoroughfare Plan – The property has direct access to the Coleman Road. This request conforms to the Thoroughfare Plan.

Parks Master Plan – The Parks Master Plan does not indicate a park is needed on the subject property.

Legal Obligations and Review:

Notification was provided to neighboring property owners as required by the Zoning Ordinance and state law. To date, staff has not received any Public Hearing Notice Reply Forms in response to this request.

Attached Documents:

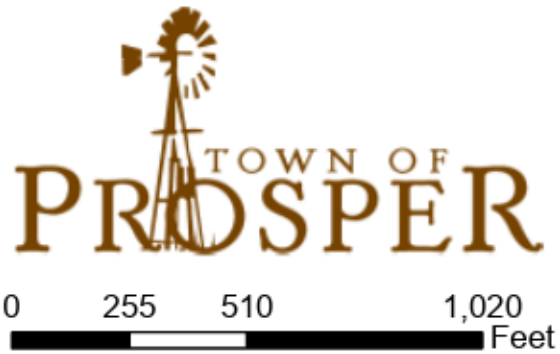
1. Aerial and Zoning Maps
2. Proposed Exhibits

Staff Recommendation:

Town staff does recommend that the Planning & Zoning Commission approve the request.

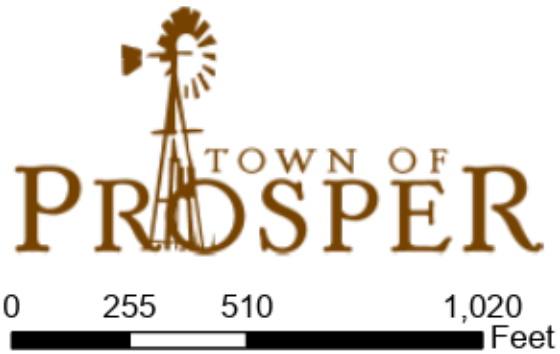
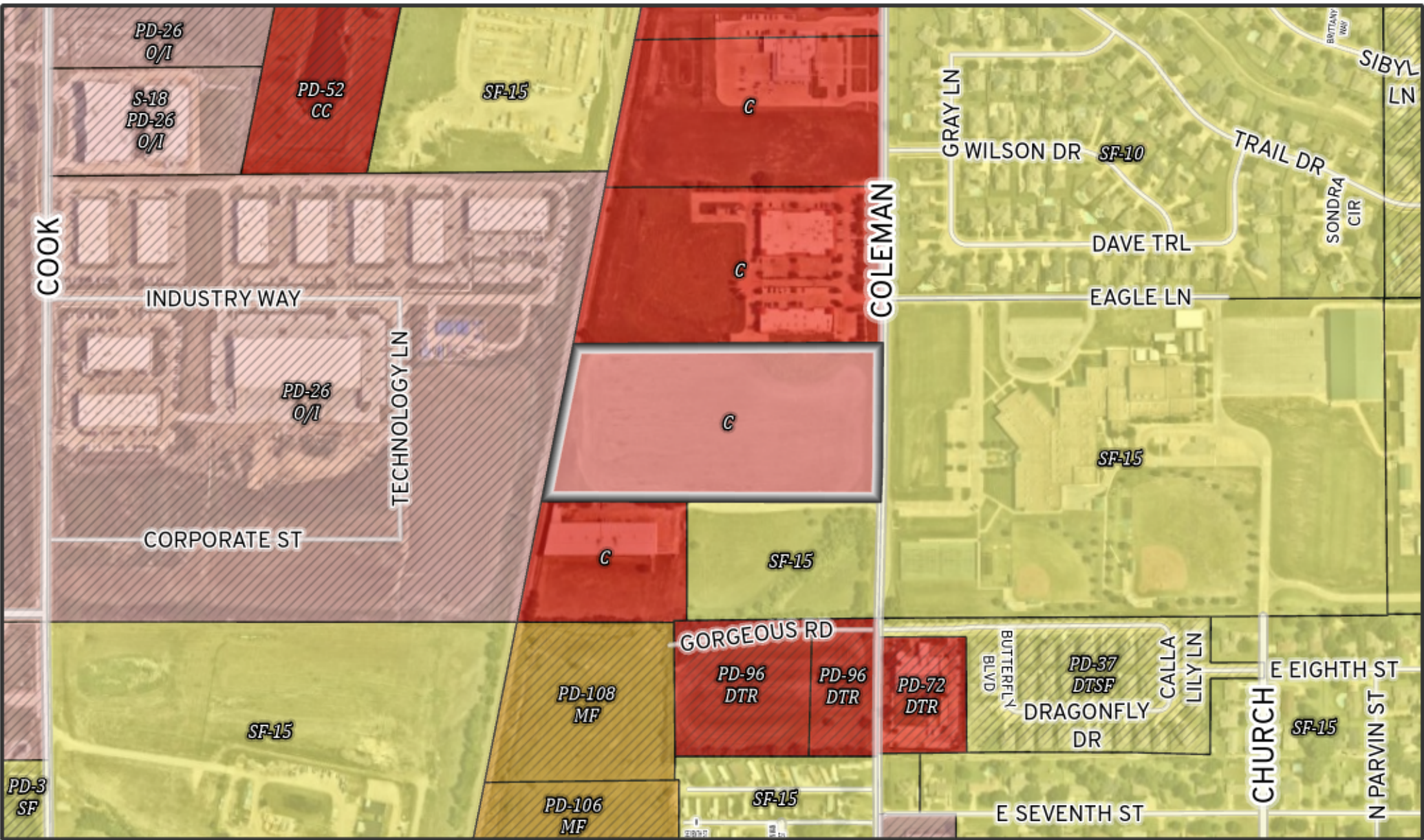
Town Council Public Hearing:

Upon a recommendation by the Planning & Zoning Commission, a Public Hearing on this item will be scheduled for the Town Council at their Regular meeting on September 13, 2022.



This map for illustration purposes only

Z22-0008
Premier Storage
Planned Development



This map for illustration purposes only

Z22-0008
Premier Storage
Planned Development

LEGAL DESCRIPTION

BEING an 11.29 acre tract of land out of the Collin County School Land Survey, Abstract Number 147, situated in the Town of Prosper, Collin County, Texas, being all of a called 11.296 acre tract of land conveyed to Coleman Street 11 Acre Partners, LLC, by deed of record in Document Number 20191007001251960 of the Official Public Records of Collin County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING, at a PK Nail found in Coleman Street (right-of-way varies), being the Northeast corner of a called 9.2956 acre tract of land conveyed to James E. Rowland by deed of record in Volume 3402, Page 451 of said Official Public Records, also being the Southeast corner of said 11.296 acre tract and hereof;

THENCE, S89°57'38"W, leaving Coleman Street, along the South line of said 11.296 acre tract, being in part, the common North line of said 9.2956 acre tract, and in part, the common North line of a called 4.00 acre tract of land conveyed to Dairy Manufacturers, Inc. by deed of record in Volume 3510, Page 179 of said Official Public Records, a distance of 1028.72 feet to a 3/8 inch iron rod found in the East right-of-way line of the Burlington Northern Santa Fe Railroad (100-foot right-of-way), being the Northwest corner of said 4.00 acre tract, also being the Southwest corner of said 11.296 acre tract and hereof;

THENCE, N11°24'21"E, along the East right-of-way line of said Burlington Northern Santa Fe Railroad and the common West line of said 11.296 acre tract, a distance of 509.85 feet to a 1/2 inch iron rod found at the Southwest corner of Lot 3, Block A of Eagles Crossing Addition, a subdivision of record in Volume 2011, Page 245 of the Plat Records of Collin County, Texas, being the Northwest corner of said 11.296 acre tract and hereof;

THENCE, N89°54'48"E, leaving the East right-of-way line of said Burlington Northern Santa Fe Railroad, along the North line of said 11.296 acre tract, being in part, the common South line of said Lot 3, and in part, the common South line of Lot 2 of said Block A, passing at a distance of 891.93 feet a 1/2 inch iron rod with red plastic cap stamped "GEER 4117" found at the Southeast corner of said Lot 2, and continuing for a total distance of 937.81 feet to a PK Nail found in Coleman Street, being the Northeast corner of said 11.296 acre tract and hereof;

THENCE, along Coleman Street and the East line of said 11.296 acre tract, the following two (2) courses and distances:

1. S00°16'52"W, a distance of 23.04 feet to a PK Nail found;
2. S01°10'33"W, a distance of 477.56 feet to the **POINT OF BEGINNING**, and containing an area of 11.29 acres (491,797 square feet) of land, more or less.



