



AGENDA
Regular Meeting of the
Prosper Planning & Zoning Commission
Prosper Town Hall
Council Chambers
250 W. First Street, Prosper, Texas
Tuesday, November 15, 2022, 6:00 p.m.

Notice Regarding Public Participation

Welcome to the Planning & Zoning Commission meeting. Individuals may attend the meeting in person, or access the meeting via videoconference, or telephone conference call.

To access the videoconference online, follow these instructions:

Join the Zoom Meeting by clicking on the following link:

<https://us02web.zoom.us/j/86944373392>

Enter Meeting ID: 869 4437 3392

To request to speak, click on "Participants" at the bottom of the screen, and click "Raise Hand." The meeting moderator will acknowledge your request and allow you to speak.

To join the meeting by phone, dial any one of the following numbers: +1 346 248 7799

Enter Meeting ID: 869 4437 3392

To request to speak, enter *9. The meeting moderator will acknowledge your request and allow you to speak.

Addressing the Planning & Zoning Commission:

- Those wishing to address the Commission must complete the [Public Comment Request Form](#) located on the Town website or in Council Chambers.
- **If you are attending in person**, please submit this form to the Board Chair or a staff member prior to the meeting. When called upon, please come to the podium and state your name and address for the record.
- **If you are attending online/virtually**, please submit this form prior to 5:00 p.m. on the day of the meeting. Please ensure your full name appears on the screen and you are unmuted so the meeting moderator can recognize you and allow you to speak. The Chat feature is not monitored during the meeting. The Town assumes no responsibility for technical issues that are beyond our control.

If you encounter any problems joining or participating in the meeting, please call our help line at 972-569-1191 for assistance.

Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may address the Commission when the item is considered by the Planning & Zoning Commission.

1. Call to Order / Roll Call
2. Pledge of Allegiance

3. CONSENT AGENDA

(Items placed on the Consent Agenda are considered routine in nature and are considered non-controversial. The Consent Agenda can be acted upon in one motion. A Planning & Zoning Commissioner may remove any item for discussion and separate action. Planning & Zoning Commissioners may vote nay on any single item without comment and may submit written comments as part of the official record.)

- 3a.** Consider and act upon minutes from the November 1, 2022, Planning & Zoning Commission Regular meeting.
- 3b.** Consider and act upon a Preliminary Site Plan for a House of Worship, on 26.2± acres, located on the north side of Fishtrap Rd, east of Harper Road. The property is zoned A, Agricultural.
- 3c.** Consider and act upon a Site Plan for a Restaurant with Drive Through and a Retail Use on Block A, Lot 5, 1.198± acres, located on the south side of Frontier Parkway, west of Preston Rd. This property is zoned Planned Development-10 & Specific Use Permit-42 (PD-10 & S-42). (D22-0083).
- 3d.** Consider and act upon a Final Plat for Victory at Frontier, Block A, Lot 5, on 1.198± acres, located on the south side of Frontier Pkwy. and west of Preston Rd. The property is zoned Planned Development-10 (PD-10) & Specific Use Permit-42 (S-42). (D22-0084).

CITIZEN COMMENTS

The public is invited to address the Planning & Zoning Commission on any topic. However, the Commission is unable to discuss or take action on any topic not listed on this agenda. Please complete a "Public Comment Request Form" and present it to the Development Services Department prior to the meeting.

REGULAR AGENDA

If you wish to address the Planning & Zoning Commission, please fill out a "Public Meeting Appearance Card" and present it to the Chair, preferably before the meeting begins. Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Planning & Zoning Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may address the Commission when the item is considered by the Planning & Zoning Commission.

- 4.** Conduct a Public Hearing and consider and act upon a request to rezone 0.1± acres from Single Family-15 (SF-15) to Downtown Office (DTO), on Lots 10A & 11B (Z22-0017).
- 5.** Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.
- 6.** Adjourn.

Note: The order in which items are heard on the agenda is subject to change.

CERTIFICATION

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted at Prosper Town Hall, located at 250 W. First Street, Prosper, Texas 75078, a place convenient and readily accessible to the general public at all times, and said Notice was posted by 5:00 p.m., on Friday, November 11, 2022, and remained so posted at least 72 hours before said meeting was convened.

Michelle Lewis Sirianni, Town Secretary

Date Notice Removed

Pursuant to Section 551.071 of the Texas Government Code, the Town Council reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

NOTICE

Pursuant to Town of Prosper Ordinance No. 13-63, all speakers other than Town of Prosper staff are limited to three (3) minutes per person, per item, which may be extended for an additional two (2) minutes with approval of a majority vote of the Town Council.

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| <p>NOTICE OF ASSISTANCE AT PUBLIC MEETINGS: The Prosper Town Hall is wheelchair accessible. For special services or assistance, please contact the Town Secretary's Office at (972) 569-1011 at least 48 hours prior to the meeting time.</p> |
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MINUTES
Regular Meeting of the
Prosper Planning & Zoning Commission
Prosper Town Hall
Council Chambers
250 W. First Street, Prosper, Texas
Tuesday, November 1, 2022, 6:00 p.m.

1. Call to Order / Roll Call

The meeting was called to order at 6:00 p.m.

Commissioners Present: Chair Brandon Daniel, Vice-Chair Sarah Peterson, Sekou Harris, Damon Jackson and Tommy Van Wolfe

Staff Present: David Soto, Planning Manager; Paul Rodriguez, Senior Planner; Doug Braches, Planning Technician

2. Recitation of the Pledge of Allegiance

Commissioner Doug Charles arrived at 6:01pm.

3. CONSENT AGENDA

3a. Consider and act upon minutes from the October 18, 2022, Planning & Zoning Commission Regular meeting.

3b. Consider and act upon a Revised Site Plan for a Golf Bay at Prosper High School, on 103.0± acres, located on the southwest corner of Frontier Parkway and Victory Way. The property is zoned Planned Development-22 (PD-22). (D22-0012).

3c. Consider and act upon a Conveyance Plat for Wandering Creek Block A, Lot 1 on 4.8± acres, located on the west side of Custer Road, south of First Street. The property is zoned Planned Development-90 (PD-90) (D22-0082).

Motioned by Jackson, seconded by Charles, to approve the Consent Agenda, subject to staff recommendations. Motion approved 6-0.

REGULAR AGENDA

4. Conduct a Public Hearing and consider and act upon a request to rezone 0.36± acres from Single Family-15 (SF-15) to Downtown Office (DTO), located on the northeast corner of First Street and Parvin Street. (Z22-0016).

Paul Rodriguez (Staff): Presented exhibit information.

Commissioner Charles asked questions regarding status of existing building on the site.

Matt Moore (Applicant): Presented information on the case.

Chair Daniel opened the Public Hearing.

There being no additional speakers, Chair Daniel closed the Public Hearing.

Motion by Charles, seconded by VanWolfe to approve Item 4, subject to staff recommendations. Motion approved 6-0.

5. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.

David Soto (Staff): Presented Town Council results on previous items.

Commissioners requested draft meeting agenda be sent to them prior to the Friday before regularly scheduled meetings.

6. **Adjourn.**

Motioned by Jackson, seconded by Harris to adjourn. Motion approved 6-0 at 6:13 p.m.

Doug Braches, Planning Technician

Michael Pettis, Secretary



PLANNING

To: Planning & Zoning Commission

Item No. 3b

From: Paul Rodriguez, Senior Planner

Re: Planning & Zoning Commission Meeting – November 15, 2022

Agenda Item:

Consider and act upon a Preliminary Site Plan for a House of Worship, on 26.2± acres, located on the north side of Fishtrap Rd, east of Harper Road. The property is zoned A, Agricultural.

Description of Agenda Item:

The Preliminary Site Plan is for a House of Worship consisting of 77,750 square feet. Access will be provided from both Fishtrap Road and Harper Road. The Preliminary Site Plan conforms to the Agricultural zone standards.

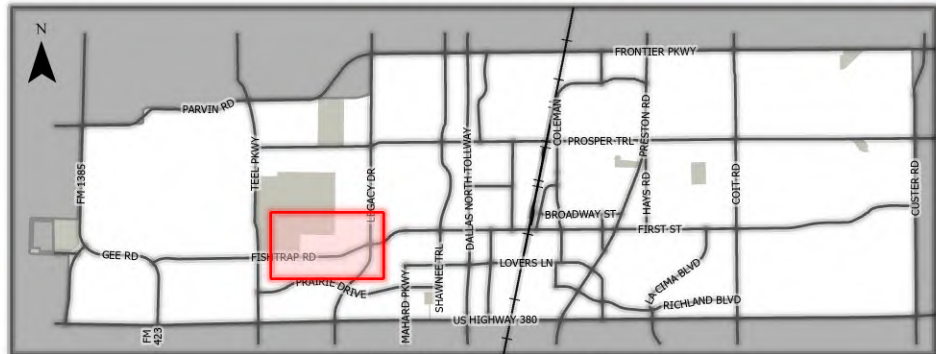
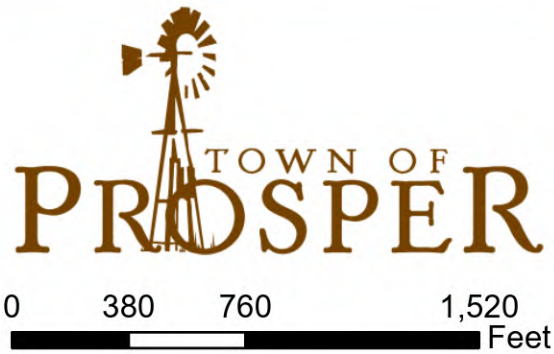
Attached Documents:

1. Location Map
2. Preliminary Site Plan

Staff Recommendation:

Staff recommends approval of the Preliminary Site Plan subject to:

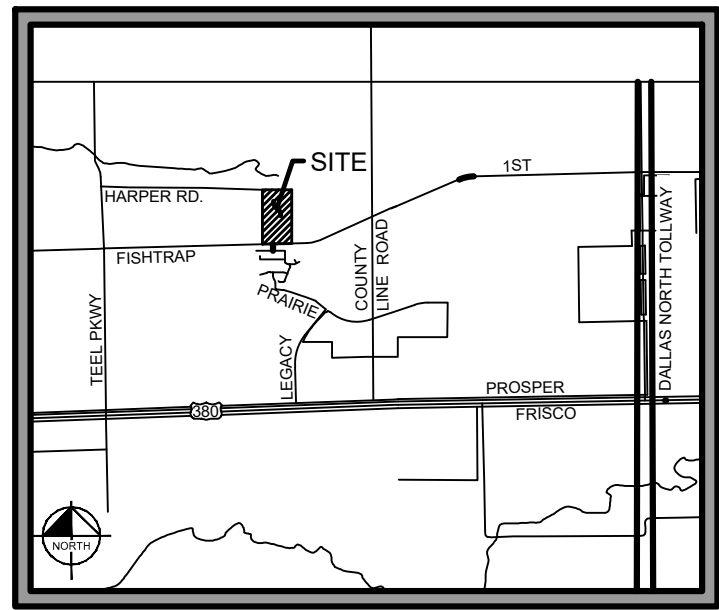
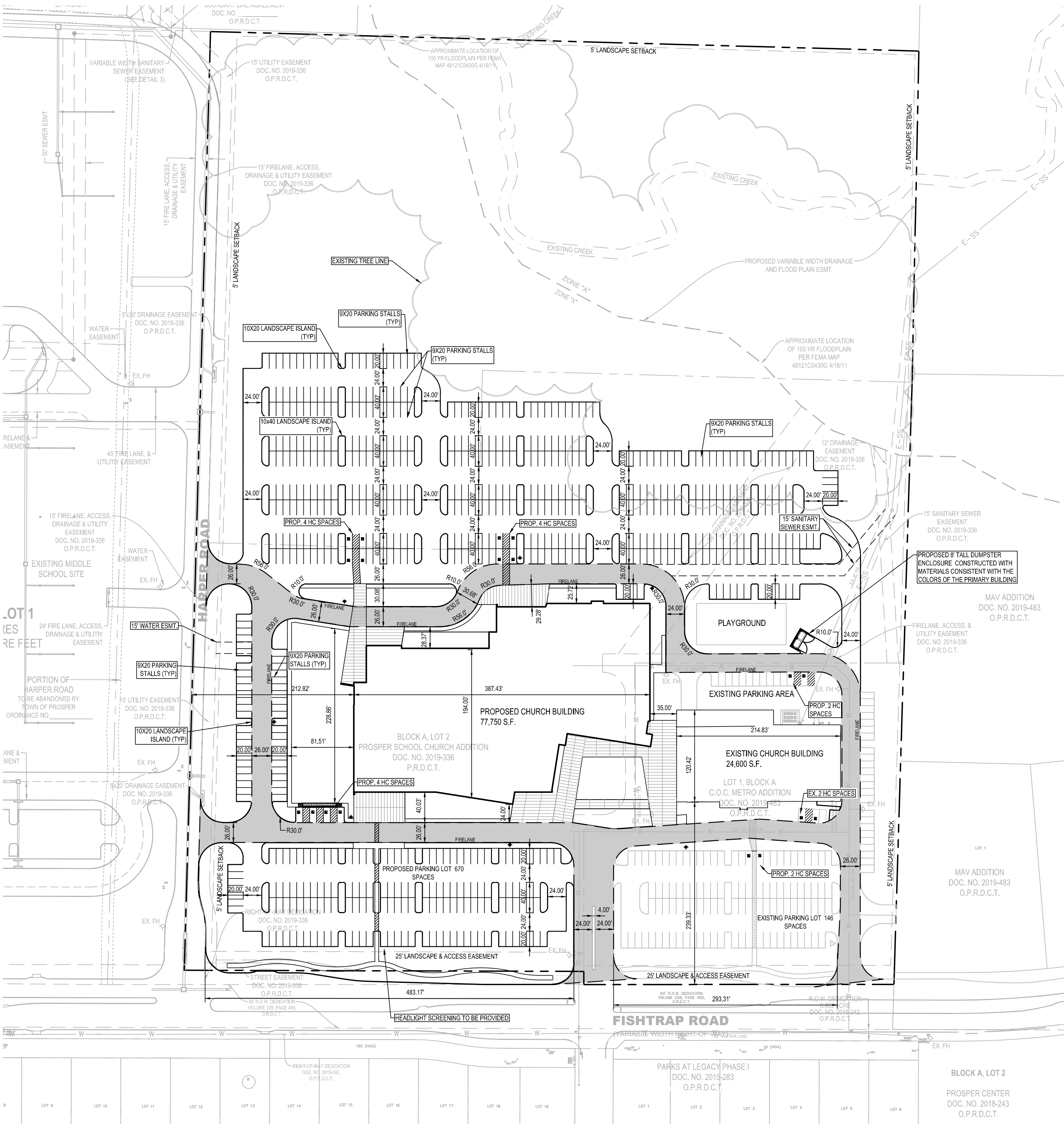
1. Town staff approval of preliminary water, sewer, and drainage plans.
2. Town staff approval of all emergency access, fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.



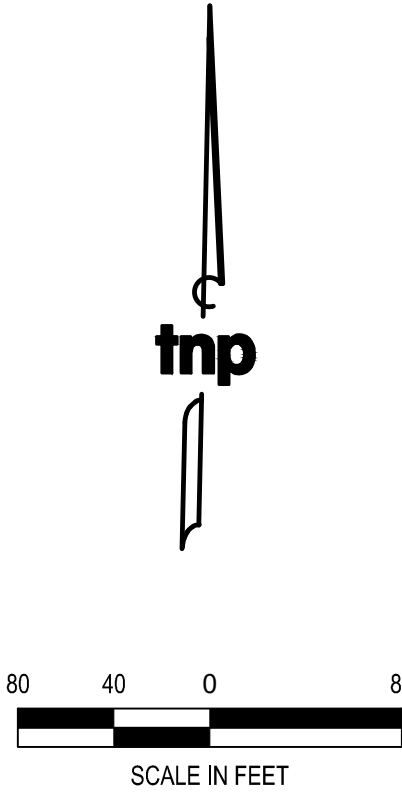
This map for illustration purposes only

D22-0081
 Rock Creek Church
 Preliminary Site Plan

Drawing: T:\Projects\GOF22306\Eng-CADD\CADD\Sheets\PRELIMINARY SITE PLAN.dwg at Nov 01, 2022-4:46pm by adleriosa



VICINITY MAP
NOT TO SCALE



SITE PLAN NOTES

Any revision to this plan will require town approval and will require revisions to any corresponding plans to avoid conflicts between plans.

- Dumpsters and trash compactors shall be screened per the Zoning Ordinance.
- Open storage, where permitted, shall be screened per the Zoning Ordinance.
- Outdoor lighting shall comply with the lighting and glare standards contained within the Zoning Ordinance and Subdivision Ordinance.
- Landscape shall conform to landscape plans approved by the Town.
- All elevations shall comply with the standards contained within the Zoning Ordinance.
- Buildings of 5,000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
- Occupant notification per this section and 907.5 shall be required for all new construction, or existing construction complying with the International Building Code, for renovations to existing buildings, tenant spaces, changes in occupancy, replacement or modification of the existing fire alarm system, or as required by the Fire Code Official, for all buildings or spaces provided with an approved automatic sprinkler system.
- Fire lanes shall be designed and constructed per Town Standards or as directed by the Fire Department.
- Two points of access shall be maintained for the property at all times.
- Speed bumps/humps are not permitted within a fire lane.
- Fire lanes shall be provided within 150 feet of all exterior walls of any building for hose lay requirements. Amendment 503.1.1
- The fire lane shall be a minimum of 24 feet wide. Amendment 503.2.1
- Buildings more than 30 feet in height are required to have a minimum of a 26-foot wide fire lane in the immediate vicinity for firefighting operations of the building. One of the 26-foot wide fire lanes shall be located a minimum of 15 feet from the building and no more than 30 feet. Appendix D105
- The inside turning radius of the 24-foot fire lane shall be a minimum of 30 feet. Amendment 503.2.4
- The inside turning radius of the 26-foot fire lane shall be a minimum of 30 feet. Amendment 503.2.4
- Dead-end fire lanes are only permitted with approved hammerheads.
- Fire hydrants shall be provided at the entrances and intersections. Landscape around the Fire Hydrant shall be no higher than 12 inches at the mature height. Amendment 507.5.1
- As properties develop, fire hydrants shall be located at all intersecting streets and the maximum spacing shall be every 300 feet (30') for all developments, and facilities other R3, R-3 developments shall be every 500 feet (500'). Distances between hydrants shall be measured along the route that fire hose is laid by a fire apparatus from hydrant-to-hydrant, not as the "crow flies." Amendment 507.5.1
- Fire department connection (FDC) for the fire sprinkler system shall be located within 50 feet of a fire hydrant and 50 feet of a fire lane. 5" Storz, 30-degree downward turn with locking cap. Amendment 507.5.1
- Fire hydrants shall be located 2 foot (2') to 6 foot (6') back from the curb or fire land and shall not be located in the bulb of a cul-de-sac. Amendment 507.5.1
- There shall be a minimum of two (2) fire hydrants serving each property within the prescribed distances listed above. A minimum of one fire hydrant shall be located on each lot. Amendment 507.5.1
- A minimum 10-foot unobstructed width shall be provided around a building for adequate Fire Department access. A continuous row of parking and landscaping shall be considered a barrier. Amendment 503.1.1
- The maximum dead-end cul-de-sac length shall not exceed six hundred feet (600') as measured from the centerline of the intersection street to the center point of the radius. Amendment 503.1.5
- One-and two-family dwellings automatic fire systems. Automatic fire protection systems per NFPA 13D or NFPA 13R shall be provided in all one-and two-family dwellings with a conditioned floor area of 5,500 square feet (511 m²) or greater, dwellings three (3) stories or greater, or dwellings with roof heights exceeding thirty-five feet (35') from grade. IRC-2015 Amendment R313.2
- Handicapped parking area and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted building code.
- All signage is subject to Building Official approval.
- All fences and retaining walls shall be shown on the Site Planned are subject to Building official approval.
- All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
- Sidewalks of not less than six (6) feet in width along thoroughfares and collectors and five (5) feet in width along residential streets and barrier-free ramps at all curb crossings shall be provided per Town Standards.
- All new electrical lines shall be installed and/or relocated underground.
- All mechanical equipment shall be screened from public view per the Zoning ordinance.
- All landscape easements must be exclusive of any other type of easement.
- Impact fees will be assessed per the land use classification(s) identified on the Site Data Summary Table; however, changes to the proposed land use at the time of CO and/or finish-out permit may result in additional impact fees and/or parking requirements.
- The approval of a Preliminary Site Plan shall be effective for a period of two (2) years from the date that the Preliminary Site Plan is approved by the Planning & Zoning Commission, at the end of which time the applicant must have submitted and received the approval of a Site Plan by the Planning & Zoning Commission. If a site plan is not approved within such two (2) year period, the Preliminary Site Plan approval is null and void. If Site Plan approval is only for a portion of the property, the approval of the Preliminary Site Plan for the remaining property shall be null and void.
- The Town currently contracts with CWD for waste disposal services. They may be contacted at 972-392-9300
- 7% of net lot area is required to be provided as open space. The following shall not included: vehicular paving , required parking lot landscape islands, building footprint, utility yards, required landscape setbacks, sidewalks, and detention ponds.