EAGLE SURVEYING, LLC
210 S. ELM STREET
SUITE: 104
DENTON, TX 76201
(940) 222-3009
TX FIRM # 10194177

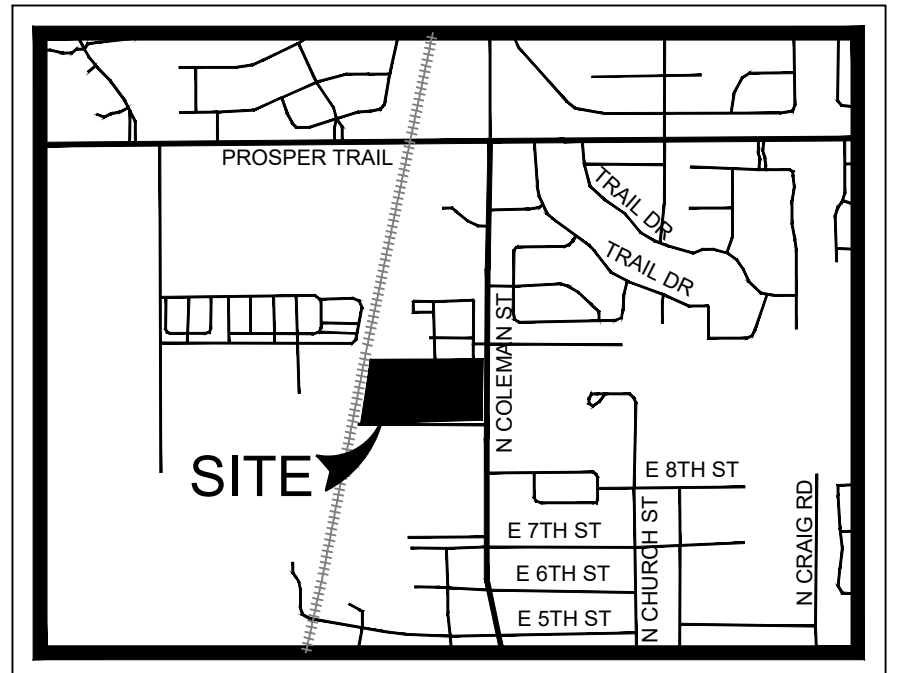
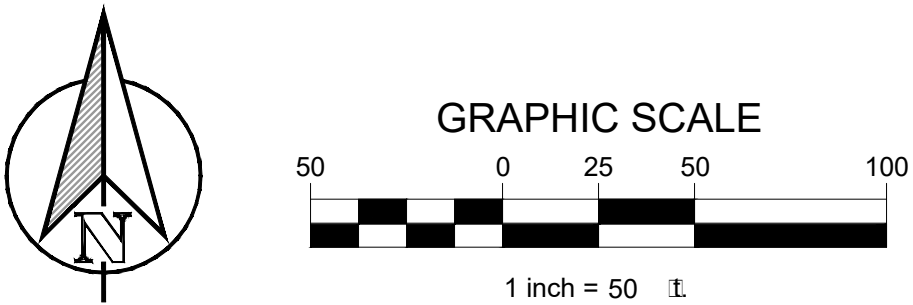
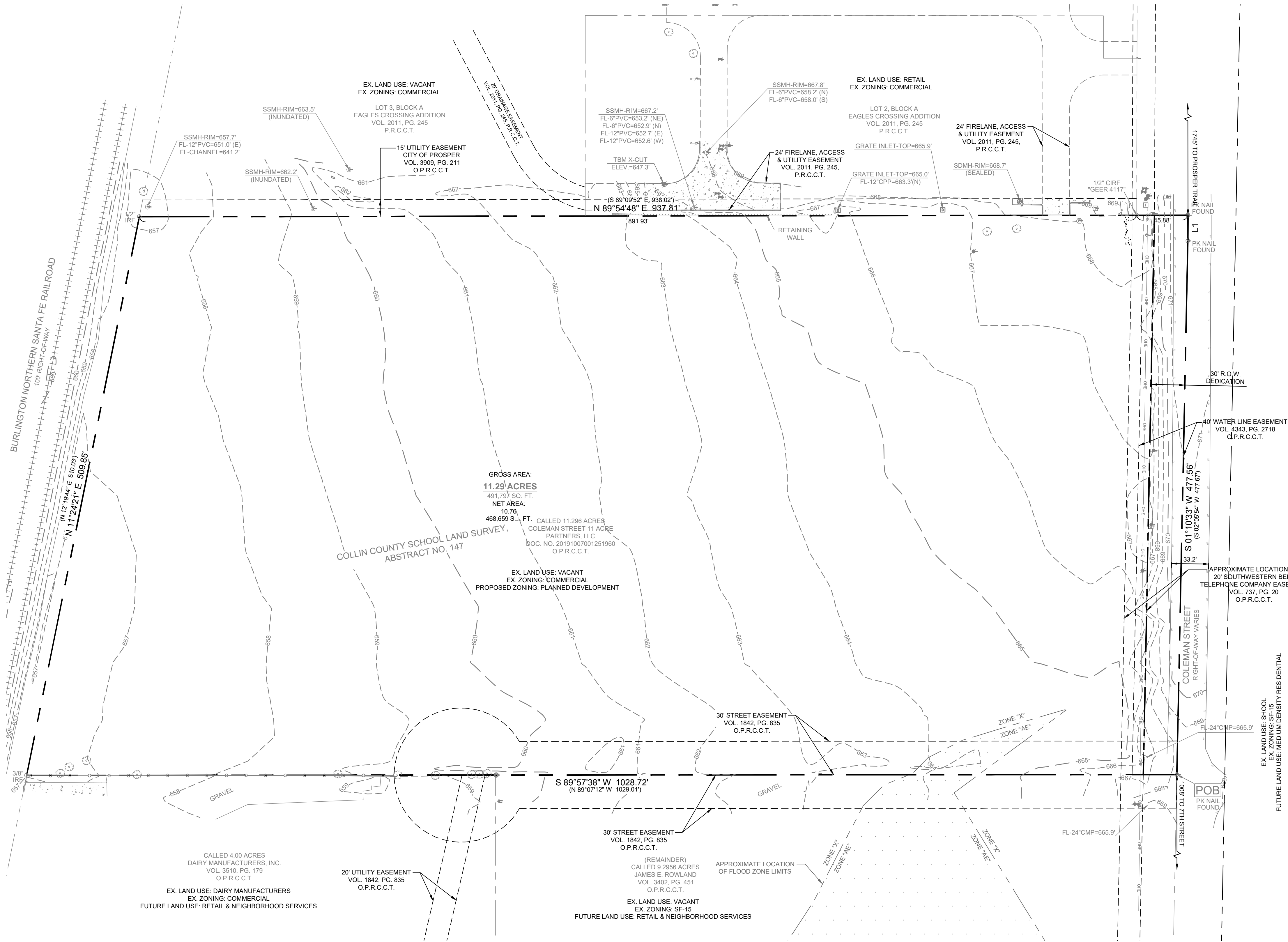
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a Registered Professional Land Surveyor under the laws of the State of Texas.

Matthew Raabe
Matthew Raabe
R.P.L.S. # 6402
12-14-21
Date



JOB NUMBER	DRAWN BY	DATE
2110.068-02	MJR	12/02/2021

PLOTTED BY: SANTIAGO DURAN
PLOT DATE: 7/19/2022 8:44 AM
LOCAL FSD: C:\PUBLIC\PROJECTS\2021-217 BEATY COLEMAN PROSPER\CADD\SHEETS\EXH-A EXHIBIT A.DWG
LAST SAVED: 4/11/2022 11:19 AM



LEGAL DESCRIPTION

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- S01°10'33"W, a distance of 477.56 feet to the **POINT OF BEGINNING**, and containing an area of 11.29 acres (491,797 square feet) of land, more or less.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a Registered Professional Land Surveyor under the laws of the State of Texas.

Matthew Raabe
R.P.L.S. # 6402
Date 12-14-21



CASE #: 222-0008

PREMIUM GARAGES	
EXHIBIT A	
DEVELOPER:	
NAME 000 ADDRESS CITY, ST 0000 PH: 000.000.0000	
APPLICANT:	
CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	
SURVEYOR:	
EAGLE SURVEYING, LLC 210 SOUTH ELM STREET, SUITE #104 DENTON, TX 76201 PH: 940.222.3009	
LEGAL DESCRIPTION:	
11.296 ACRE TRACT OF LAND CONVEYED TO COLEMAN STREET 11 ACRE PARTNERS, LLC BY DEED OF RECORD DOC. # 20191007001251960 OF THE OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS	
CITY: PROSPER	STATE: TEXAS
COUNTY: COLLIN	SURVEY: COLLIN CO SCHOOL LAND SURVEY
ABSTRACT NO. 147	

FLOODPLAIN NOTE

THE PROPERTY IS LOCATED IN NON-SHADED ZONE "X" AND ZONE "AE" AS SCALED FROM THE F.E.M.A. FLOOD INSURANCE RATE MAP DATED JUNE 2ND, 2009 AND IS LOCATED IN COMMUNITY NUMBER 480141 AS SHOWN ON MAP NUMBER 48085C0235J, AS AFFECTED BY LETTER OF MAP REVISION TO THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS WITH CASE NO. 17-06-1828P, EFFECTIVE JANUARY 18, 2016. THE LOCATION OF THE FLOOD ZONE IS APPROXIMATE. FOR EXACT FLOOD ZONE DESIGNATION, PLEASE CONTACT 1-(877) FEMA MAP.

TEXAS REGISTRATION #14199

CLAYMOORE ENGINEERING

1105 CHER SPARGER RD. SUITE #1
COLEVILLE, TX 76034
PHONE 817.281.0002
WWW.CLAYMOORE.COM

PRELIMINARY

FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANT

Engineer: **MATT MOORE**
P.E. No. **95813** Date **JUNE, 2022**

**PREMIUM GARAGES
COLEMAN STREET
TOWN OF PROSPER, TX**

No.	DATE	REVISION	BY

EXHIBIT A

EXH-A

DESIGN:	JEV
DRAWN:	JEV
CHECKED:	MAM
DATE:	7/19/2022
SHEET	
File No. 2021-217	

CASE # Z 22-0008

Prosper Coleman Maker Space / Luxury Warehouses / Artisan Suites

EXHIBIT B

Statement of Intent and Purpose

The Intent and Purpose of the Proposed Planned Development District is to add two uses that normally require an SUP to the approved uses under the existing Commercial Zoning and to add restrictions to the additional proposed use further defined as Luxury Office / Warehouse spaces to be constructed within the Proposed Planned Development District.

CASE # Z 22-0008

Prosper Coleman Maker Space / Luxury Warehouses / Artisan Suites

EXHIBIT C

PLANNED DEVELOPMENT STANDARDS

The proposed development will conform to the development standards of the Commercial District of the Town of Prosper's Zoning Ordinance, as it exists or may be amended, and Subdivision Ordinance, as it exists or may be amended, except as otherwise set forth in these Development Standards.

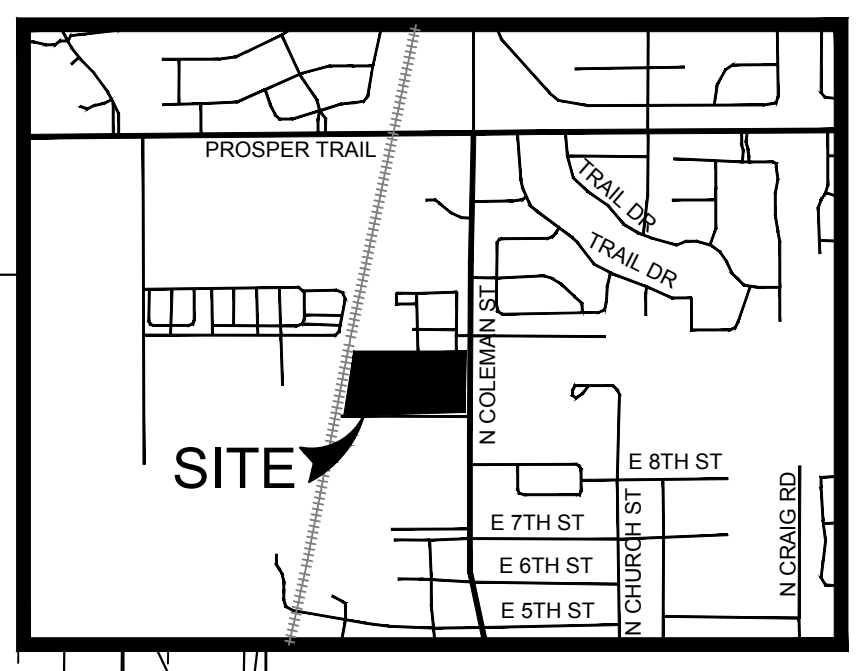
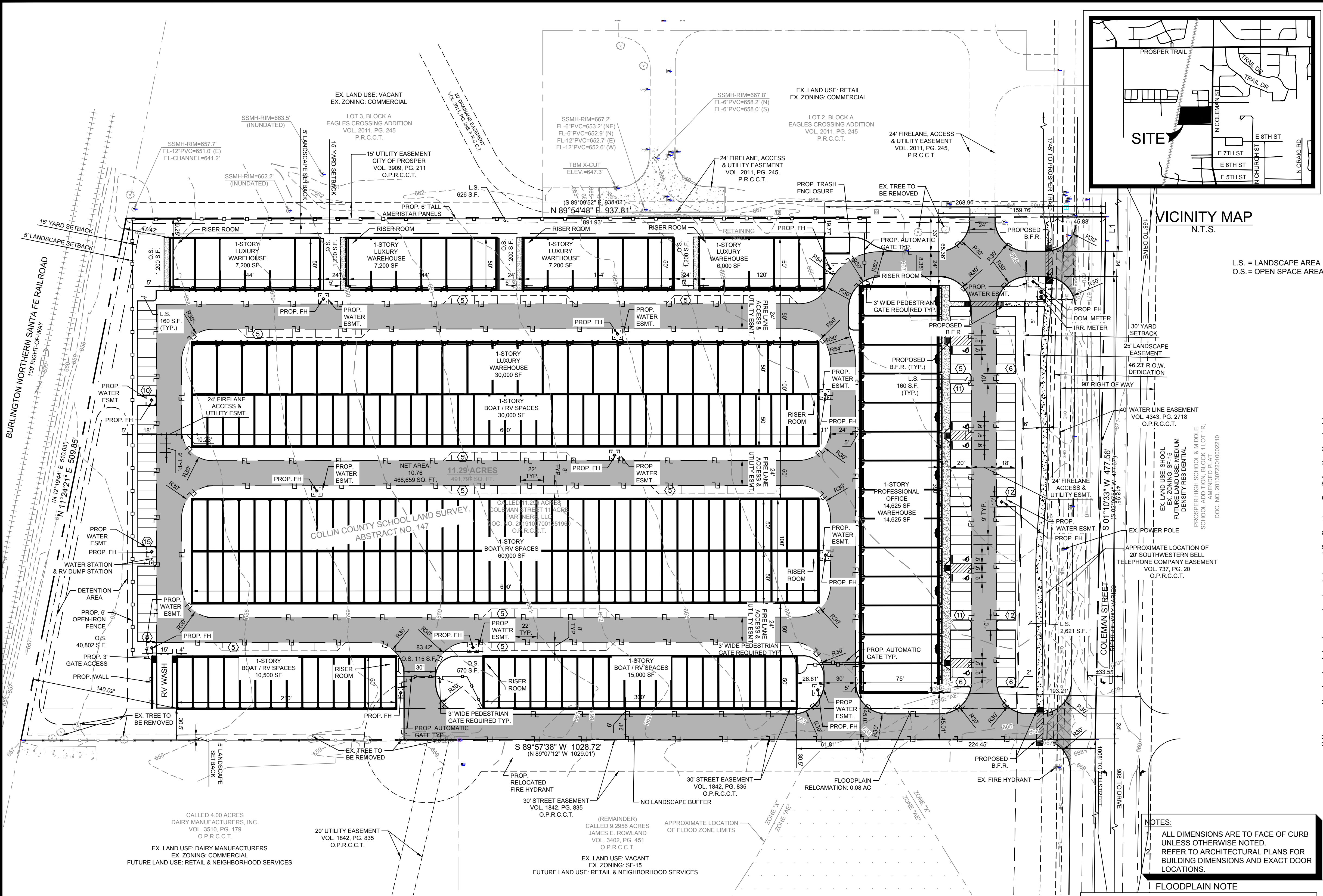
- 1) Except as noted below, the Tract shall develop in accordance with the Commercial District requirements of the Town of Prosper's Zoning Ordinance, as it exists or may be amended.
- 2) Development Plans
 - a) Concept Plan: The tract shall be developed in general accordance with the attached concept plan, set forth in Exhibits D.
 - b) Elevations: The tract shall be developed in general accordance with the attached elevations, set forth in Exhibits F.
 - c) Landscape Plan: The tract shall be developed in general accordance with the attached landscape plan, set forth in Exhibit G.
- 3) Uses. Uses shall be permitted in accordance with the Commercial District with the following additions:
 - a) Automobile Storage
 - b) Recreational Vehicle / Truck Parking Lot or Garage (RV Parking)
 - c) Luxury Office / Warehouse to be defined as:
 - i) Individual Office / Warehouse Suites to be located within the interior of the development
 - ii) No Suite shall exceed two stories in height, and no greater than thirty feet (30.0' above final grade level.