SITE INFORMATION

| | |
|---|--|
| LAND AREA: | 26.2 ACRES (1,141,272 SF) |
| CURRENT ZONING: | AGRICULTURAL |
| EXISTING USE: | CHURCH |
| PROPOSED USE: | CHURCH |
| BUILDING AREA: | ± 102,350 SF |
| BUILDING HEIGHT: | 38' |
| LOT COVERAGE: | (77,750 + 24,600) / (26.2 x 43560) = .089 ->8.9% |
| HANDICAP PARKING REQUIRED, INCLUDING VAN ACCESSIBLE | 17 |
| HANDICAP PARKING PROVIDED, INCLUDING VAN ACCESSIBLE | 18 |
| FLOOR AREA RATIO | (98,500+24,600) / (26.2 x 43560) = .107 ->10.7% |
| BUILDING REQUIRED PARKING: | 1/3 AUDITORIUM SEATS = 1500 SEATS/3 = 500 |
| BUILDING PARKING PROVIDED: | 809 |
| INTERIOR LANDSCAPE AREA REQUIRED: | 7% OF TOTAL SITE = 79,889 S.F. (1.83 AC.) |
| INTERIOR LANDSCAPE AREA PROVIDED | 97,510 S.F. (2.24 AC.) = 8.3% OF TOTAL SITE |
| SQUARE FOOTAGE OF IMPERVIOUS SURFACE | 380,195 S.F. |
| OPEN SPACE | 562,887.76 S.F. |

NOTE: HVAC EQUIPMENT FOR PROPOSED BLDG TO BE LOCATED ON THE ROOF

TOWN PROJECT NUMBER: D22-0081

NOT FOR CONSTRUCTION

| no. | revision | by | date |
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TBP&LS: ENGR F-230; SURV 10011600, 10011601, 1019438
GBPE: PEF007431; TBAE: BR 2673

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CAMERON SLOWN, P.E. Date: 10/31/2022
Tx. Reg. # 106317

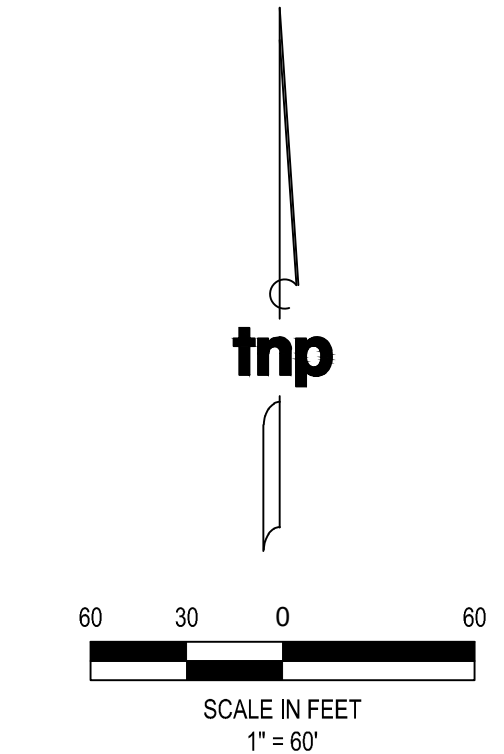
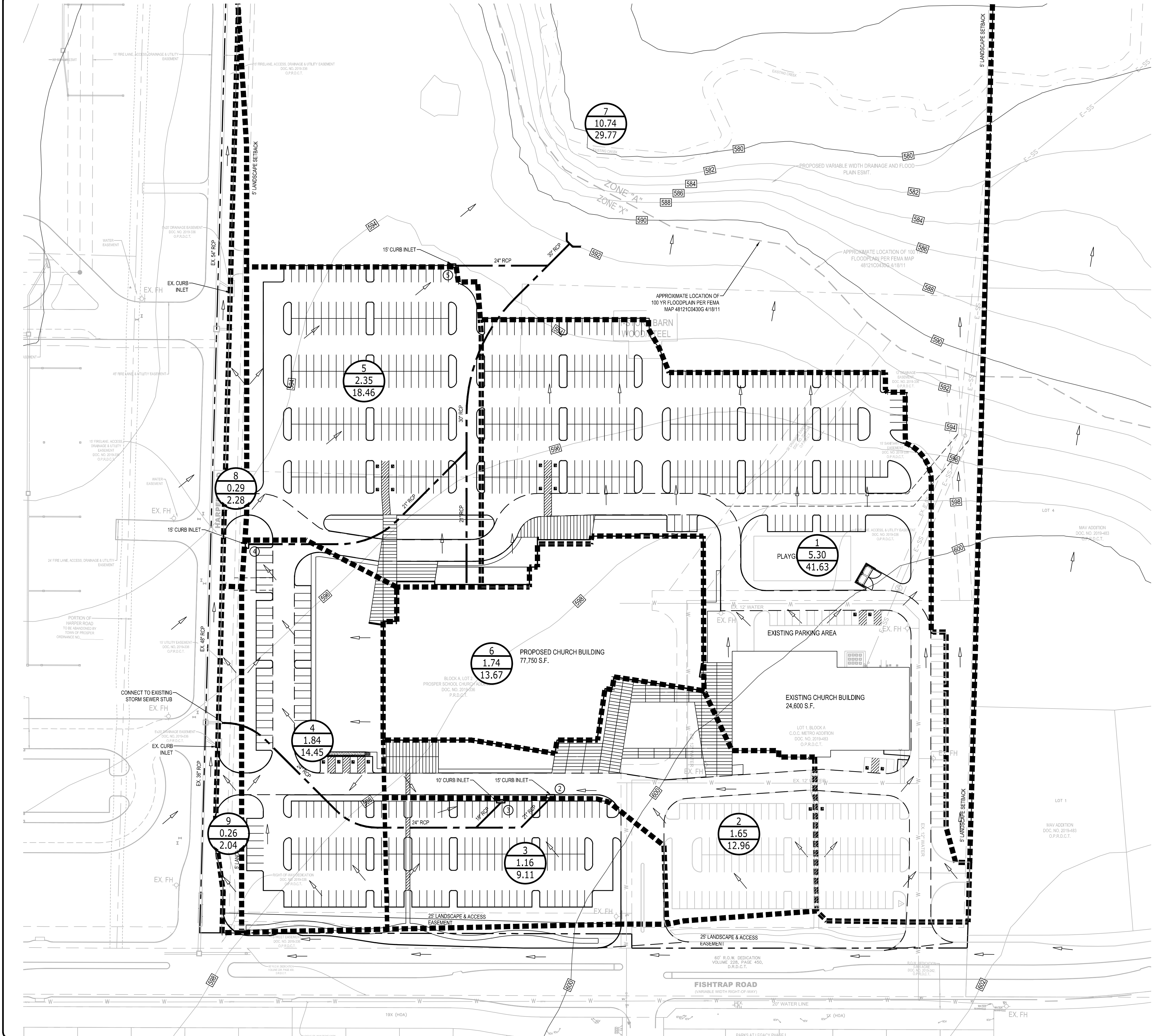
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NOV 2022

ROCK CREEK CHURCH
2860 FISHTRAP RD
PROSPER, TX. 75078
(469)815-5253

PROSPER, TEXAS
Improvements for
ROCK CREEK CHURCH
PRELIMINARY SITE PLAN

tnp project
GOF22305
sheet
01
of
04

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| LEGEND | |
|--------|---|
| | DRAINAGE AREA # AREA, ACRES RUNOFF, CFS |
| | INLET NUMBER |
| | PROP. CONTOURS |
| | FLOW DIRECTION |
| | DRAINAGE DIVIDE |
| | EX. CONTOURS |
| | PROP. STORM LINE |

100-YR STORM CALCULATIONS
Tc = 10 min
C = 1.00
C = 0.85
C = 0.30 (Undeveloped)
I = 9.24 in/hr*
A = Area (Ac.)
Q = (C)(I)(A)
* I100 FOR DENTON COUNTY

| DRAINAGE AREA CALCULATIONS | | | | | | | | REMARKS |
|----------------------------|----------------------|-------------------------|----------|----------------------|------------|------------|--|-------------------------------------|
| Drainage Area No. | Time of Conc. (min.) | Intensity I-100 (in/hr) | C Factor | Runoff Coefficient C | Area (ac.) | Q100 (cfs) | | |
| 1 | 10 | 9.24 | 1.00 | 0.85 | 0.58 | 4.56 | | FLows TO INLET #1/CREEK |
| 2 | 10 | 9.24 | 1.00 | 0.85 | 1.65 | 12.96 | | FLows TO INLET #2/HARPER RD SYSTEM |
| 3 | 10 | 9.24 | 1.00 | 0.85 | 1.16 | 9.11 | | FLows TO INLET #3/HARPER RD SYSTEM |
| 4 | 10 | 9.24 | 1.00 | 0.85 | 1.84 | 14.45 | | FLows TO INLET #4/CREEK |
| 5 | 10 | 9.24 | 1.00 | 0.85 | 2.35 | 18.46 | | FLows TO INLET #5/CREEK |
| 6 | 10 | 9.24 | 1.00 | 0.85 | 1.74 | 13.67 | | ROOF DRAINAGE TO STORM SYSTEM/CREEK |
| 7 | 10 | 9.24 | 1.00 | 0.85 | 4.73 | 37.15 | | SHEET FLows TO EXISTING CREEK |
| 8 | 10 | 9.24 | 1.00 | 0.30 | 10.74 | 29.77 | | FLows TO EXISTING CREEK |
| 9 | 10 | 9.24 | 1.00 | 0.85 | 0.29 | 2.28 | | FLows TO HARPER ROAD |
| 10 | 10 | 9.24 | 1.00 | 0.85 | 0.26 | 2.04 | | FLows TO HARPER ROAD |
| TOTAL | | | | | 25.34 | 144.44 | | |