CASE # Z 22-0008

Prosper Coleman Maker Space / Luxury Warehouses / Artisan Suites

- v) Roof-mounted mechanical equipment, if utilized, shall be screened in a manner such that no equipment is visible from Coleman Street.
 - vi) Luxury Office / Warehouse suites may be utilized to conduct business in the form of Personal Office uses by the Tenants. Storefront retail uses will not be permitted within the Luxury Office / Warehouse Suites and is constrained to buildings Directly facing Coleman Street and/or Buildings fronting on to the Mutual Access Easement along the southern portion of the property.
 - vii) No portion of the Property may be used for residential purposes.
- 4) Regulations:
- a) All Luxury Office / Warehouse spaces to be subject to typical Commercial Occupancy Requirements, including no overnight stays or habitation.
 - b) No further subdivision of enclosed RV Parking in to smaller Storage units to be permitted
 - c) All Buildings to be constructed of Metal with Masonry Veneers as applicable under the approved elevations and Concept Plan.
 - d) Auctions: Auctions related to the sale of private property held in Storage Units and / or Luxury Office / Warehouse Suites for the purposes of recovering unpaid units as authorized by law shall be permitted to be held on-site no more than two (2) times per calendar year subject to an application to the Town of Prosper for a Temporary Use / Special Event Permit.
 - e) No landscape setback required along Southern property line.
 - f) Automobile storage, recreational vehicle/ truck parking lot or garage (RV parking) will be enclosed within a building.

PLOTTED BY: DREW DONOSKY
 PLOT DATE: 8/6/2022 10:39 PM
 LOCATION: Z:\PROJECTS\PROJECTS\2021-217 BEATTY COLEMAN PROSPER\CADD\PROJECTS\EXH-D EXHIBIT D.DWG
 LAST SAVED: 7/27/2022 10:41 AM



GRAPHIC SCALE
1 inch = 50 ft.

LEGEND

- FIRE LANE PER TOWN OF PROSPER STANDARDS
- CONCRETE PER TOWN OF PROSPER STANDARDS
- PROPOSED CONCRETE SIDEWALK, SEE DETAIL SHEET ####
- PROPOSED PUBLIC SIDEWALK PER TOWN STANDARDS
- PROPOSED CONCRETE CURB AND GUTTER
- PARKING COUNT
- PROPOSED FIRE LANE STRIPPING

- TOWN OF PROSPER SITE PLAN GENERAL NOTES:
- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
 - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
 - ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
 - BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 - FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
 - TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
 - SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
 - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
 - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
 - ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
 - SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) IN WIDTH ALONG RESIDENTIAL STREETS, AND BARRIER FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
 - APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING DEPARTMENT.
 - SITE PLAN APPROVAL IS REQUIRED PRIOR TO GRADING RELEASE.
 - ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
 - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - THE APPROVAL OF A SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF EIGHTEEN (18) MONTHS FROM THE DATE OF APPROVAL BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED APPROVAL OF ENGINEERING PLANS AND BUILDING PERMITS. IF THE ENGINEERING PLANS AND BUILDING PERMITS ARE NOT APPROVED, THE SITE PLAN APPROVAL, TOGETHER WITH ANY PRELIMINARY SITE PLAN FOR THE PROPERTY, IS NULL AND VOID.

CASE #: 222-0008

PREMIUM GARAGES

EXHIBIT D

OWNER:
AMR PROSPER PREMIUM STORAGE LLC
200 CRESCENT COURT, SUITE 1820
DALLAS, TX 75201
PH: [REDACTED] CONTACT NAME: JENNA ALAME

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572 CONTACT NAME: MATT MOORE

SURVEYOR:
EAGLE SURVEYING, LLC
210 SOUTH ELM STREET, SUITE #104
DENTON, TX 76201
PH: 940.222.3009 CONTACT NAME: MATTHEW RAABE

LEGAL DESCRIPTION:
11.296 ACRE TRACT OF LAND CONVEYED TO COLEMAN STREET 11 ACRE PARTNERS, LLC BY DEED OF RECORD DOC. # 20191007001251980 OF THE OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS

CITY: PROSPER STATE: TEXAS

COUNTY: COLLIN SURVEY: COLLIN CO SCHOOL LAND SURVEY ABSTRACT NO. 147

SITE DATA SUMMARY														
LOT	EX. ZONING / PROPOSED ZONING	PROPOSED USE	LOT SIZE (ACRES)	NET LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	NET LOT SIZE (SQ. FT.)	BOAT / RV SPACES BLDG AREA	BLDG HGT. (FT)	LOT COVERAGE		PARKING			TOTAL IMPERVIOUS (SQ. FT.)
									REQ.	PROV.	BOAT / RV SPACES REQ. RATIO	REQ.	PROV.	
COLEMAN STREET 11 AC PARTNERS, LLC	C / PLANNED DEVELOPMENT	BOAT & RV SPACES / LUXURY WAREHOUSE / PROFESSIONAL OFFICE	11.29	10.76	491,797	468,659	115,500	1 STORY	50% MAX	40.1%	4 PER COMPLEX	16	17	396,306 81%
		LUXURY WAREHOUSE BLDG AREA									REQ.	PROV.		
											1/1000 SF	73	73	
		PROFESSIONAL OFFICE									PROFESSIONAL OFFICE REQ. RATIO	REQ.	PROV.	
											1/350 SF	42	59	
		TOTAL BLDG. AREA (SQ. FT.)									TOTAL PARKING	149	149	

TEXAS REGISTRATION #14199

CLAYMOORE ENGINEERING

PHONE 817.281.0572
1108 CREEK SPRINGER RD. SUITE #1
COLLEVILLE, TX 76034
WWW.CLAYMOOREENR.COM

PRELIMINARY

FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANT
Engineer: **MATT MOORE**
P.E. No. **95813** Date **JUNE 2022**

**PREMIUM GARAGES
COLEMAN STREET
TOWN OF PROSPER, TX**

NO.	DATE	REVISION	BY

EXHIBIT D

DESIGN: JEV
DRAWN: JEV
CHECKED: MAM
DATE: 8/9/2022

SHEET
EXH-D

File No. 2021-217



Exhibit E – Premier Storage Development Schedule

Below is an anticipated project schedule for the proposed storage development located along Coleman. This schedule is conceptual and subject to change based on permitting/entitlements. Once obtained, then the permitting approvals will start with the Town.

Zoning Submittal to Town – March 2022

Zoning Approval from Town – September 2022

Start Construction – December 2022

Construction Complete – December 2023

Thank you and please call if you have any comments or need additional information.

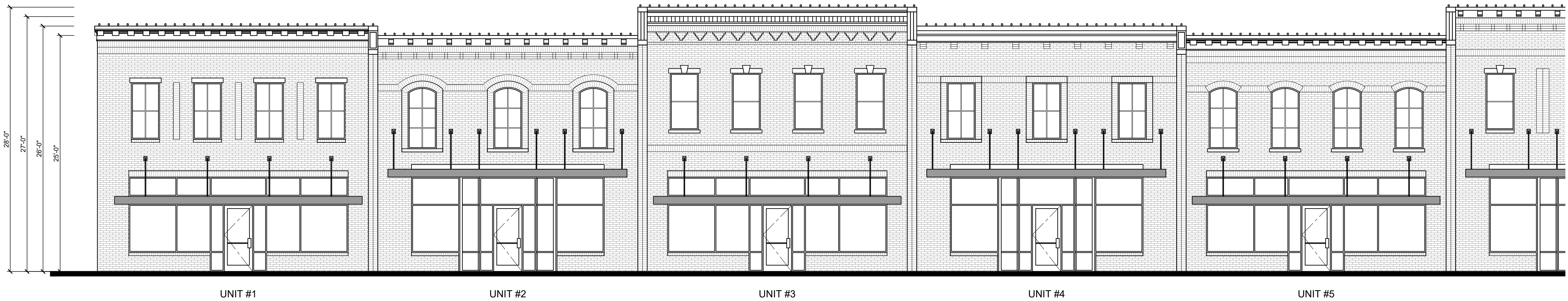
Sincerely,

A handwritten signature in black ink, appearing to read "Drew Donosky". The signature is fluid and cursive, with the first name "Drew" and last name "Donosky" clearly distinguishable.

Drew Donosky, P.E.



1 LUXURY OFFICE / WAREHOUSE OVERALL STREET ELEVATION
A1.3 1/16"=1'-0"



2 LUXURY OFFICE / WAREHOUSE 1 THRU 5 STREET ELEVATION
A1.3 3/16"=1'-0"



3 LUXURY OFFICE / WAREHOUSE 6 THRU 10 STREET ELEVATION
A1.3 3/16"=1'-0"

Laurie Murphy Architect
3073 Damsel Sauvage Ln, Lewisville, TX 75056
lmurphy@lauriemurphyarchitect.com
www.lauriemurphyarchitect.com



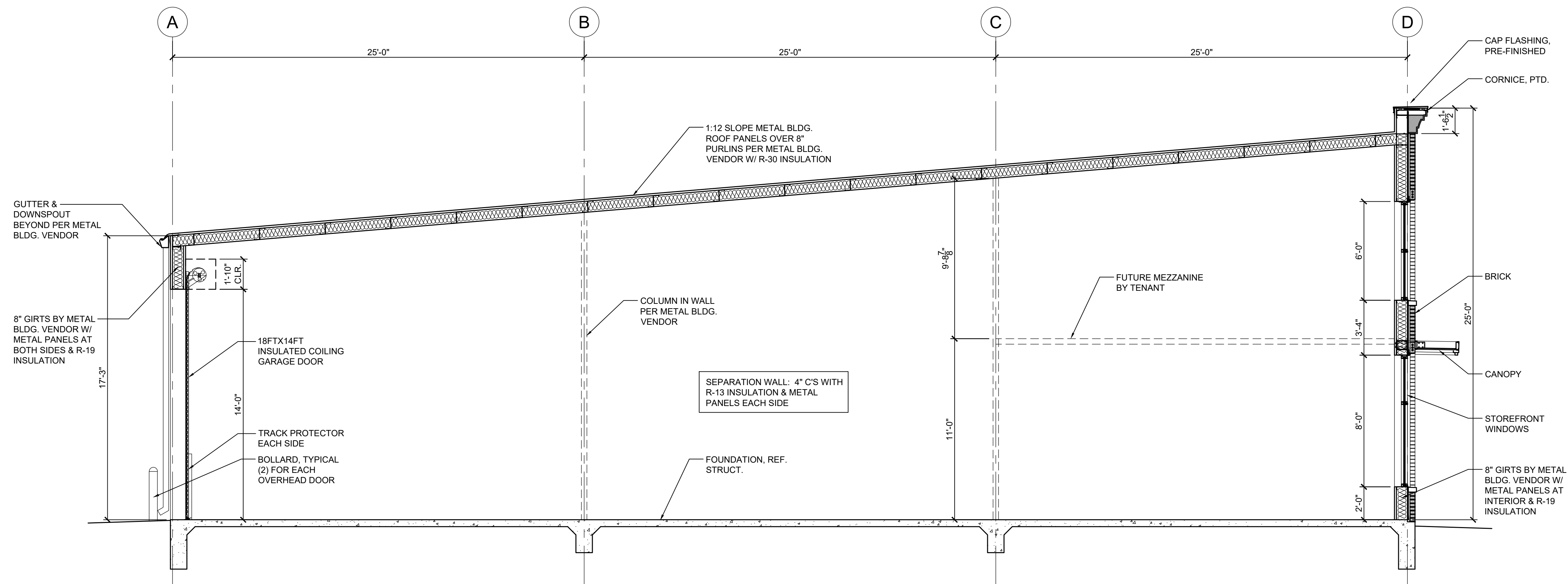
AMR PREMIUM STORAGE
COLEMAN STREET
PROSPER, TEXAS 75078

Project Name:	AMR PREM.
Project No:	2291-000
Date:	02/24/2022
Drawn By:	LM
Checked By:	LM

SHEET
A1.3



UNIT #11 UNIT #12 UNIT #13 UNIT #14
1 LUXURY OFFICE / WAREHOUSE 11 THRU 14 STREET ELEVATION
A1.4 3/16"=1'-0"



2 LUXURY OFFICE / WAREHOUSE TYPICAL BUILDING SECTION
A1.4 1/4"=1'-0"



PLANNING

To: Planning & Zoning Commission

Item No. 7

From: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – August 16, 2022

Agenda Item:

Conduct a Public Hearing, and consider and act upon a request to rezone 5.6± acres from PD-21 and Single Family-15 (SF-15) to a new Planned Development-Office/Retail (PD-O/R) for office and retail uses, located on the west side of Preston Road north of Broadway Street. (Z22-0014).

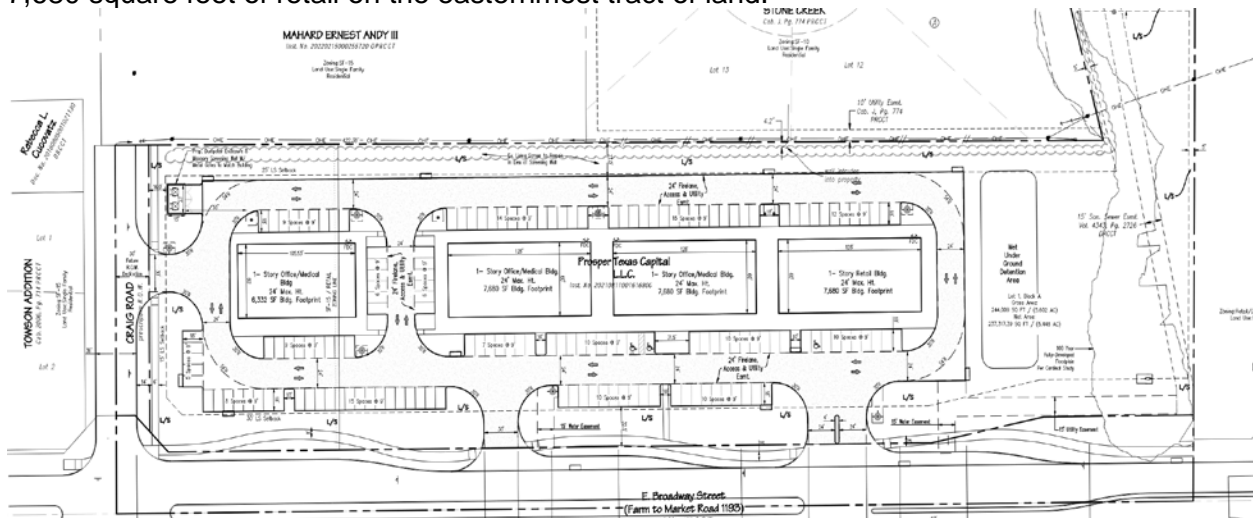
Description of Agenda Item:

The zoning and land use of the surrounding properties are as follows:

	Zoning	Current Land Use	Future Land Use Plan
Subject Property	PD-21 and Single Family-15 (SF-15)	Undeveloped	Retail & Neighborhood Services District
North	Single Family-15 (SF-15)	Victory at Frontier	Medium Density Residential
East	Retail	Undeveloped	Retail & Neighborhood Services District
South	Planned Development-93	Office/Retail	Retail & Neighborhood Services
West	Single Family-15 (SF-15)	Single Family Residences	Old Town District

Requested Zoning – The purpose of this request is to rezone 5.6± acres from PD-21 and Single Family-15 (SF-15) to a new Planned Development-Office/Retail (PD-O/R) for office and retail uses. The current property currently allows office and retail except for the westernmost tract which is zoned Single Family-15. The applicant is proposing to rezone the entire tract to develop the property with four buildings approximately 21,692 square feet of office /medical use and

7,680 square feet of retail on the easternmost tract of land.



As shown on Exhibit D, the site provides adequate parking and stacking. Exhibit F shows a conceptual rendering of the architectural look and style of the building. The applicant has agreed to enter a development agreement regarding the building materials. Exhibit G is a conceptual landscape plan, which depicts the location of required landscaping. The landscaping meets the minimum standards of the Town's Zoning Ordinance.



Future Land Use Plan – The Future Land Use Plan recommends Retail & Neighborhood Services District for the subject property. The proposed zoning request conforms to the Future Land Use Plan.

Retail and Neighborhood Services

Neighborhood services typically include retail establishments that provide merchandise for retail sale, banks, neighborhood office and small medical offices. Retail uses are particularly important because they contribute to Prosper's tax base through both property and sales taxes, making their inclusion attractive and often times competitive. Within Prosper, neighborhood service uses will likely occur at major intersections along the Dallas North Tollway, Highway 380 and Preston Road corridors. Neighborhood service uses should also be strategically placed along the Town's perimeter in order to attract patrons from neighboring communities, enhancing sales tax revenue opportunities. The majority of neighborhood service activity within Prosper will likely be included within the Dallas North Tollway, Highway 380, Town Center and Old Town districts.



Thoroughfare Plan – The property has direct access to the E. Broadway Street & Craig Road. This request conforms to the Thoroughfare Plan.

Parks Master Plan – The Parks Master Plan does not indicate a park is needed on the subject property; however, a hike and bike trail has been constructed along Preston Road.

Legal Obligations and Review:

Notification was provided to neighboring property owners as required by the Zoning Ordinance and state law. To date, staff has not received any Public Hearing Notice Reply Forms in response to this request.

Attached Documents:

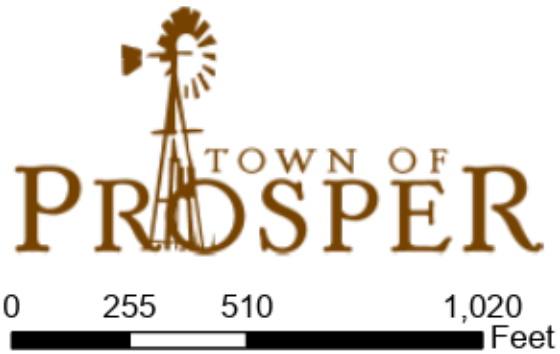
1. Aerial and Zoning Maps
2. Proposed Exhibits

Staff Recommendation:

Town staff does recommend that the Planning & Zoning Commission approve the request.

Town Council Public Hearing:

Upon a recommendation by the Planning & Zoning Commission, a Public Hearing on this item will be scheduled for the Town Council at their Regular meeting on September 13, 2022.

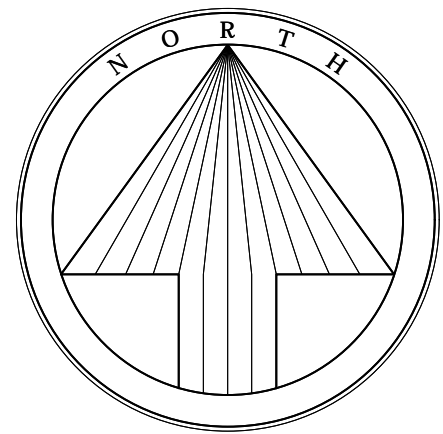


This map for illustration purposes only

Z22-0014
Winikates North
Planned Development



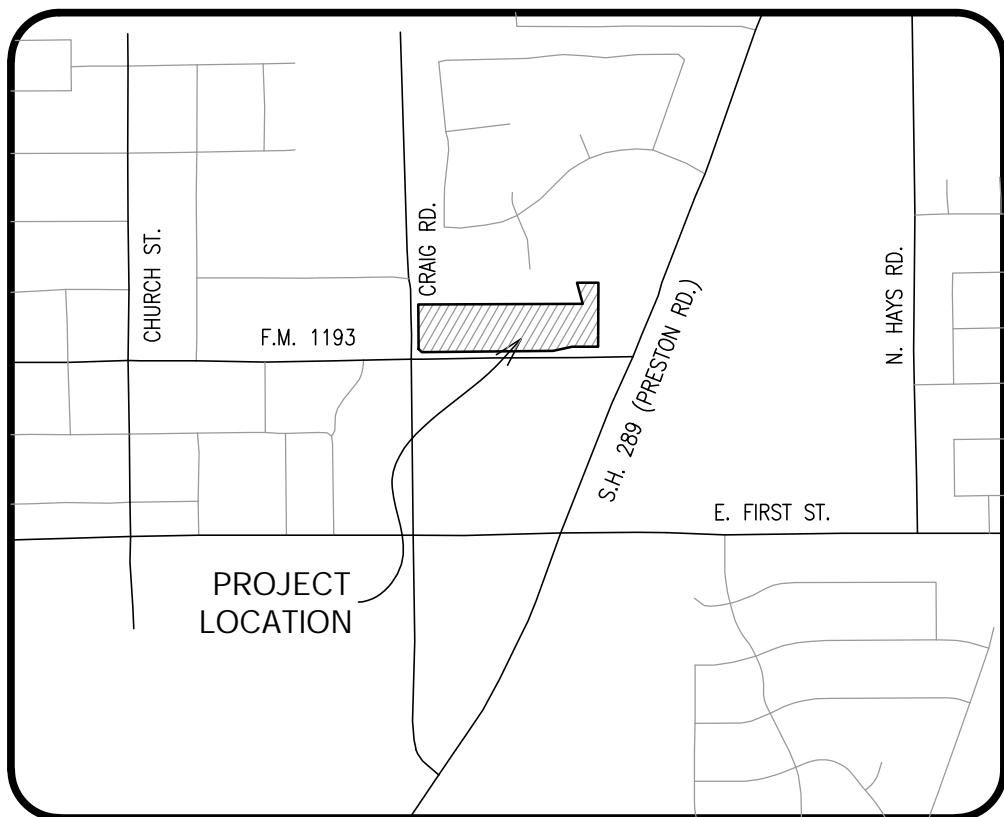
Plotted by: nheibronk Plot Date: 7/5/2022 10:44 AM
10:42:41 AM
Drawing: © 2021, J0855121-121 Winikates North (CAD) Unbld A.dwg Saved By: Nheibronk Save Time: 7/5/2022