NOTE: 100 YR STORM INTENSITY VALUES FOR DENTON COUNTY

TOWN PROJECT NUMBER: D22-0081

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TBPE: ENGR F-230; SURV 10011600, 10011601, 1019438
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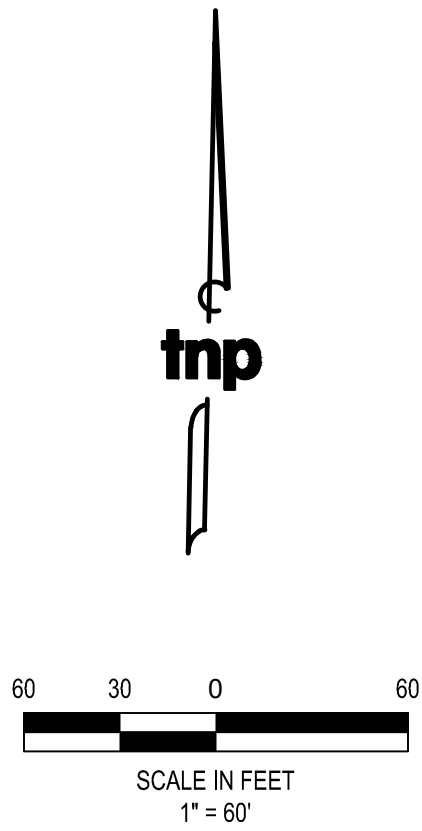
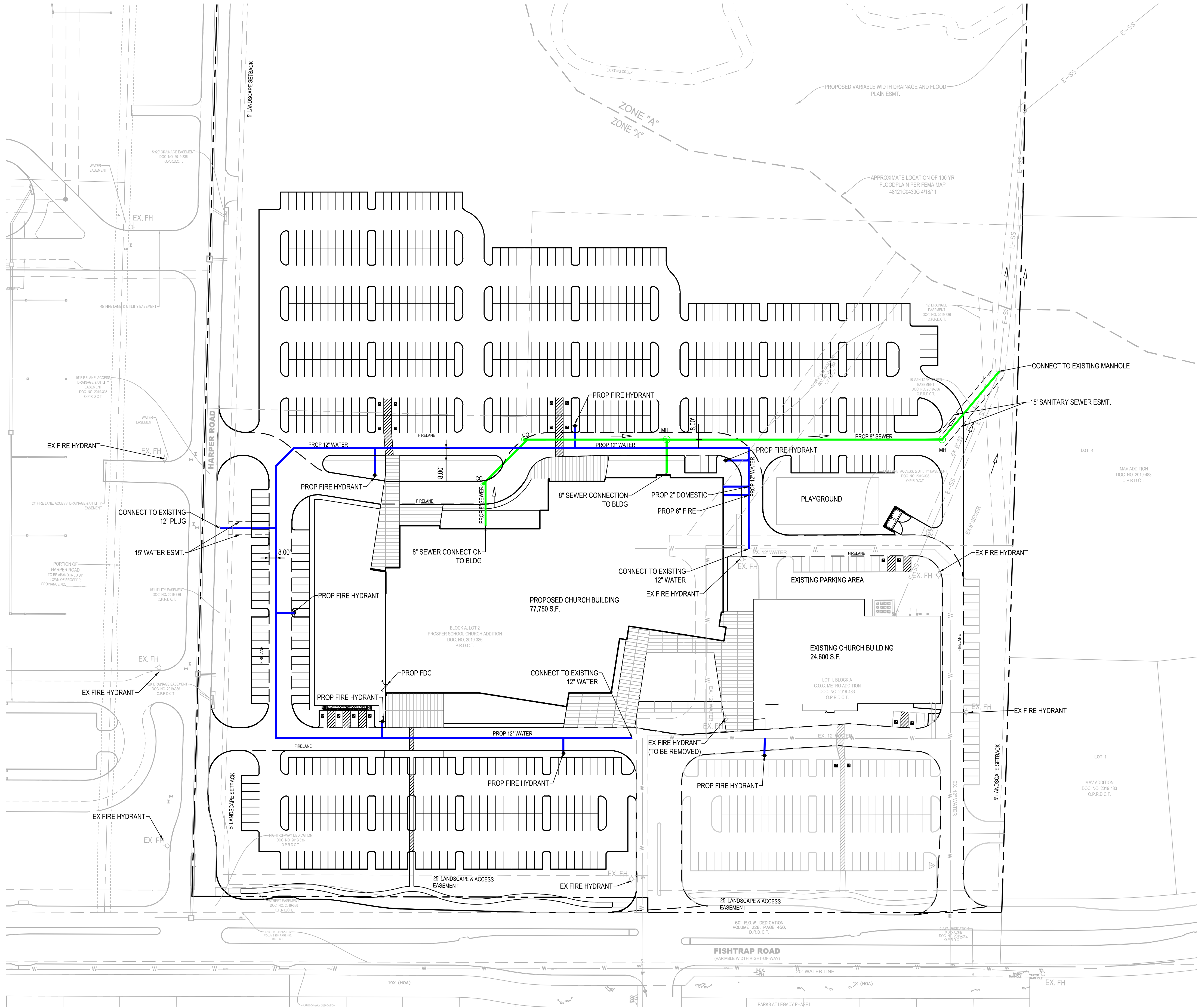
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NOV 2022

ROCK CREEK CHURCH
2860 FISHTRAP RD
PROSPER, TX. 75078
(469)815-5253

PROSPER, TEXAS
Improvements for
ROCK CREEK CHURCH
PRELIMINARY DRAINAGE PLAN

tnp project
GOF22305
sheet
02
of
04

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| LEGEND | |
|--------|------------------------------|
| | EXISTING FIRE HYDRANT |
| | EXISTING WATER LINE |
| | EXISTING SANITARY SEWER LINE |
| | PROPOSED SEWER MANHOLE |
| | PROPOSED CLEANOUT |
| | PROPOSED FIRE HYDRANT |
| | PROPOSED FDC |
| | PROPOSED WATER LINE |
| | PROPOSED SANITARY SEWER LINE |
| | FLOW DIRECTION |

TOWN PROJECT NUMBER: D22-0081

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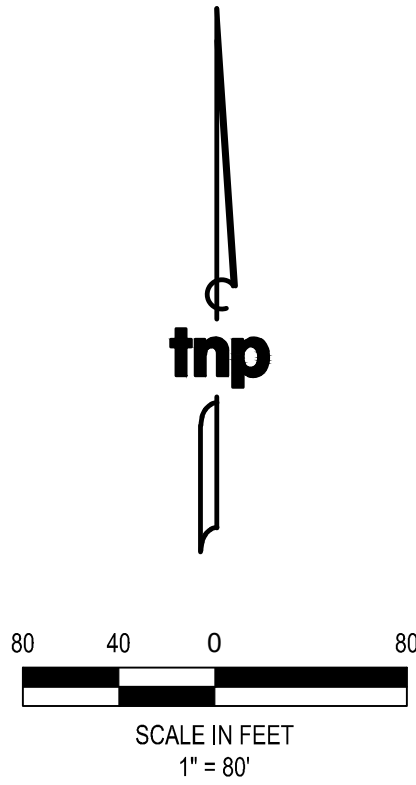
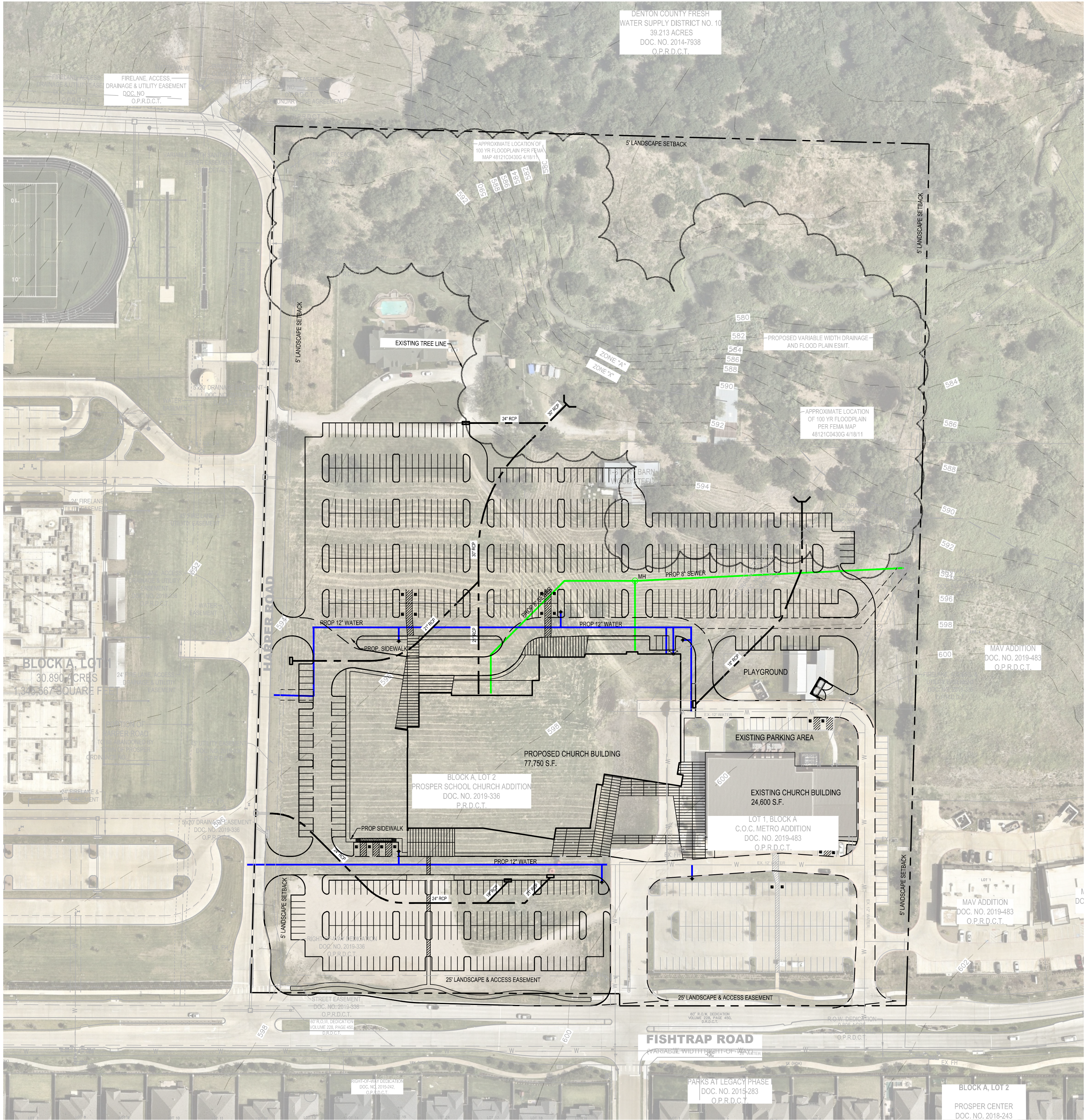
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NOV 2022

ROCK CREEK CHURCH
2860 FISHTRAP RD
PROSPER, TX. 75078
(469)815-5253

PROSPER, TEXAS
Improvements for
ROCK CREEK CHURCH
PRELIMINARY UTILITY PLAN

tnp project
GOF22305
sheet
03
of
04



| LEGEND | |
|--------|------------------------------|
| | EXISTING FIRE HYDRANT |
| | EXISTING WATER LINE |
| | EXISTING SANITARY SEWER LINE |
| | PROPOSED SEWER MANHOLE |
| | PROPOSED CLEANOUT |
| | PROPOSED FIRE HYDRANT |
| | PROPOSED FDC |
| | PROPOSED WATER LINE |
| | PROPOSED SANITARY SEWER LINE |
| | PROPOSED STORM DRAIN |

TOWN PROJECT NUMBER: D22-0081

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NOV 2022

ROCK CREEK CHURCH
2860 FISHTRAP RD
PROSPER, TX. 75078
(469)815-5253

PROSPER, TEXAS
Improvements for
ROCK CREEK CHURCH
GENERAL TREE SURVEY

tnp project
GOF22305
sheet
04
of
04



PLANNING

To: Planning & Zoning Commission

Item No. 3c

From: Paul Rodriguez, Senior Planner

Through: David Soto, Planning Manager

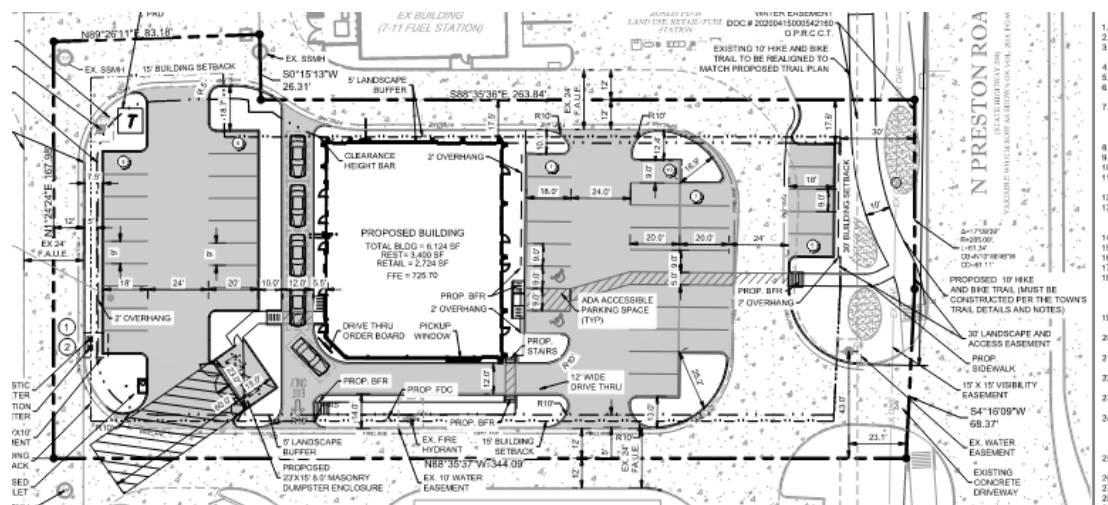
Re: Planning & Zoning Commission Meeting – November 15, 2022

Agenda Item:

Consider and act upon a Site Plan for a Restaurant with Drive Through and a Retail Use on Block A, Lot 5, 1.198± acres, located on the south side of Frontier Parkway, west of Preston Rd. This property is zoned Planned Development-10 & Specific Use Permit-42 (PD-10 & S-42). (D22-0083).

Description of Agenda Item:

The Site Plan shows the location of the Restaurant with Drive Through and a Retail Use that is being proposed on the subject property as shown below.



Access will be provided from Preston Road as well as Frontier Parkway. The depicted number of off-street parking spaces meets the minimum standards of the Zoning Ordinance. The Site Plan conforms to the Planned Development-10 (PD-10) & Specific Use Permit-42 development standards.

As a companion item, the Final Plat (D22-0084) for Victory at Frontier, Block A Lot 5, is also on the November 15, 2022 agenda.

On August 9, 2022 Town Council approved a Specific Use Permit for a Restaurant with Drive Through (S22-0006)

On December 3, 2019 Planning & Zoning Commission approved a Preliminary Site Plan (D19-0102) for a commercial development (Victory at Frontier, Lots 1-8).

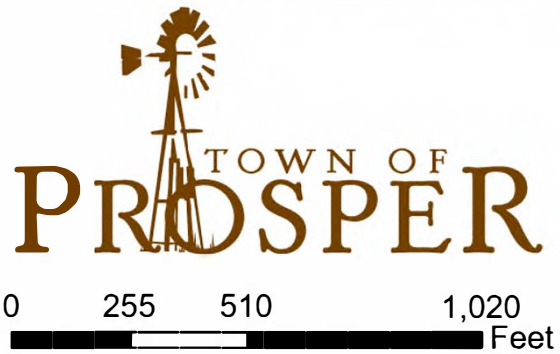
Attached Documents:

1. Location Map
2. Site Plan

Town Staff Recommendation:

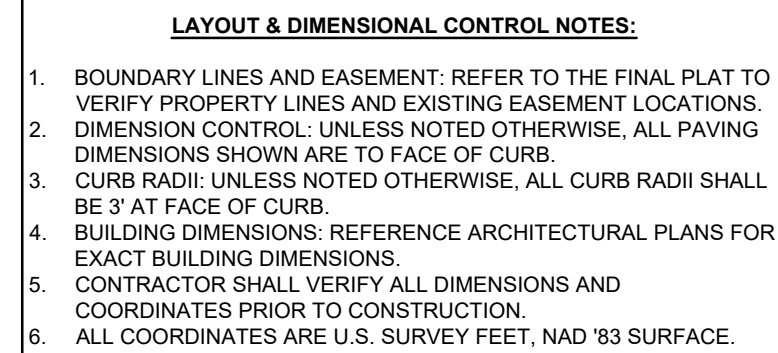
Town staff recommends approval of the Site Plan, subject to:

1. Town staff approval of civil engineering, irrigation plan, open space plan, and address plan.
2. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.



This map for illustration purposes only

D22-0083
Victory at Frontier Lot 5
SP
Site Plan



NOTE TO CONTRACTOR

THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

| METER TABLE | |
|-------------|-----------------------|
| ① | 2" DOMESTIC SERVICE |
| ② | 1" IRRIGATION SERVICE |

| SITE PLAN DATA TABLE | |
|--------------------------|-----------------------|
| EXISTING ZONING | PD-10 |
| LOT AREA (SF) / (ACRES) | 52,186 SF / 1.198 AC. |
| TOTAL BUILDING AREA (SF) | 6,124 SF |
| PROPOSED USE | RESTAURANT AND RETAIL |
| BUILDING HEIGHT | 20'-0" (1 STORY) |
| MAXIMUM FAR (4:1) | 9.28% / 0.0928:1 |

STANDARD NOTES

ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.

1. DUMPSTERS AND TRASH CONTAINERS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
2. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
3. OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
4. LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
5. ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
6. BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
7. ALL NEW NOTICES OF CONSTRUCTION AND 807.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION, OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE, FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
8. FIRE LINES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
9. TWO POINTS OF ACCESS SHALL BE MAINTAINED AT ALL TIMES.
10. SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
11. FIRE LINES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS. AMENDMENT 503.1.
12. THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE. AMENDMENT 503.2.1
13. BUILDINGS MORE THAN 30 FEET IN HEIGHT ARE REQUIRED TO HAVE A MINIMUM OF A 26-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIRE FIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE FIRE LINES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET. APPENDIX D105
14. THE INSIDE TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
15. THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
16. DEAD-END FIRE LINES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.
17. FIRE HYDRANTS SHALL BE PROVIDED AT THE ENTRANCES AND INTERSECTIONS. AMENDMENT 507.5.1
18. AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET. 500' MAXIMUM SPACING, AND FACINGS OTHER THAN R-3 DEVELOPMENTS SHALL BE EVERY 500 FEET (500') DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS Laid BY A FIRE APPARATUS FROM HYDRANT-TO-HYDRANT, NOT AS THE 'CROW FLIES.' AMENDMENT 507.5.1
19. FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. S' STOREZ, 30-DEGREE DOWNWARD TURN WITH LOCKING CAP. AMENDMENT 507.5.1
20. FIRE HYDRANTS SHALL BE LOCATED 2 FEET (2') TO 6 FOOT (6') BACK FROM THE CURB OR FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC. AMENDMENT 507.5.1
21. THERE SHALL BE A MINIMUM OF TWO (2) FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE PRESCRIBED DISTANCES LISTED ABOVE. A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT. AMENDMENT 507.5.1
22. THE MINIMUM TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
23. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER. AMENDMENT 503.1.1
24. THE MAXIMUM DEAD- END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET (600') AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS. AMENDMENT 503.1.5
25. ONE-AND-TWO-FAMILY DWELLINGS AUTOMATIC FIRE SYSTEMS. AUTOMATIC FIRE PROTECTION SYSTEMS PER NFPA 13D OR NFPA 13R SHALL BE REQUIRED IN IN ONE- AND TWO-FAMILY DWELLINGS WITH OVER 3,000 SQUARE FEET OF FLOOR AREA OF 5,500 SQUARE FEET (511 M2) OR GREATER DWELLINGS THREE (3) STORIES OR GREATER, OR DWELLINGS WITH ROOF HEIGHTS EXCEEDING THIRTY-FIVE FEET (35') FROM GRADE. IRC-2015 AMENDMENT R313.2
26. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT ADA.
27. ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
28. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
29. ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FAÇADE PLAN.
30. SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG LOCAL STREETS SHALL BE MAINTAINED AT ALL TIMES.
31. APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING SERVICES DEPARTMENT.
32. SITE PLAN APPROVAL IS REQUIRED BEFORE THE GRADING RELEASE.
33. ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
34. ALL CHANNEL DRAINAGE SYSTEMS SHALL BE SCREENED FROM PUBLIC VIEW BY THE ZONING ORDINANCE.
35. ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
36. ALL HVAC EQUIPMENT WILL BE ROOF MOUNTED AND SCREENED.

OPEN SPACE NOTE

7% OF NET LOT AREA IS REQUIRED TO BE PROVIDED AS OPEN SPACE. THE FOLLOWING SHALL NOT BE INCLUDED: VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION PONDS. PLEASE REVISE THE CALCULATION TO MAKE SURE IT MEETS THE 7% EXCLUDING VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION PONDS. CONFIRMATION OF OPEN SPACE CALCULATIONS WILL BE REQUIRED AT SITE PLAN SUBMITTAL.



| | |
|---|----------------------------------|
| RESTAURANT PARKING REQUIREMENT | 1 SPACE PER 100 SF |
| RETAIL PARKING REQUIREMENT | 1 SPACE PER 250 SF |
| BUILDING AREA / PATIO AREA | 6,124 SF / 0 SF |
| RESTAURANT PARKING SPACES REQUIRED | (3,500 SQ. FT.) 35 SPACES |
| RETAIL PARKING SPACES REQUIRED | (2,624 SQ. FT.) 11 SPACES |
| TOTAL PARKING SPACES PROVIDED | 46 SPACES |
| REQUIRED ADA PARKING | 2 SPACES (1 VAN) |
| PROVIDED ADA PARKING | 2 SPACES (1 VAN) |
| LOT COVERING (IMPERVIOUS AREA) (SF) | 42,956 SF |
| REQUIRED LANDSCAPING (10% OF LOT AREA) | 5,218 SF |
| PROVIDED LANDSCAPING | 8,069 SF |
| REQUIRED OPEN SPACE (7% OF LOT AREA) | 3,654 SF |
| PROVIDED OPEN SPACE | 3,654 SF |

APPROVED
Michael Zachary - PARKS
11/10/2022



11/10/2022
Reviewed by PARKS
MZachary@ProsperTX.gov
Phone: (972) 532-1851

dia

SITE PLAN

CASE NO. D22-0083
VICTORY AT FRONTIER LOT 5

1.198 ACRES
LOT 5, BLOCK A
VICTORY AT FRONTIER, LLC
(VOL. 2018, PAGE 699)
P.R.R.C.T.
TOWN OF PROSPER, COLLIN, TEXAS
PREPARATION DATE: 08/22/2022

OWNER/APPLICANT
VICTORY AT FRONTIER,
6125 LUTHER LANE STE
DALLAS, TX 75225-62
PH: 214-934-2566
CONTACT: BOBBY MEN

ENGINEER
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-488-4960
CONTACT: PATRICK EILSON, PE

LANDSCAPE ARCHITECT
LONDON LANDSCAPES
P.O. BOX 28
COLLINSVILLE, TS 76233
CONTACT: AMY LONDON, RLA

SURVEYOR
BARTON CHAPA SURVEYING
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-864-1957
CONTACT: JACK BARTON, RPLS

PRELIMINARY
FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR
DESIGN REVIEW ONLY AND
NOT INTENDED FOR THE PURPOSES
OF CONSTRUCTION, BIDDING
OR PERMIT. THEY WERE PREPARED
BY, OR UNDER THE SUPERVISION OF:

JOHN D. GARDNER
P.E.# 138295
DATE: November 9, 2022

LUCKY 7 RETAIL, LLC

2111 W WALNUT HILL LN
IRVING, TX 75038-4406

VICTORY AT
FRONTIER - LOT 5
LOT 5, BLOCK A
TOWN OF PROSPER
COLLIN COUNTY, TEXAS

[illegible]

KIRKMAN ENGINEERING, LLO
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
TEXAS FIRM NO. 15874

JOB NUMBER: VIC21019

ISSUE DATE:

SITE PLAN

SHEET:

C3.0



PLANNING

To: Planning & Zoning Commission **Item No. 3d**
From: Paul Rodriguez, Senior Planner
Through: David Soto, Planning Manager
Re: Planning & Zoning Commission Meeting – November 15, 2022

Agenda Item:

Consider and act upon a Final Plat for Victory at Frontier, Block A, Lot 5, on 1.198± acres, located on the south side of Frontier Pkwy. and west of Preston Rd. The property is zoned Planned Development-10 (PD-10) & Specific Use Permit-42 (S-42). (D22-0084).