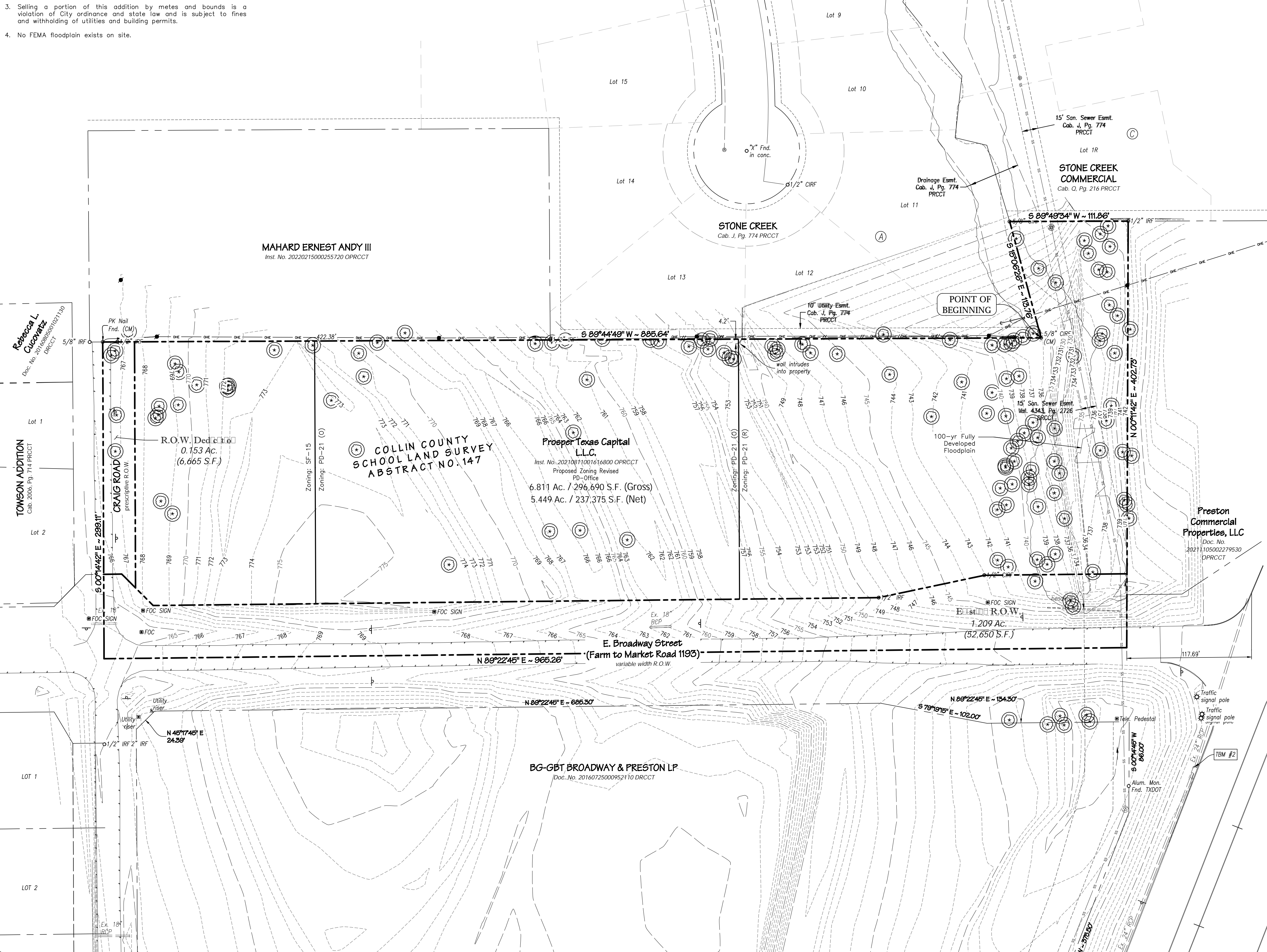
50 0 25 50 100
1 inch = 50 ft.

NOTES:

- This replat was prepared without the benefit of a commitment for title insurance. No research was performed for any easements other than that shown on the record plat of this property. Therefore, easements, agreements, and other documents may exist that affect the subject property that are not shown on this replat.
- Basis of bearing derived from the State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, (2011).
- Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.
- No FEMA floodplain exists on site.



LOCATION MAP
1" = 100'



METES AND BOUNDS DESCRIPTION

BEING a tract of land situated in the Collin County School Land Survey, Abstract No. 147, Town of Prosper, Collin County, Texas, the subject tract being a portion of a tract conveyed to Prosper Texas Capital, LLC, according to the deed recorded in Instrument Number 20210811001616800 of the Official Public Records, Collin County, Texas (OPRCCT), with the subject tract being more particularly described as follows:

BEGINNING at a 5/8" iron rod with plastic cap found for the southeast corner of Lot 11, Block A, Stone Creek, an addition recorded in Cabinet J, Page 774, Plat Records, Collin County, Texas (PRCCT);

THENCE N 15°06'26" W, 113.76 feet along the east line thereof to a 5/8" iron rod with plastic cap found for the southwest corner of Lot 1R, Block C, Stone Creek Commercial, an addition recorded in Cabinet Q, Page 216 PRCCT;

THENCE N 89°49'34" E, 111.86 feet along the south line thereof to a 1/2" iron rod found for the remainder of a tract conveyed to Preston Commercial Properties, LLC, recorded in Document No. 20211105002279530 OPRCCT;

THENCE S 00°11'42" W, 402.73 feet along the west line of said remainder to a point on the north line of Farm to Market Road 1193, a variable width right-of-way;

THENCE S 89°22'45" W, 965.26 feet to the approximate centerline of Craig Road, a prescriptive right-of-way;

THENCE N 00°14'42" W, 299.11 feet along Craig Road to a PK nail found for the southwest corner of a tract conveyed to Mahard Ernest Andy III, recorded in Instrument No. 20220215000255720 OPRCCT;

THENCE N 89°44'49" E, 885.64 feet along the south line of said Mahard Ernest Andy III tract, passing at 422.38 feet a 1/2" iron rod found for the southwest corner of Lot 13, Block A, Stone Creek, to the POINT OF BEGINNING with the subject tract containing 296,690 square feet or 6.811 acres of land.

SURVEYOR'S CERTIFICATE

Dated this the ____ day of _____, 2022.

PRELIMINARY

DARREN K. BROWN, R.P.L.S. NO. 5252



darren.brown@spisarsengineering.com

EXHIBIT A

WINIKATES NORTH

IN THE TOWN OF PROSPER, TEXAS, COLLIN COUNTY, TEXAS
COLLIN COUNTY SCHOOL LAND SURVEY ABSTRACT NO. 147

244,009 Sq. Ft./5.602 Acres (Gross)
237,383 Sq. Ft./5.450 Acres (Net)

ENGINEER / SURVEYOR / APPLICANT

Spisars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: David Bond

OWNER/DEVELOPER

Prosper Texas Capital LLC
1225 Baynes Dr.
McKinney, TX 75071-0034
Telephone: (214) 278-4804
Contact: Jason Patel

July 5th, 2022

Mr. David Soto
Town of Prosper – Development Services
250 W. First Street
Prosper, Texas 75078

**RE: Winikates North PD Amendment
Statement of Intent and Purpose**

Dear Mr. Soto:

Enclosed herewith, please find our application for a Planned Development revision associated with the proposed development at the northeast corner of Preston/Craig. The purpose of this submittal is to revise the existing PD to establish an underlying office district along the Craig Road Frontage into the existing PD district. The proposed plan calls for office and medical office developments on the western portion of the site in the existing single family zoning area, with retail occurring in the easternmost building, in accordance with the comprehensive plan and the existing Planned Development.

The developers of this site are committed to providing the community with an office/retail development that will be a credit to the Town of Prosper, and compliment the adjacent residences and we appreciate your consideration in this request.

If you have any questions, please do not hesitate to contact me.

Sincerely,

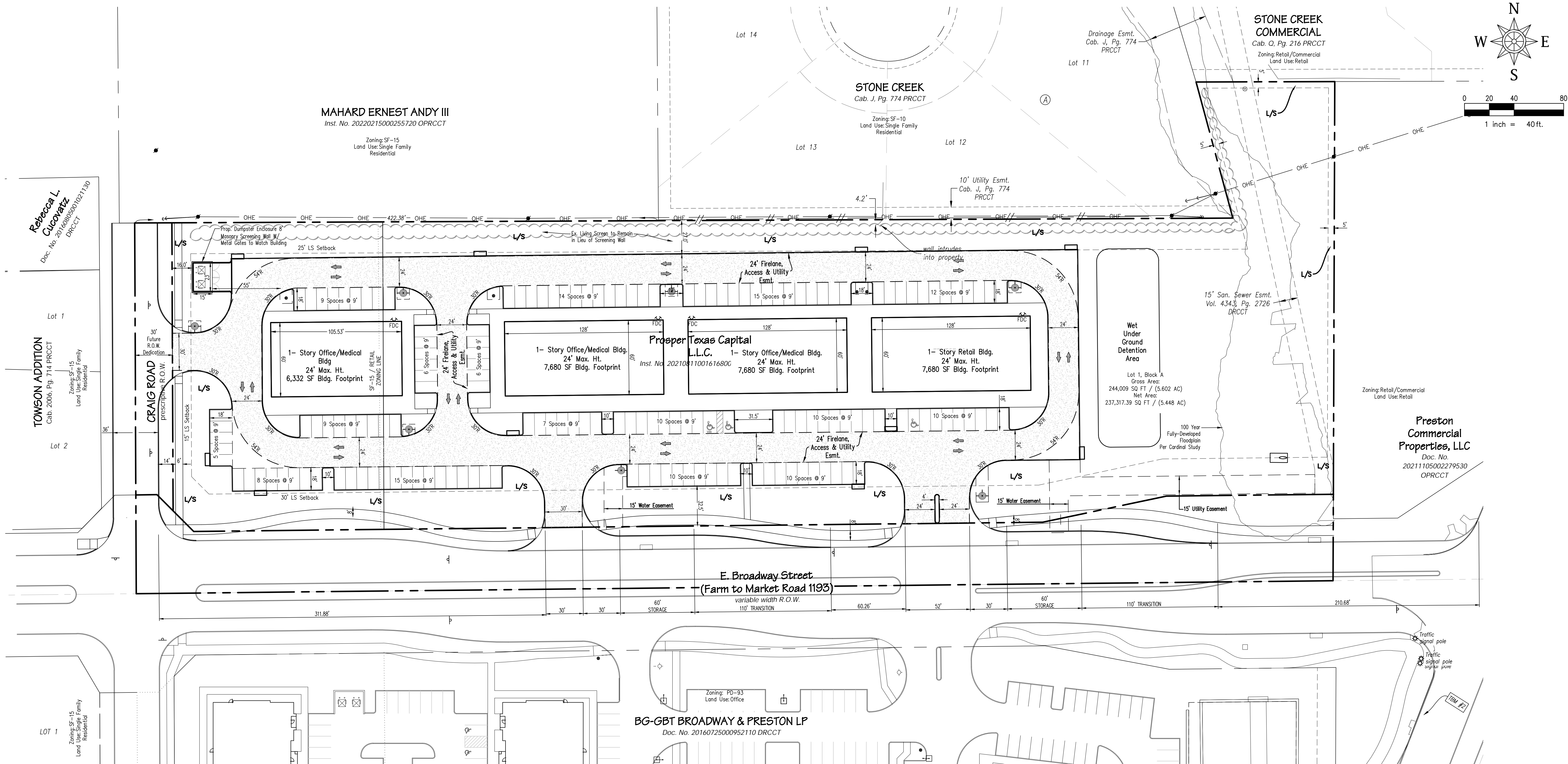
Case Z22-0014

EXHIBIT C

PLANNED DEVELOPMENT STANDARDS

The proposed development will conform to the development standards of the Office District of the Town of Prosper's Zoning Ordinance, as it exists or may be amended, and Subdivision Ordinance, as it exists or may be amended, except as otherwise set forth in these Development Standards.