Description of Agenda Item:

The purpose of the Final Plat for Victory at Frontier, Block A Lot 5, is to dedicate easements necessary for development of Lot 5. The plat conforms to Planned Development-10 (PD-10) & Specific Use Permit-42 (S-42) development standards.

As a companion item, the Site Plan (D22-0083) for a Restaurant with Drive Through and Retail Use is also on the November 15, 2022 agenda.

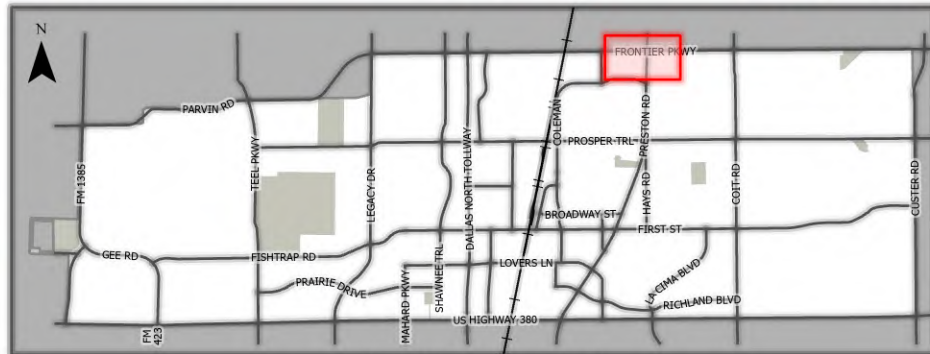
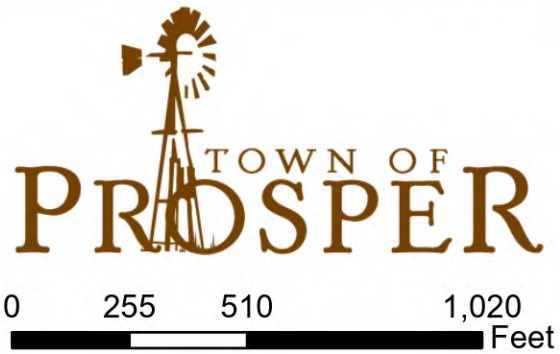
Attachments:

1. Location Map
2. Final Plat

Town Staff Recommendation:

Town Staff recommends approval of the Final Plat, subject to:

1. Town staff approval of all additions and/or alterations to the easements and dedications on the Final Plat.



This map for illustration purposes only

D22-0084

Victory at Frontier Lot 5
FP

Final Plat

SURVEYOR'S NOTES:

- Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83), distances are surface with a combined scale factor of 1.00015271.
- No floodplain exists on the site.
- Monuments are found unless specifically designated as set.
- Elevations (if shown) are North American Vertical Datum of 1988 (NAVD '88).
- Notice: Selling a portion of this addition by metes and bounds is a violation of town ordinance and state law and is subject to fines and withholding of utilities and building permits.
- The purpose of this replat is to subdivide existing Lot 3 to create a single lot, abandon parts of existing easements and dedicate new easements.
- No right-of-way is being dedicated to the Town of Prosper by this plat.

ACCESS EASEMENT

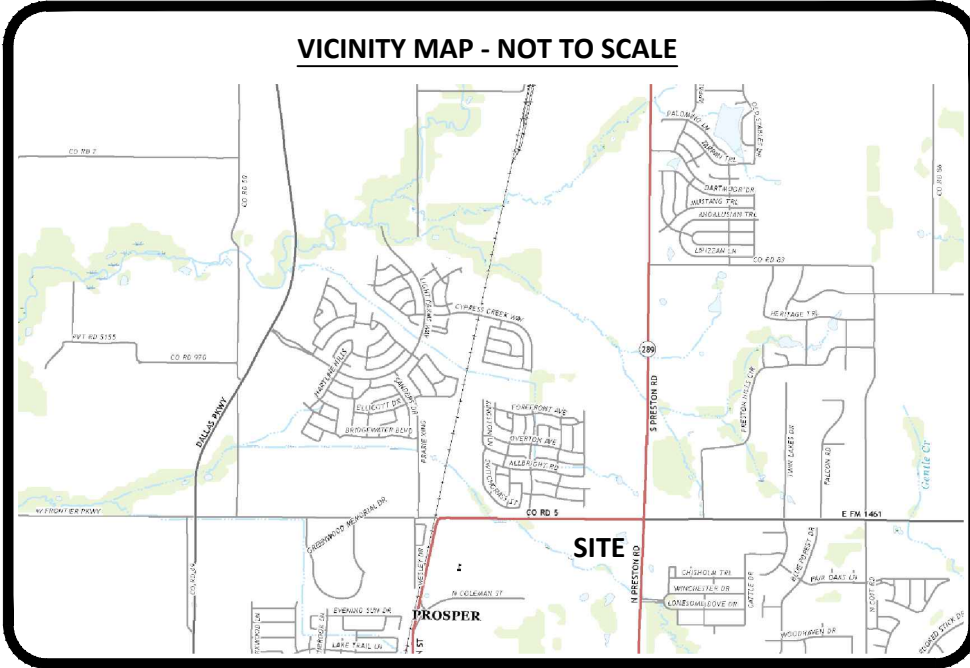
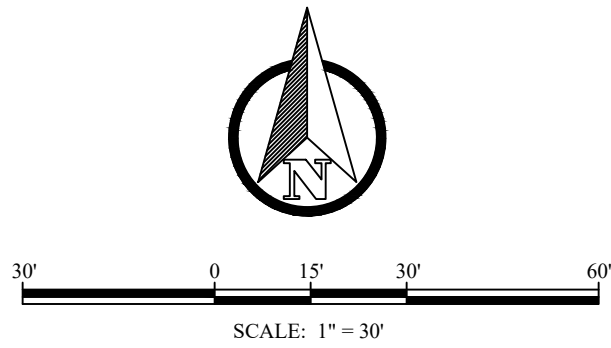
The undersigned covenants and agrees that the access easement(s) may be utilized by any person of the general public for ingress and egress to other real property, and for the purpose of general public vehicular use and access, and for the Fire Department, Police, and emergency use in along, upon, and across said premises, with the right and privilege at all time of the Town of Prosper, its agents, employees, workmen and representatives having ingress, egress, and regress in, along, upon, and across said premises.

FIRE LANE EASEMENT

The undersigned covenants and agrees that he (they) shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface paved in accordance with Town standards and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fenced trees, shrubs, or other improvements or obstruction, including but not limited to the parking, loading, or unloading of motor vehicles, trailers, boats, or other impediments to the access of fire apparatus. The maintenance of pavement in accordance to Town standards of the fire lane easements is the responsibility of the owner, and the owner shall post and maintain signage in accordance to Town standards in conspicuous places along the fire lanes, stating "Fire Lane, No Parking". The police or their duly authorized representative is hereby authorized to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

LEGEND OF ABBREVIATIONS

- D.R.C.C.T. DEED RECORDS, COLLIN COUNTY, TEXAS
- P.R.C.C.T. PLAT RECORDS, COLLIN COUNTY, TEXAS
- O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
- DOC.# DOCUMENT NUMBER
- C.M. CONTROLLING MONUMENT
- SQ. FT. SQUARE FEET
- ROW RIGHT OF WAY
- CRS CAPPED REBAR SET



CERTIFICATE OF APPROVAL

APPROVED THIS _____ DAY OF _____, 20____ BY THE
PLANNING & ZONING COMMISSION OF THE TOWN OF PROSPER, TEXAS

TOWN SECRETARY

ENGINEERING DEPARTMENT

DEVELOPMENT SERVICES DEPARTMENT

Known All Men By These Presents:

That I, John H. Barton III, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulation of the Town of Prosper, Texas.

Dated this _____ day of _____, 20____.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE

AND SHALL NOT BE USED, VIEWED, OR RELIED UPON AS A FINAL

SURVEY DOCUMENT SEPTEMBER 14, 2022

STATE OF TEXAS

COUNTY OF _____

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 20____.

Notary Public in and for the State of Texas

STATE OF TEXAS

COUNTY OF COLLIN

WHEREAS LUCKY 7 RETAIL, LLC, is the owner of a portion of Lot 3, Block A, Victory at Frontier, an addition in the Town of Prosper, Collin County, Texas, according to the plat recorded in Volume 2021, Page 56, Plat Records, Collin County, Texas, the subject tract being more particularly described as follows (bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD '83)):

BEGINNING at a 1/2 inch rebar with pink cap stamped, "BARTON CHAPA" found (hereinafter called "capped rebar found") for the southeast corner of the herein described tract, said point being in the east line of said Lot 3;

THENCE through the interior of said Lot 3 the following calls:

- North 88 degrees 35 minutes 37 seconds West, a distance of 344.09 feet to an "X" cut in concrete found;
- North 01 degrees 24 minutes 24 seconds East, a distance of 167.98 feet to an "X" cut in concrete found;
- North 89 degrees 26 minutes 11 seconds East, a distance of 83.18 feet to an "X" cut in concrete found in the west line of Lot 2 in said Block A;

THENCE South 00 degrees 15 minutes 13 seconds West, with the west line of said Lot 2, a distance of 26.31 feet to a capped rebar found;

THENCE South 88 degrees 35 minutes 36 seconds East, with the south line of said Lot 2, a distance of 263.84 feet to a capped rebar found for the southeast corner thereof, same being a northeast corner of said Lot 3;

THENCE South 01 degrees 24 minutes 24 seconds West, with the east line of said Lot 3, a distance of 76.26 feet to a capped rebar found;

THENCE South 04 degrees 16 minutes 09 seconds West, with the east line of said Lot 3, a distance of 68.37 feet to the **POINT OF BEGINNING** and enclosing 1.198 acres (52,186 square feet) of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

THAT Lucky 7 Retail, LLC do hereby certify and adopt this plat designating the herein above described property as **LOT 5, BLOCK A, VICTORY AT FRONTIER**, and does hereby dedicate to the public use forever, the streets and alleys shown thereon.

LUCKY 7 RETAIL, LLC, does herein certify the following:

- The streets and alleys are dedicated for street and alley purposes.
 - All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
 - The easements and public use areas, as shown, are dedicated to the public use forever for the purposes indicated on this plat.
 - No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper. Landscape easements are exclusive of any other type of easement.
 - The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
 - Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by the public utilities being subordinate to the public's and Town of Prosper's use thereof.
 - The Town of Prosper and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
 - The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
 - All modifications to this document shall be by means of plat and approved by the Town of Prosper.
- This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas.