1. Except as noted below, the Tract shall develop in accordance with the Office District requirements of the Town of Prosper's Zoning Ordinance, as it exists or may be amended.
2. Development Plans
 - a) Concept Plan: The tract shall be developed in general accordance with the attached concept plan, set forth in Exhibits D.
 - b) Elevations: The tracts shall be developed in general accordance with the attached elevations, set forth in Exhibits F.
 - c) Landscape Plan: The tract shall be developed in general accordance with the attached landscape plan, set forth in Exhibit G.
3. Uses shall be permitted in accordance with the Office District exception as follows:
 - a) Retail shall be restricted to the easternmost building per exhibit D.
4. Screening:
 - a) Existing living screen to remain in lieu of Screening Wall on the northern boundary as indicated on the Exhibit G. Living screening shall be well kept and maintained.



Town of Prosper Site Plan Notes:

- Dumpsters and trash compactors shall be screened in accordance with the Zoning Ordinance.
- Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
- Outdoor lighting shall comply with the lighting and glare standards contained within the Zoning Ordinance and Subdivision Regulation Ordinance.
- Landscaping shall conform to landscape plans approved by the town.
- All elevations shall comply with the standards contained within the Zoning Ordinance.
- Buildings of 5,000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
- Fire lanes shall be designed and constructed per town standards or as directed by the Fire Department.
- Two points of access shall be maintained for the property at all times.
- Speedbumps/humps are not permitted within a fire lane.
- Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted uniform Building Code.
- All signage is subject to Building Official approval.
- All fences and retaining walls shall be shown on the site plan and are subject to Building Official approval.
- All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
- Sidewalks of not less than six (6') feet in width along thoroughfares and five (5') in width along collectors and residential streets, and barrier free ramps at all curb crossings shall be provided per Town standards.
- Approval of the site plan is not final until all engineering plans are approved by the Town Engineer.
- Site plan approval is required prior to grading release.
- All new electrical lines shall be installed and/or relocated underground.
- All mechanical equipment shall be screened from public view in accordance with the Comprehensive Zoning Ordinance.
- Landscape easements must be exclusive of any other type of easement.
- Impact fees will be assessed in accordance with the land use classification(s) identified on the Site Data Summary Table; however, changes to the proposed land use at the time CO and/or finish-out permit may result in additional impact fees and/or parking requirements.
- The approval of a site plan shall be effective for a period of eighteen (18) months from the date of approval by the Planning & Zoning Commission, at the end of which time the applicant must have submitted and received approval of engineering plans and building permits. If the engineering plans and building permits are not approved, the site plan approval, together with any preliminary site plan for the property, is null and void.

LEGEND

- FIRELANE, ACCESS & UTILITY EASEMENT
- EXISTING CONTOUR
- 1/2" IRON ROD W/ PLASTIC CAP STAMPED "SPIARSENG" SET, UNLESS OTHERWISE NOTED.
- POWER POLE
- LIGHT POLE/STANDARD
- GUY WIRE ANCHOR
- BOLLARD
- SIGNPOST
- OVERHEAD POWER LINE
- CONTROL MONUMENT
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- EXISTING LIVING SCREEN - TO REMAIN

Notes:

- The thoroughfare alignments shown on this exhibit are for illustration purposes and does not set the alignment. The alignment is determined at time of final plat.
- Headlight screening will be provided in accordance with Town Standards.
- Handicap Parking Is Provided In Accordance w/ ADA Standards.
- Site Plan Is For Informational Purposes Only. It Is Not A Construction Document.

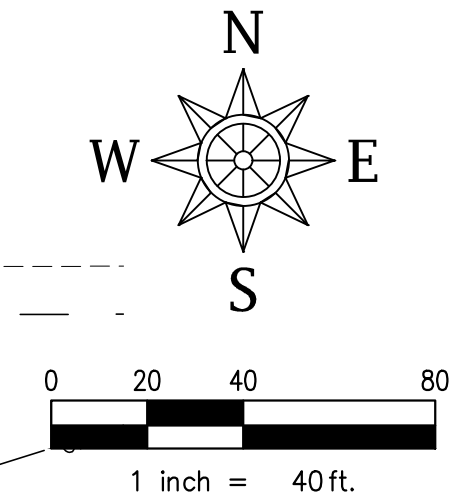
SITE DATA

Zoning
Proposed Use
Lot Area
Building Area
Building Height:
Lot Coverage
Floor Area Ratio
Parking Required
Total Parking Provided
Total Impervious Surface
Required Open Space (7%)
Provided Open Space
Required Landscape Area
Provided Landscape Area

LOT 1, BLOCK A

Proposed PD
Office / Medical Office / Retail
5.602 Ac. (244,009 Sq. Ft.)
29,972 Sq. Ft. Total
1 Story, 24' Max.
12.62%
0.1262:1
Medical Office (1:250) 23,040 Sq. Ft = 93 Sp.
Retail (1:250) 6,332 Sq. Ft = 26 Sp.
156
99,000.0 Sq. Ft.
17,080.6 Sq. Ft.
111,206.2 Sq. Ft.
2,445 Sq. Ft.
7,566.36 Sq. Ft.

All dimensions are to face of curb or edge of building unless otherwise noted.



220014
EXHIBIT D

WINIKATES NORTH
IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS
COLLIN COUNTY SCHOOL LAND SURVEY ABSTRACT NO. 147
244,009 Sq. Ft./5.602 Acres (Gross)
237,317 Sq. Ft./4.448 Acres (Net)

ENGINEER / SURVEYOR / APPLICANT
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: David Bond

OWNER/DEVELOPER
Prosper Texas Capital LLC
1225 Baynes Dr.
McKinney, TX 75071
Telephone: (214) 278-7808
Contact: Jason Patel

Exhibit E - Conceptual Development Schedule

A conceptual development schedule for the Winikates North Tract is as follows:

- September 2022 – Obtain Zoning Approval
- October 2022 – Begin Infrastructure Design and Submission
- December 2022 – Begin Infrastructure Construction
- February 2023 – Begin Building Construction
- April 2023 – Completion of infrastructure construction

PROJECT STATUS:
PRELIMINARY
PROJECT MANAGER:
DBR
DESIGN MANAGER
RCM
PROJECT DATE:
12/21/21
REVISION DATE:
08/11/22

Prosper Texas Capital LLC
1225 Baynes Drive
McKinney, TX 75071,0034
Telephone: (214) 278-4808
Email: j_patel22@yahoo.com

MEDICAL - RETAIL
OFFICES
WINIKATES NORTH
S.H. 289 PRESTON RD.
TOWN OF PROSPER, TEXAS

ADR-DESIGNS-LLC
TOTAL DESIGN MANAGERS
601 SADDLE HILL DRIVE, GRAND PRAIRIE, TX 75050
PH: 972-262-1333 FAX: 214-272-2987
E-Mail: adrdesignsllc@adrdesigns.com
POR: JOHN C. SARGENT

JOB NUMBER:

SHEET NUMBER
A310

EXTERIOR FINISH SCHEDULE				
	NORTH ELEVATION	EAST ELEVATION	WEST ELEVATION	SOUTH ELEVATION
	AREA	AREA	AREA	AREA
TOTAL FACADE	2,864 SQ. FT. (100%)	1,258 SQ. FT. (100%)	1,258 SQ. FT. (100%)	2,864 SQ. FT. (100%)
MATERIALS EXCEPT GLAZING	2,084 SQ. FT. (73%)	1,084 SQ. FT. (86%)	1,084 SQ. FT. (86%)	2,084 SQ. FT. (73%)
* BRICK	519 SQ. FT. (20%)	480 SQ. FT. (38%)	480 SQ. FT. (38%)	811 SQ. FT. (28%)
* STONE	674 SQ. FT. (24%)	340 SQ. FT. (27%)	340 SQ. FT. (27%)	458 SQ. FT. (16%)
* CAST STONE	166 SQ. FT. (6%)	91 SQ. FT. (7%)	91 SQ. FT. (7%)	169 SQ. FT. (6%)
* ROOF SHINGLES	665 SQ. FT. (23%)	173 SQ. FT. (14%)	173 SQ. FT. (14%)	665 SQ. FT. (23%)
GLAZING/PENETRATION	780 SQ. FT. (27%)	174 SQ. FT. (14%)	174 SQ. FT. (14%)	261 SQ. FT. (9%)

FINISH LEGEND

C-1

BRICK - ACME BRICK (CHURCHILL)

C-2

BORAL PRO-FIT LEDGESTONE SOUTHWEST

C-3

CAST STONE- COTTON WHITE (SW 7104)

C-4

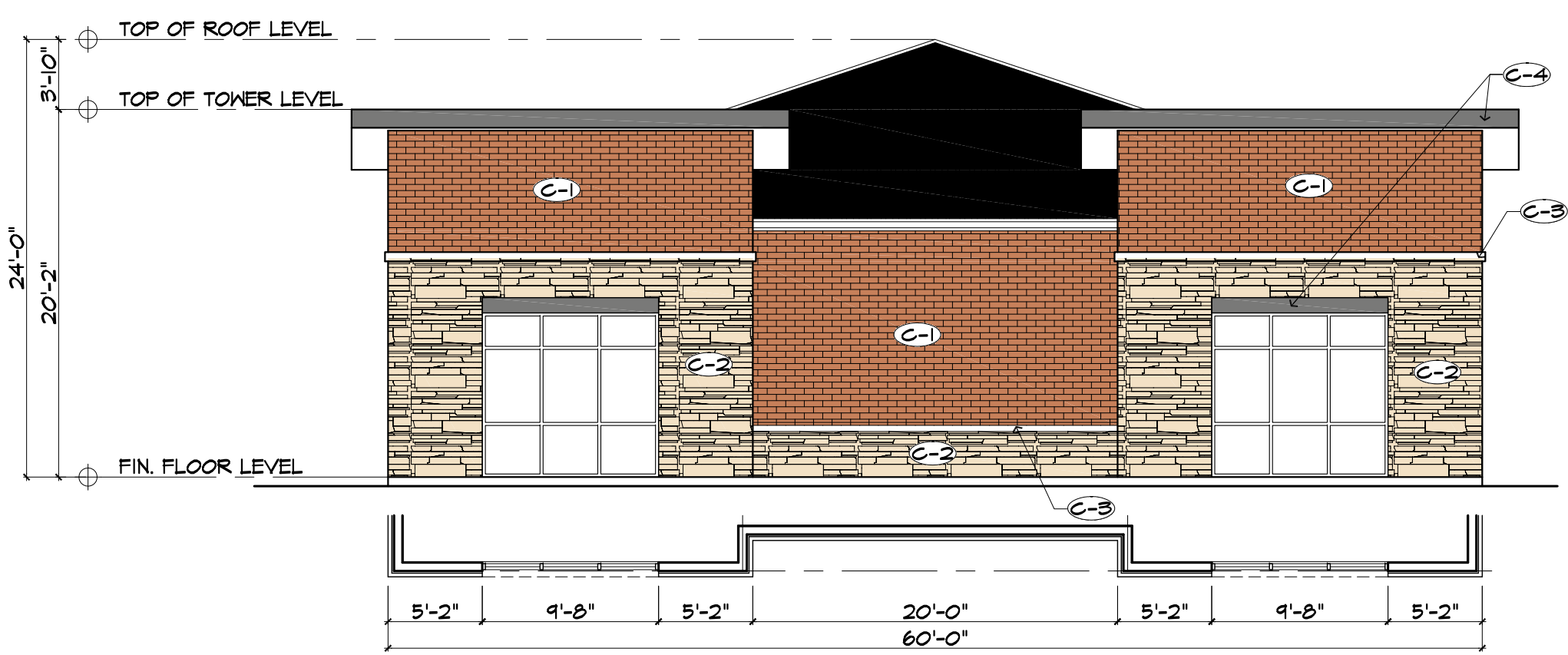
CAST STONE & PAINTED PASCIA WESTCHESTER GRAY (SW 2844)