Lucky 7 Retail, LLC

By: _____

Authorized Representative, Print Name/Title: _____

STATE OF TEXAS

COUNTY OF _____

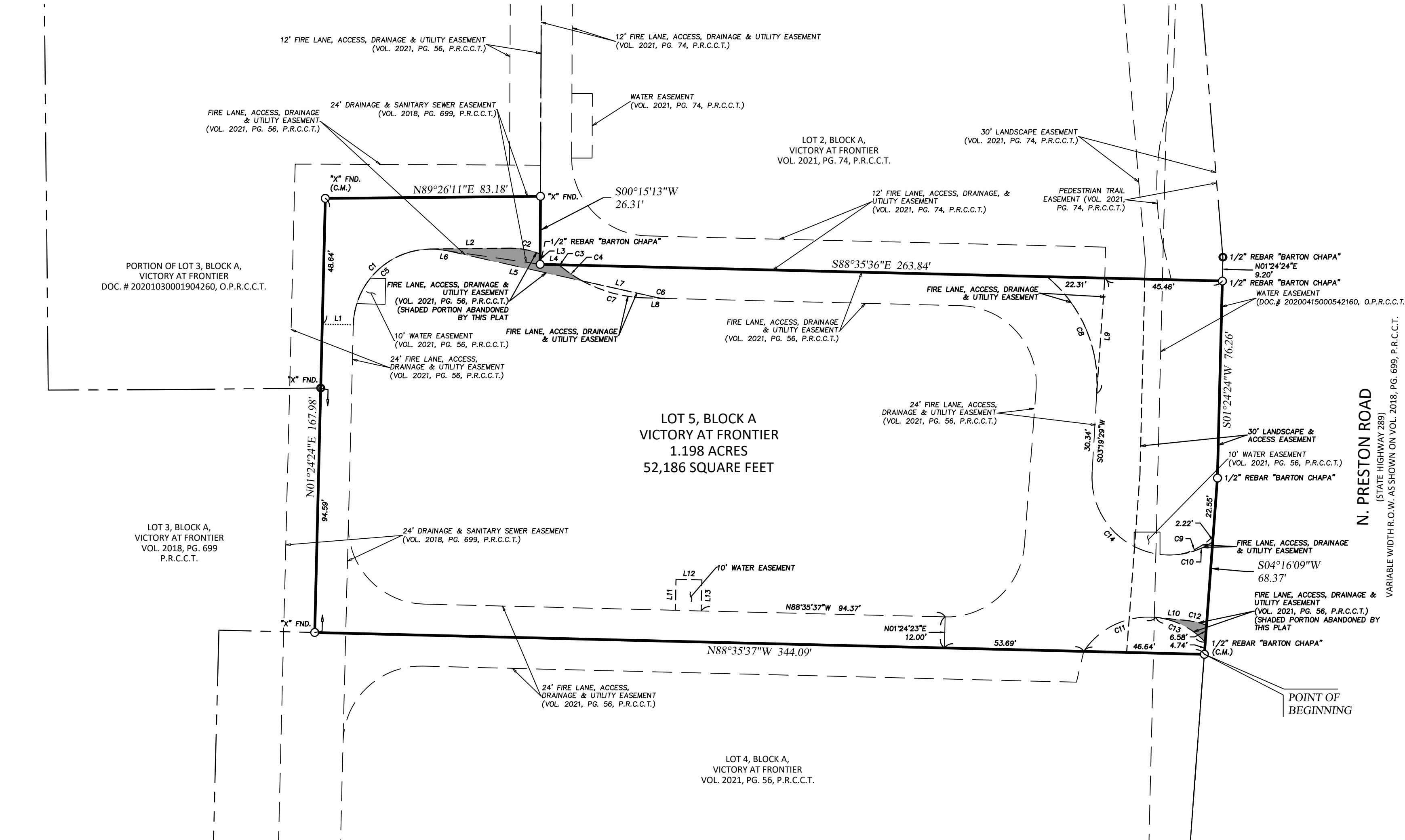
BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 20____.

Notary Public in and for the State of Texas

LEGEND OF SYMBOLS

- air conditioning unit
- irrigation control valve
- cable tv
- electric meter
- fence or guardrail
- fire dept. connection
- fire hydrant
- bollard
- area drain
- grate inlet
- gas valve
- gas meter
- gas well
- sign
- sanitary sewer manhole
- storm water manhole
- telephone manhole
- tank fill lid
- telephone pedestal
- traffic signal pole
- utility clean out
- comm. utility cabinet
- electric utility cabinet
- comm. utility vault
- elect. utility vault
- water utility vault
- utility/service pole
- utility sign
- water shutoff
- water valve
- well
- water meter
- cable tv riser
- air release valve
- utility markings
- tree
- shrub/decorative tree or tree with diameter < 4 in.
- contour lines



| Curve Data Table | | | | | |
|------------------|--------|--------|------------|---------------|--------|
| Curve # | Arc | Radius | Delta | Chord Bearing | Chord |
| C1 | 46.09' | 30.00' | 088°01'18" | N45°25'03"E | 41.69' |
| C2 | 11.94' | 30.00' | 022°48'14" | S79°10'11"E | 11.86' |
| C3 | 0.75' | 30.00' | 001°25'47" | S51°08'25"E | 0.75' |
| C4 | 10.34' | 54.00' | 010°58'25" | S55°54'44"E | 10.33' |
| C5 | 50.64' | 30.00' | 096°42'54" | S49°55'35"W | 44.84' |
| C6 | 3.91' | 20.00' | 011°11'38" | S82°59'47"E | 3.90' |
| C7 | 25.62' | 54.00' | 027°11'02" | N74°59'28"W | 25.38' |
| C8 | 50.97' | 53.50' | 054°35'13" | N23°01'28"W | 49.06' |

| Curve Data Table | | | | | |
|------------------|--------|--------|------------|---------------|--------|
| Curve # | Arc | Radius | Delta | Chord Bearing | Chord |
| C9 | 14.24' | 25.00' | 032°38'31" | N60°27'35"E | 14.05' |
| C10 | 13.05' | 30.00' | 024°55'22" | S68°39'26"W | 12.95' |
| C11 | 32.32' | 30.00' | 061°43'35" | S64°45'59"W | 30.78' |
| C12 | 8.19' | 32.00' | 014°39'41" | N77°02'27"W | 8.17' |
| C13 | 21.86' | 30.00' | 041°45'02" | N63°29'43"W | 21.38' |
| C14 | 54.01' | 30.00' | 103°09'01" | S47°18'22"E | 47.01' |

| Line Data Table | | |
|-----------------|----------|-------------|
| Line # | Distance | Bearing |
| L1 | 12.01' | S88°35'36"E |
| L2 | 30.92' | N89°25'42"E |
| L3 | 4.00' | S001°5'13"W |
| L4 | 7.20' | S88°35'45"E |
| L5 | 53.32' | N77°23'56"W |
| L6 | 2.25' | N81°43'02"W |
| L7 | 28.78' | S77°23'56"E |
| L8 | 7.45' | N88°35'44"W |

| Line Data Table | | |
|-----------------|----------|-------------|
| Line # | Distance | Bearing |
| L9 | 44.72' | S03°59'53"W |
| L10 | 11.72' | N84°22'17"W |
| L11 | 12.00' | N01°24'23"E |
| L12 | 10.00' | S88°35'37"E |
| L13 | 12.00' | S01°24'23"W |

CASE# D22-0084
FINAL PLAT
LOT 5, BLOCK A
VICTORY AT FRONTIER
1.198 ACRES
AN ADDITION IN THE TOWN OF PROSPER,
COLLIN COUNTY, TEXAS
BEING A REPLAT OF PART OF LOT 3, BLOCK A
VICTORY AT FRONTIER

ENGINEER



5200 State Highway 121
Colleyville, TX 76034
Phone: 817-488-4960

BARTON CHAPA SURVEYING, LLC

John H. Barton III, RPLS #6737
5200 State Highway 121
Colleyville, TX 76034
Phone: 817-864-1957
jack@bcdsfw.com
TBPLS Firm# 10194474

OWNER/DEVELOPER

Lucky 7 Retail, LLC
6125 LUTHER LANE
SUITE 583
DALLAS, TX 75225
CONTACT RYAN PRICE
214.207.0944

JOB NO. 2020.001.148

DRAWN: BCS

CHECKED: JHB

TABLE OF REVISIONS

| DATE | SUMMARY |
|------|---------|
| | |
| | |
| | |
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| | |
| | |
| | |

VICTORY AT
FRONTIER

PROSPER,
TEXAS



SHEET:

VO1

FINAL PLAT



PLANNING

To: Planning & Zoning Commission

Item No. 4

From: Paul Rodriguez, Senior Planner

Through: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – November 15, 2022

Agenda Item:

Conduct a Public Hearing and consider and act upon a request to rezone 0.1± acres from Single Family-15 (SF-15) to Downtown Office (DTO), on Lots 10A & 11B (Z22-0017).

Description of Agenda Item:

The zoning and land use of the surrounding properties are as follows:

| | Zoning | Current Land Use | Future Land Use Plan |
|-------------------------|-----------------------|---------------------------|-----------------------------|
| Subject Property | Single Family-15 | Single Family Residence | Old Town Office |
| North | Single Family-15 | Single Family Residence | Old Town Office |
| East | Downtown Office - DTO | Office | Old Town Office |
| South | Single Family-15 | Single Family Residential | Old Town Office |
| West | Single Family-15 | Vacant Land | Old Town Office |

Requested Zoning – The purpose of this request is to rezone the property to the Downtown Office District to allow for development of an office building in the future. The existing house will not be removed. At the time of an application for “straight” zoning, the applicant is not required to submit an exhibit depicting how the property will be specifically developed or elevations of the proposed building. Prior to development, the developer will be required to submit a Site Plan for review and approval by the Planning & Zoning Commission. The applicant has been advised of the standards necessary for development.

Future Land Use Plan – The Future Land Use Plan recommends Old Town Office. The proposed zoning request conforms to the Future Land Use Plan.

Thoroughfare Plan – This property currently has direct access to Broadway Street.

Parks Master Plan – The Parks Master Plan does not indicate a park is needed on the subject property. However, an 8ft hike and bike trail is being proposed along Broadway Street in the downtown area. That project is not currently in Engineering's 5-year plan. However, when that does take place, this property will be impacted by such development.

Legal Obligations and Review:

Notification was provided to neighboring property owners as required by State Law. To date, Town staff has not received any Public Hearing Notice Reply Forms.