FACADE NOTES

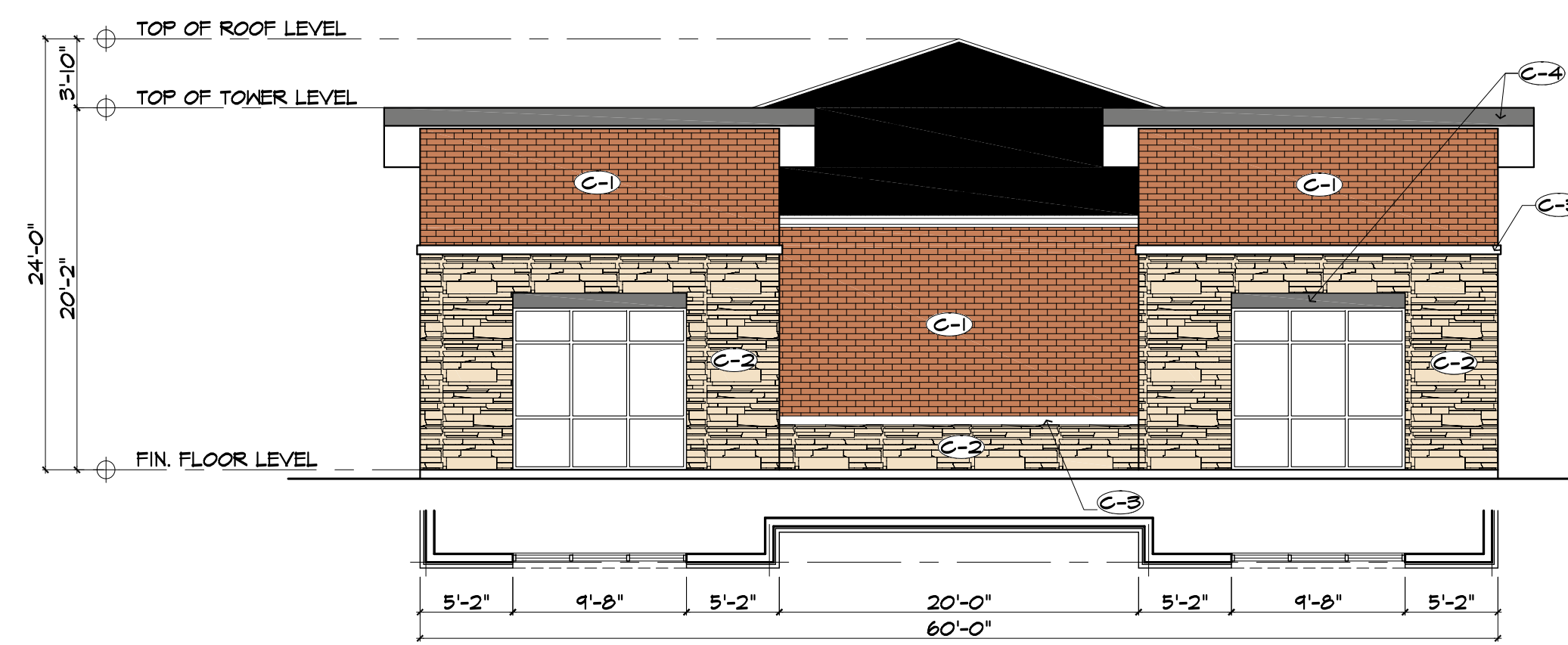
- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE THE SPECIFICATIONS OF THE ZONING ORDINANCE.
- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION.
- WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.
- ANY DEVIATION FROM THE APPROVED FACADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.



04 NORTH ELEVATION (REAR)
SCALE: 1/8"=1'-0"



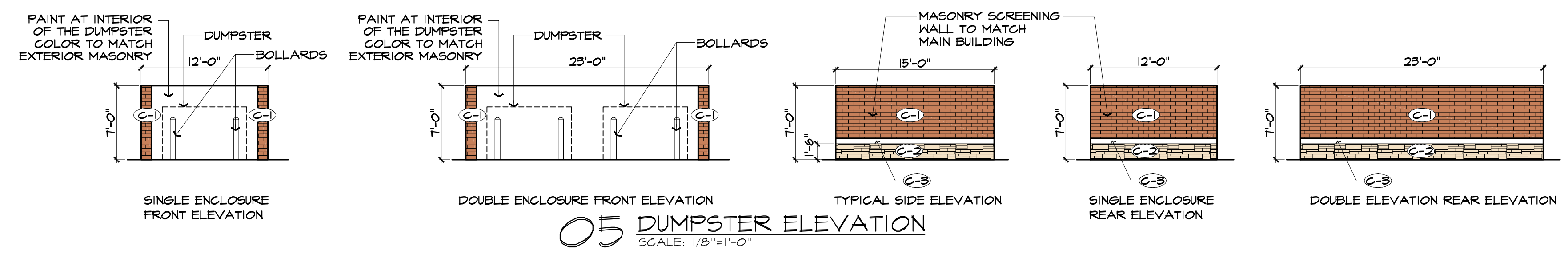
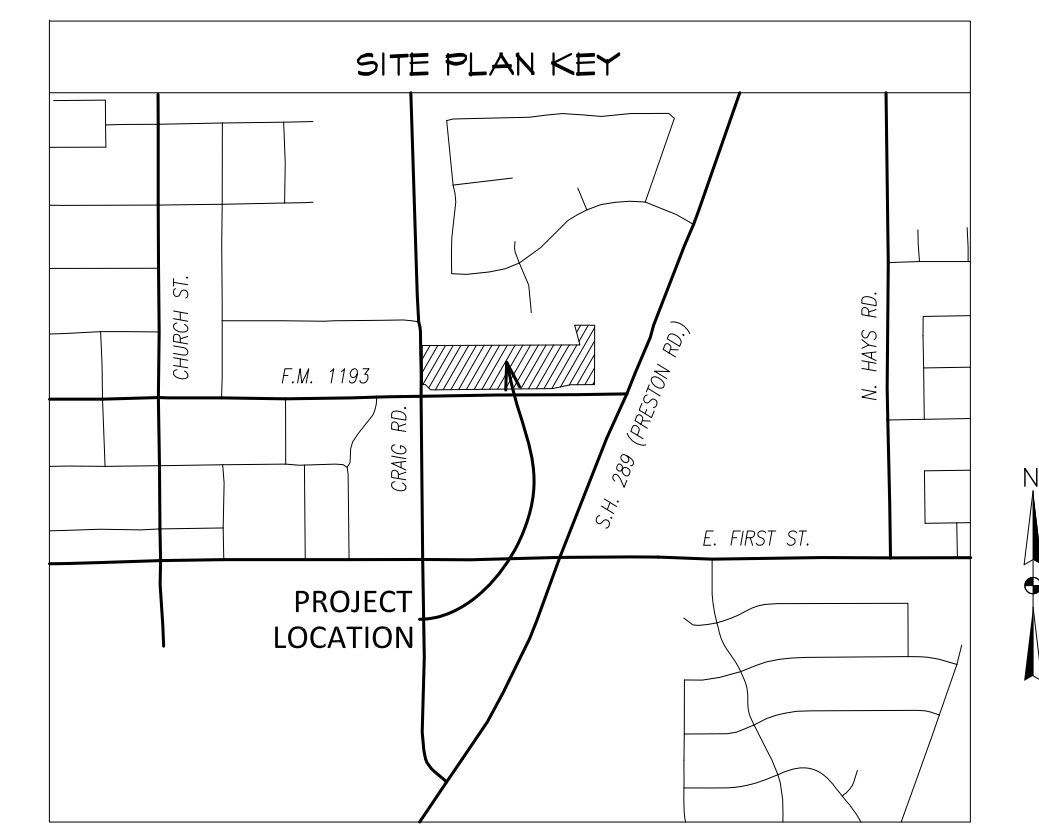
02 EAST ELEVATION (RIGHT)
SCALE: 1/8"=1'-0"



03 WEST ELEVATION (LEFT)
SCALE: 1/8"=1'-0"



01 SOUTH ELEVATION (FRONT)
SCALE: 1/8"=1'-0"



	ACTION	
	APPROVED	DENIED
STAFF	DATE	INITIALS
STAFF	DATE	INITIALS
NEIGHBORHOOD #		

SEE THE STAFF APPROVAL LETTER OR P & Z RESULT MEMO FOR ANY CONDITIONS ASSOCIATED WITH THE THE APPROVAL OF THE PROJECT.

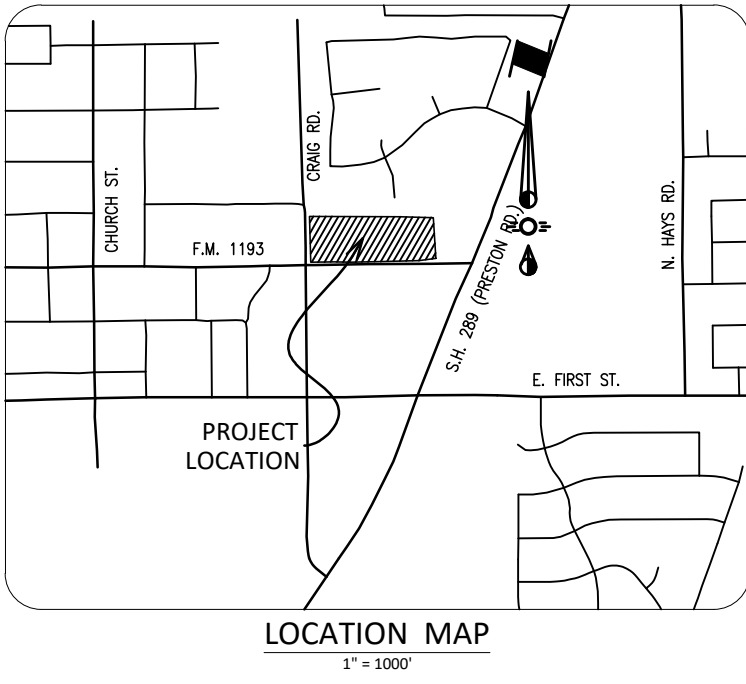
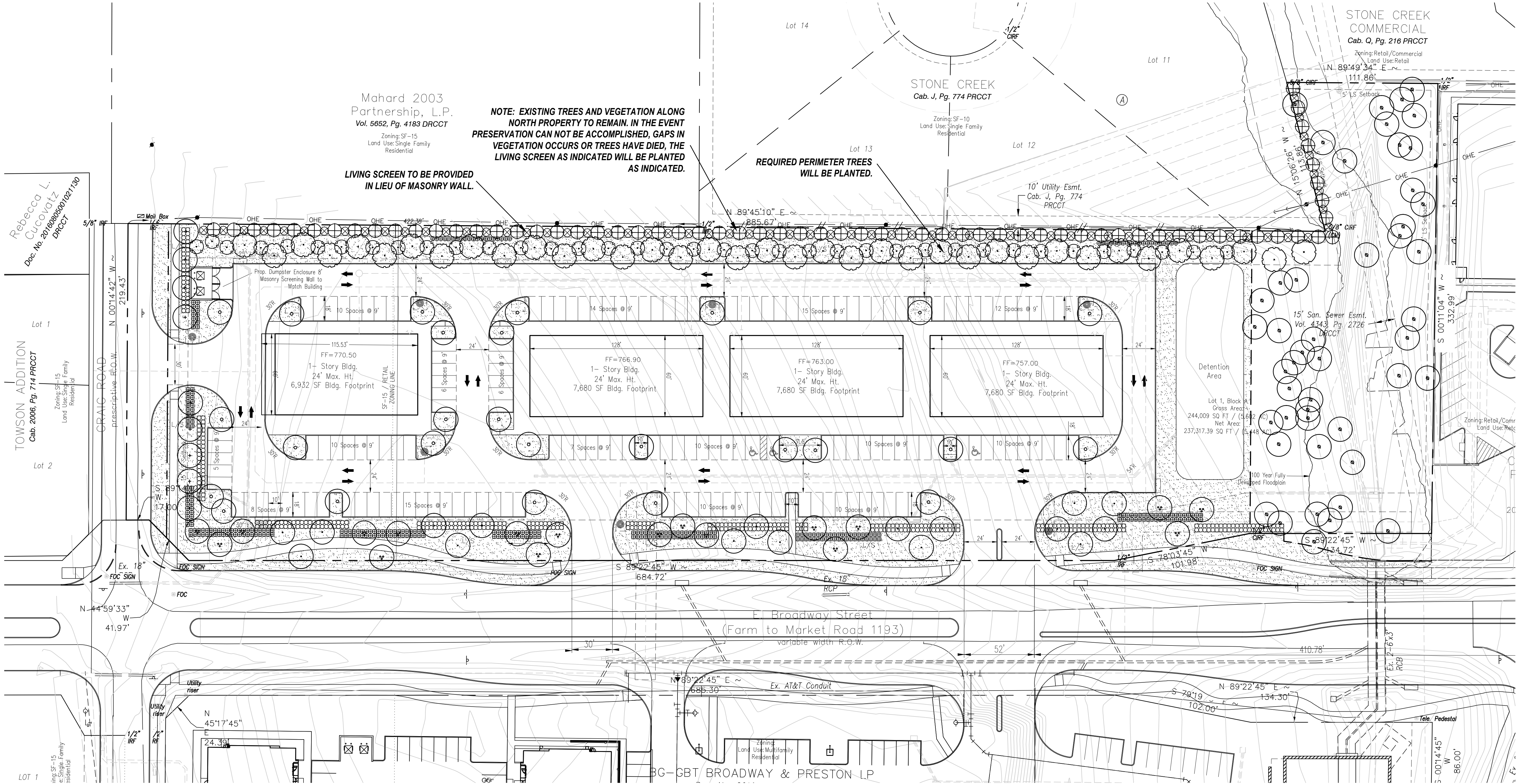
City Project No.