Attached Documents:

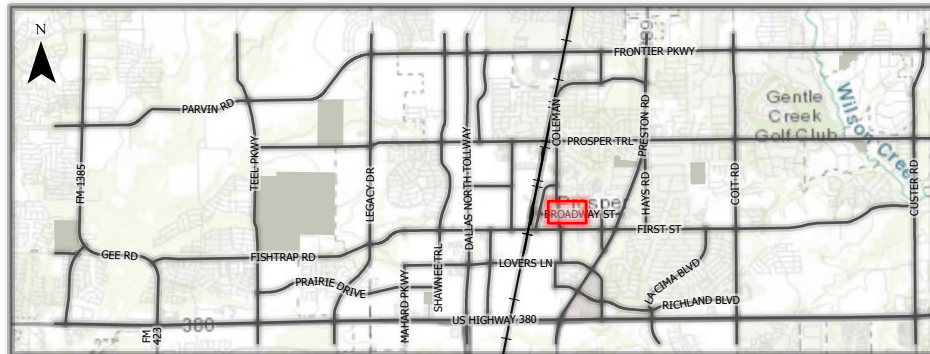
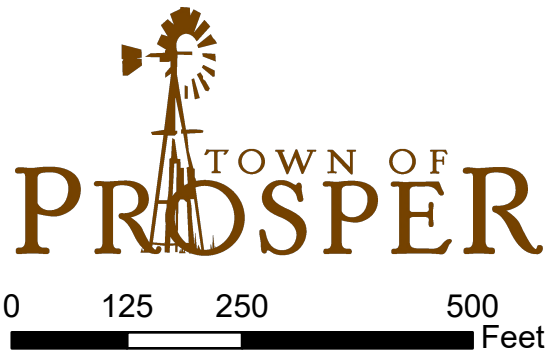
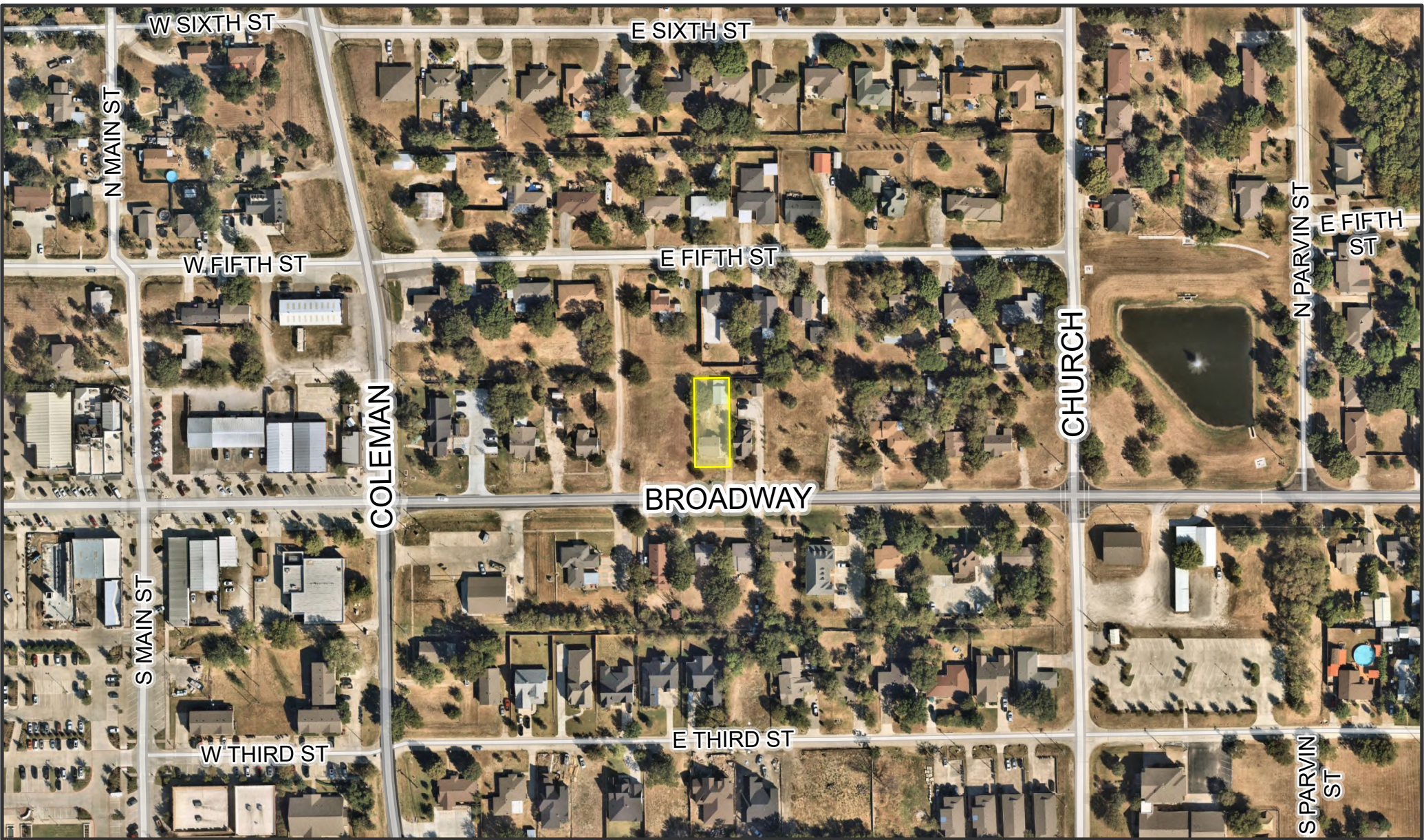
1. Aerial and Zoning Maps
2. Exhibit A

Staff Recommendation:

Staff has observed the site and its surrounding environment. Currently there is a non-residential use to the East along Broadway Street. Staff understands that there are numerous non-residential uses within the surrounding area. Furthermore, it is recommended per the Comprehensive Plan for downtown office uses. The zoning request would be consistent with the uses in the surrounding area. As a result, staff recommends approval of this zoning request.

Town Council Public Hearing:

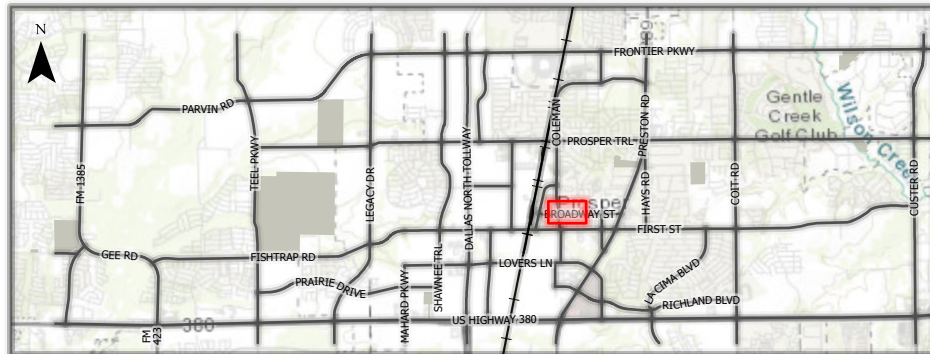
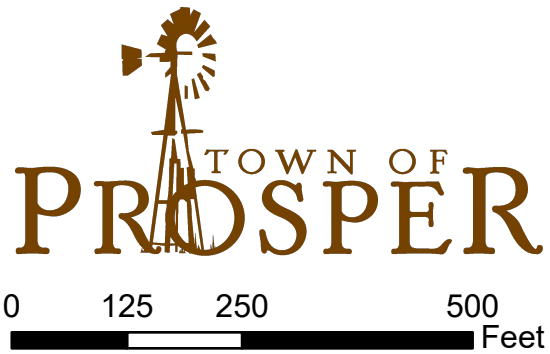
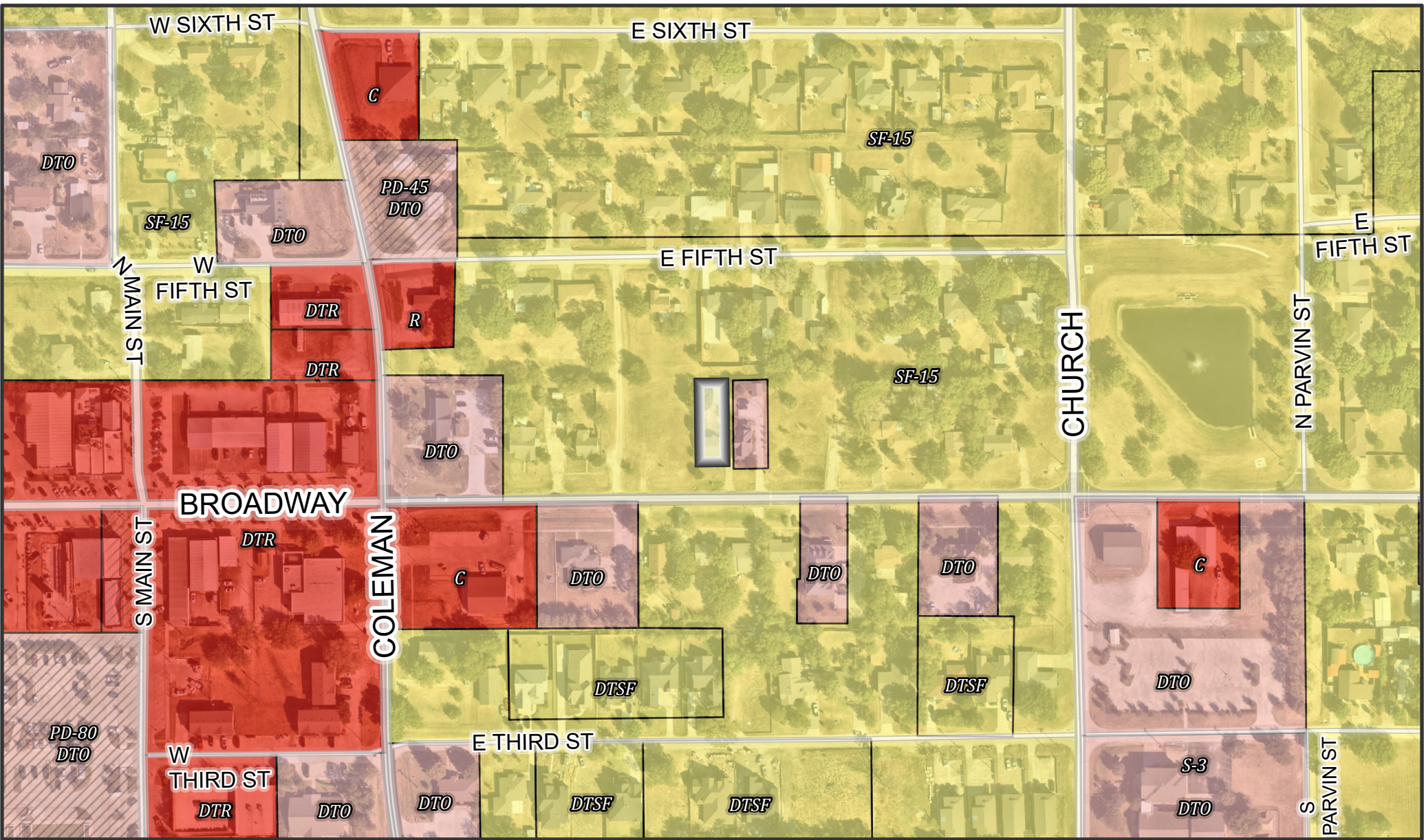
Upon a recommendation by the Planning & Zoning Commission, a Public Hearing for this item will be scheduled for the Town Council at their Regular meeting on December 13, 2022.



This map for illustration purposes only

Z22-0017
207 E Broadway Zoning

Straight Zoning



This map for illustration purposes only

Z22-0017
 207 E Broadway Zoning
 Straight Zoning