MEDICAL - RETAIL OFFICES
WINIKATES NORTH
S.H. 289 PRESTON RD.
TOWN OF PROSPER, TEXAS
Preparation Date: 08/11/21

OWNER
Prosper Texas Capital LLC
1225 Baynes Drive
McKinney, TX 75071,0034
Telephone: (214) 278-4808
Email: j_patel22@yahoo.com

APPLICANT
ADR-DESIGNS-LLC
TOTAL DESIGN MANAGERS
601 SADDLE HILL DRIVE,
GRAND PRAIRIE, TX 75050
PH: 972-262-1333
FAX: 214-272-2987
E-Mail: adrdesignsllc@adrdesigns.com

ENGINEER



TOWN OF PROSPER LANDSCAPE NOTES

- Plant material shall be measured and sized according to the latest edition of the Texas Nursery & Landscape Association (TNLA) Specifications, Grades and Standards.
- All plant substitutions are subject to Town approval and must be specified on the approved landscape plan.
- All turf areas to be established prior to the Certificate of Occupancy, unless otherwise approved by the Town.
- Ground covers used in lieu of turf grass must provide complete coverage within one (1) year of planting and maintain adequate coverage as approved by the Town.
- Trees must be planted four (4) feet or greater from curbs, sidewalks, utility lines, screening walls, and/or other healthy root growth.
- Tree pits shall have rougher sides and be two to three times wider than the root ball of the tree in order to facilitate healthy root growth.
- Tree pits shall be tested for water percolation. If water does not drain out of tree pit within a 24-hour period, the contractor shall provide berming, or devise alternative drainage.
- Trees shall not be planted deeper than the base of the "trunk flare".
- The tree pit shall be backfilled with native topsoil free of rock and other debris.
- Burlap, twine, and wire baskets shall be loosened and pulled back from the trunk of tree as much as possible.
- Trees shall not be watered to excess that results in soil saturation. If soil becomes saturated, the watering schedule shall be adjusted to allow for drainage and absorption of the excess water.
- A 3" layer of mulch shall be provided around the base of the planted tree. The mulch shall be pulled back 1-2" from the trunk of the tree.
- No person(s) or entity may use improper or malicious maintenance or pruning techniques which would likely lead to the death of the tree. Improper or malicious techniques include, but are not limited to, topping or other unsymmetrical trimming of trees, trimming trees with a backhoe, or use of fire or poison to cause the death of a tree.
- Topsoil shall be a minimum of eight (8) inches in depth in planting areas. Soil shall be free of stones, rocks, and clods and any other foreign material that is not beneficial to plant growth.
- All plant beds shall be top-dressed with a minimum of three (3) inches of mulch.
- Trees overhanging walks and parking shall have a minimum clear trunk height of seven (7) feet. Trees overhanging public street pavement drive aisles and fire lanes shall have a minimum clear trunk height of fourteen (14) feet.
- A visibility triangle must be provided at all intersections, where shrubs are not to exceed thirty (30) inches in height, and trees shall have a minimum clear trunk height of nine (9) feet.
- Trees planted on a slope shall have the tree well at the average grade of slope.
- No shrubs shall be permitted within areas less than three (3) feet in width. All beds less than three (3) feet in width shall be grass, groundcover, or some type of fixed paving.
- The owner, tenant, and/or their agents, if any, shall be jointly and severally responsible for the maintenance, establishment, and permanence of plant material. All landscaping shall be maintained in a neat and orderly manner at all times. This shall include, but not limited to, mowing, edging, pruning, fertilizing, watering, and other activities necessary for the maintenance of landscaped areas.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, or removed shall be replaced with plant material of similar size and variety within thirty (30) days unless otherwise approved in writing by the Town of Prosper.
- Landscape and open areas shall be kept free of trash, litter, and weeds.
- An automatic irrigation system shall be provided to irrigate all landscape areas. Overlap on streets and walks is prohibited. A permit from the building inspection department is required for each irrigation system.
- No plant material shall be allowed to encroach on right-of-way, sidewalks, or easements to the extent that the vision or route of travel for vehicular, pedestrian, or bicycle traffic is impeded.
- No planting areas shall exceed 3:1 slope (3" horizontal to 1" vertical).
- Earthen berms shall not include construction debris. Contractor must correct slippage or damage to the smooth finish grade of the berm prior to acceptance.
- All walkways shall meet ADA and TAS requirements.
- Contact Town of Prosper Parks and Recreation Division at (972) 400-0023. Attention: Michael Zachary for landscape inspection. Note that landscape installation must comply with approved landscape plans prior to final acceptance by the Town and/or obtaining a Certificate of Occupancy.
- Final inspection and approval of screening walls, irrigation, and landscape is subject to all public utilities, including but not limited to manholes, valves, water meters, cleanouts, and other appurtenances, to be accessible, adjusted to grade, and to the Town of Prosper's Public Works Department standards.
- Prior to calling for a landscape inspection, the contractor is responsible for marking all manholes, valves, water meters, cleanouts, and other utility appurtenances with flagging for field verification by the Town.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

SOLID SOD NOTES

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

GRAPHIC PLANT LEGEND

- BALD CYPRESS
- CEDAR ELM
- LIVE OAK
- RED OAK
- CHINESE PISTACHE
- CREPE MYRTLE
- TREE YAUPON HOLLY 8' HT. at install
- NELLIE R. STEVEN HOLLY 8' HT. at install
- DWARF WAX MYRTLE 'DOWS DWARF'
- NEEDLEPOINT HOLLY
- LAWN, BERMUDAGRASS, SOLID SOD
- EXISTING TREE TO REMAIN

LANDSCAPE TABULATIONS

STREET REQUIREMENTS	
Requirements: (1) tree, 3" cal., per 30 l.f. of frontage (15) shrubs, 5 gal., per 30 l.f. of frontage or 3" ht. berm	
EAST BROADWAY STREET: (921.42 l.f.)	Required (31) trees, 3" cal. (465) shrubs
	Provided (32) trees, 6" cal. (522) shrubs
CRAIG ROAD: (274.30 l.f.)	Required (9) trees, 3" cal. (135) shrubs
	Provided (9) trees, 6" cal. (144) shrubs
PARKING LOT (163 spaces)	Requirements: (1) tree, 3" cal., per every island and 15 s.f. of landscape per each parking space tree within 150' of any space
HEADLIGHT SCREEN PROVIDED	Required 2,445 s.f. Provided 2,445 s.f.
PERIMETER LANDSCAPE: Residential Adjacency	Requirements: 15' width; (1) tree, 3" cal. per 30 l.f.
North Property Line: (865.67 l.f.)	Required (30) trees, 3" cal.
	Provided (30) trees, 3" cal.
Requirements: 5' width; (1) small tree / (1) shrub per 15 l.f.	
East / North and NE Property Line: (568.71 l.f.)	Required (37) trees, 3" cal. (37) shrubs
	Provided (37) trees, 3" cal. (37) shrubs
BUILDING LANDSCAPE	Gross Floor Area: 29,972 s.f.
	Required N/A Provided N/A

SITE DATA

Zoning	Proposed PD
Proposed Use	Office / Medical Office
Lot Area	5,602 Ac. (244,009 Sq. Ft.)
Building Area	29,972 Sq. Ft. Total
Building Height:	1 Story, 24' Max.
Lot Coverage	12.62%
Floor Area Ratio	0.1262:1
Parking Required	Office (1:350) 29,972 Sq. Ft = 86 Sp.
Total Parking Provided	163
Total Impervious Surface	TBD Sq. Ft.
Required Open Space (7%)	17,080.6 Sq. Ft.
Provided Open Space	111,206.2 Sq. Ft.
Required Landscape Area	2,445 Sq. Ft.
Provided Landscape Area	TBD Sq. Ft.

LOT 1, BLOCK A

Proposed PD	Office / Medical Office
5,602 Ac. (244,009 Sq. Ft.)	29,972 Sq. Ft. Total
1 Story, 24' Max.	12.62%
0.1262:1	Office (1:350) 29,972 Sq. Ft = 86 Sp.
TBD Sq. Ft.	163
TBD Sq. Ft.	17,080.6 Sq. Ft.
111,206.2 Sq. Ft.	2,445 Sq. Ft.
TBD Sq. Ft.	TBD Sq. Ft.

TOWN OF PROSPER PARKS INSPECTIONS

- Tree height, width and caliper at delivery.
- Shrub height, width and container size at delivery.
- Any undersized plant not fully rooted may be denied by PARKS at inspection.
- Inspection of tree pit side walls and depth.
- Inspect at least one (1) percolation tested pit.



smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel: 214.871.0083
Fax: 214.871.0545
Email: smr@smr-la.com



01 LANDSCAPE PLAN

SCALE: 1" = 40'-0"

EXHIBIT G / PRELIMINARY LANDSCAPE PLAN

WINIKATES NORTH
IN THE TOWN OF PROSPER, TEXAS, COLLIN COUNTY, TEXAS
COLLIN COUNTY SCHOOL LAND SURVEY ABSTRACT NO. 147
244,009 Sq. Ft./5.602 Acres (Gross)
237,317 Sq. Ft./4.448 Acres (Net)

ENGINEER / SURVEYOR / APPLICANT
Sparks Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: David Bond

OWNER/DEVELOPER
Prosper Texas Capital LLC
1225 Boynes Dr.
McKinney, TX 75071
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Contact: Jason Patel